

Planning and Building Department

455 County Center, 2nd Floor • Redwood City, CA • 94063
Mail Drop: PLN 122 • TEL (650) 363-4161 • FAX (650) 363-4849

**Certificate of Exemption
or Exclusion from a Coastal
Development Permit**

Permit #: PLN 2019-00182
Permit #: BLD _____

Permanent Record
Microfilming Required

1. Basic Information

Owner

Name: REBECCA CULLY
Address: 131 COLUMBUS ST.
EL GRANADA, CA
Zip: 94019
Phone, W: 916-832-7232 H:
Email Address: rebeccamcully@gmail.com

Applicant

Name: BRYAN MOREHOUSE
Address: 525 RAILROAD AVE.
HALF MOON BAY, CA
Zip: 94019
Phone, W: 415-602-1301 H:
Email Address: brymore@yahoo.com

2. Project Information

Project Description:

RESIDENTIAL REMODEL

Assessor's Parcel Number(s):

047 - 092 - 100
- -
- -

Existing water source:

- Utility connection _____
- Well _____

Proposed water source:

- Utility connection _____
- Well _____

Staking of well location and property lines are required.

- Provide site plan depicting location and all trees.
- Will this require any grading or vegetation/tree removal? Yes No

If Yes, additional permits may be required. Such as: Tree Removal Permit, Grading Permit, Land Clearing Permit, Coastal Development Permit.

3. Signatures

We have reviewed this form as completed above and the basis for this exemption or exclusion. The information herein and the basis for exemption or exclusion are true and correct to the best of our knowledge and we hereby agree to carry out this project in accordance with the terms of the exemption/exclusion category selected on reverse. We also understand and agree that any exemption or exclusion issued for a water well and/or storage tank in the single family exclusion area will be invalidated in the event the future house, the well, and/or storage tank requires a variance

.....
Owner Date Applicant [Signature] Date 5/10/19

(Both Owner and Applicant must sign unless this Application for Exemption or Exclusion accompanies a Building Permit Application for which the Applicant is an agent for the Owner acceptable to the Building Inspection Section.)

Staff Use Only

4. Basis of Exemption or Exclusion

Use attached review sheet to determine basis of exemption and whether project qualifies. Review basis of exemption with applicant/owner and initial appropriate category below:

Initial

- A. Improvements to Existing Single Family Residence. [PRC 30610(a), CCAG 13250, ZR 6328.5(a)]
- B. Improvements to Existing Structure Other Than Single Family Residence or Public Works Facility. [PRC 30610(b), CCAG 13253, ZR 6328.5(b)]
- C. Existing Navigation Channel. [PRC 30610(c), ZR 6328.5(c)]
- D. Repair or Maintenance Activity. [PRC 30610(d), CCAG 13252, ZR 6328.5(d)]
- E. Single Family Residence Categorical Exclusion Area. [PRC 30610(e), CCAG 13240, AB 643, ZR 6328.5(e)]

- F. Agriculturally-Related Development Categorical Exclusion Area. [PRC 30610(e), CCAG 13240, ORDERS E-79-7 and E-81-1, ZR 6328.5(e)]
- G. Utility Connections. [PRC 30610(f), ZR 6328.5(f)]
- H. Replacement of Structures Following Disasters. [PRC 30610(g), ZR 6328.5(g)]
- I. Emergency Activities. [PRC 30611, ZR 6328.5(h)]
- J. Lot Line Adjustment. [ZR 6328.5(i)]
- K. Land Division for Public Recreation Purposes. [ZR 6328.5(l)]

5. Well Inspection - All Coastal Zone Areas

- Required Not Required

Inspection made by: _____

Date of Inspection: _____

Yes **No**

- | | |
|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> Removal of trees? |
| <input type="checkbox"/> | <input type="checkbox"/> If Yes, is tree removal permit included? |
| <input type="checkbox"/> | <input type="checkbox"/> Trimming of trees? |
| <input type="checkbox"/> | <input type="checkbox"/> Excessive removal of vegetation? |
| <input type="checkbox"/> | <input type="checkbox"/> Excessive grading? (If Yes, CDP is required) |
| <input type="checkbox"/> | <input type="checkbox"/> Erosion control plan required? |

Approval of Permit is subject to the following: (check if applicable)

- Submittal and Approval of a Tree Removal Permit
- Submittal and Approval of a Grading Permit
- Submittal and Approval of an Erosion Control Plan
- Submittal and Approval of a Coastal Dev. Permit

6. Approval

I have reviewed the above-described project and have determined that it meets all criteria for the exemption/exclusion checked above.

Exemption/Exclusion is approved.

.....
 Planning Department

.....
 Date

Project is subject to the following condition(s) of approval: _____

7. Processing

- Fee collected
- Original Certificate of Exemption to Building Inspection file.
- Copies of Certificate of Exemption to:
 1. Applicant/Owner.
 2. Planning Department Exemption Binder.

- 3. Any relevant Planning or Building Inspection files.
- 4. California Coastal Commission, 45 Fremont Street, Suite 2000, San Francisco, CA 94105
- Update Permit*Plan Case Screen and Activities

Planning and Building Department

County Government Center ■ 455 County Center ■ Redwood City CA 94063
Mail Drop PLN 122 ■ 650 • 363 • 4161 ■ FAX 650 • 363 • 4849Permit #: PLN 2019-00182

Other Permit #: _____

**Application for
Design Review by the
County Coastside Design
Review Committee****1. Basic Information****Applicant:**Name: BRYAN MOREHOUSE
Address: 525 RAILROAD AVE.
HALF MOON BAY, CA 94019
Phone, W: 650-726-9265 H: _____
Email: BRYMORE@YAHOO.COM**Owner (if different from Applicant):**Name: REBECCA CULLY
Address: 131 COLUMBUS ST.
EL GRANADA, CA Zip: 94019
Phone, W: _____ H: C.916-832-7232
Email: REBECCAMCULLY@GMAIL.COM**Architect or Designer (if different from Applicant):**Name: BRYAN MOREHOUSE
Address: 525 RAILROAD AVE, HALF MOON BAY, CA Zip: 94019
Phone, W: 650-726-9265 H: _____ Email: BRYMORE@YAHOO.COM**2. Project Site Information****Project location:**APN: 047092100
Address: 131 COLUMBUS ST.
EL GRANADA, CA 94019
Zoning: R-1 / S -17 / DR / CD
Parcel/lot size: 6,229 SQFT sq. ft.**Site Description:**

-
- Vacant Parcel
-
-
- Existing Development (Please describe):

RESIDENTIAL REMODEL**3. Project Description****Project:**

-
- New Single Family Residence: _____ sq. ft.
-
-
- Addition to Residence: _____ sq. ft.
-
-
- Other:
- SINGLE FAMILY RESIDENCE REMODEL

Describe Project:

RELOCATE KITCHEN, REMODEL LIVING SPACES, BEDROOMS, BATHROOMS, AND BUILDING EXTERIOR. PROVIDE NEW PORCH, PORCH ROOF, REAR DECK WITH CANOPY AND LANDSCAPING AS SHOWN IN PLAN. CONNECT THE MOST USED SPACES, KITCHEN AND LIVING, WITH NATURE AND NATURAL LIGHT. CAPTURE SOLAR ENERGY. REPLACE APPLIANCES, ELECTRICAL AND LIGHTING WITH THE HIGHEST ENERGY EFFICIENT STANDARDS. INCREASE WATER SELF-SUFFICIENCY WITH EFFICIENT PLUMBING, FIXTURES, RAINWATER, GRAY WATER, AND GROUND RUNOFF.

Additional Permits Required:

-
- Certificate of Compliance Type A or Type B
-
-
- Coastal Development Permit
-
-
- Fence Height Exception (not permitted on coast)
-
-
- Grading Permit or Exemption
-
-
- Home Improvement Exception
-
-
- Non-Conforming Use Permit
-
-
- Off-Street Parking Exception
-
-
- Variance

4. Materials and Finish of Proposed Buildings or Structures

Fill in Blanks:	Material	Color/Finish	Check if matches existing
		(If different from existing, attach sample)	
a. Exterior walls	WOOD	NATURAL STAIN / WEATHERED	<input type="checkbox"/>
b. Trim	WOOD	NATURAL STAIN	<input type="checkbox"/>
c. Windows	FIBERGLASS	DARK BRONZE	<input type="checkbox"/>
d. Doors	WOOD	NATURAL STAIN	<input type="checkbox"/>
e. Roof	ZINC	ZINC	<input type="checkbox"/>
f. Chimneys	CAP	ZINC	<input type="checkbox"/>
g. Decks & railings	WOOD / GLASS	NATURAL STAIN / GLASS	<input type="checkbox"/>
h. Stairs	WOOD	NATURAL STAIN	<input type="checkbox"/>
i. Retaining walls	NA		<input type="checkbox"/>
j. Fences	WOOD	NATURAL STAIN	<input type="checkbox"/>
k. Accessory buildings	NA		<input type="checkbox"/>
l. Garage/Carport	WOOD	NATURAL STAIN	<input type="checkbox"/>

5. Required Findings

To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

- (optional) Applicant's Statement of project compliance with standards and guidelines (check if attached).

6. Signatures

I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.

Owner: 

Applicant: 

5/10/19

5/10/19

Date:

Date:

Design Review Application Submittal Checklist

This checklist is intended to be used by the Applicant during the Design Stage up to the time of the submittal of a complete application to the Current Planning Staff. During the Design Stage, this checklist is used to certify Pre-application Conference Attendance and to help the Applicant compile all the materials and information required for complete application submittal. At the time of project submittal, the Applicant should bring this checklist to the Planning Counter Staff, as this checklist will be used to review the completeness of the application submittal.

DESIGN STAGE

1. DESIGN SHALL CONFORM TO APPLICABLE REGULATIONS AND STANDARDS

The following samples are enclosed in this packet to illustrate materials required for application (see application requirements):

- a. *Maximum Building Heights in Unincorporated San Mateo County*
- b. *Survey Sample*
- c. *Sample Primary Building Elevation (Guidance for Presentation of Color and Exterior Material Samples)*

Other regulations and standards are available at the Planning and Building Department's Website and at the Planning Counter:

- a. *Midcoast Design Review Standards*
- b. *Design Review (DR) Zoning District Ordinance (includes Bayside DR Standards and Required Findings for Permit Approval)*
- c. *Coastside Design Review Committee (CDRC) Policies on the Story Pole Installation and Major/Minor Modifications*

2. PRE-APPLICATION CONFERENCE REQUIREMENT

Prior to finalizing the design of a project in the Design Review District and submitting an application for Design Review, the project designer (which can be the owner) must participate in a pre-application conference with the Design Review Officer. The purpose of the pre-application conference is to assure that the designer and owner are aware of the design standards, expectations, and application requirements of the County prior to finalizing the design of a project. Applications which have not been signed by the Design Review Officer for certification of pre-application attendance are considered incomplete and will not be accepted by the Current Planning Section. Pre-application conferences may be arranged by appointment with the Design Review Officer, telephone 650/363-1825.

CERTIFICATION OF CONFERENCE ATTENDANCE

On NOVEMBER 14, _____, 20 18, the project designer/architect attended a pre-application conference in relation to the development project located at 455 COUNTY CENTER, REDWOOD CITY, CA

MELISSA ROSS

Design Review Officer

NOVEMBER 14, 2018

Date

Environmental Information Disclosure Form

Planning and Building Department

PLN 2019 - 00182

BLD _____

Project Address: 131 COLUMBUS ST
EL GRANADA, CA 94019

Assessor's Parcel No.: 047 — 092 — 100

Zoning District: R1 / S17 / DR / CD

Name of Owner: REBECCA CULLY
131 COLUMBUS ST

Address: EL GRANADA, CA 94019
Phone: 916-832-7232

Name of Applicant: BRYAN MOREHOUSE

Address: 624 TERRACE AVE
HALF MOON BAY, CA 94019
Phone: 650-726-9265

Existing Site Conditions

Parcel size: 6229 SQFT

Describe the extent and type of all existing development and uses on the project parcel, including the existence and purpose of any easements on the parcel, and a description of any natural features on the project parcel (i.e. steep terrain, creeks, vegetation). _____

Environmental Review Checklist

1. California Environmental Quality Act (CEQA) Review

Yes	No	Will this project involve:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. Construction of a new multi-family residential structure having 5 or more units?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	c. Construction of a commercial structure > 2,500 sq.ft?
<input checked="" type="checkbox"/>	<input type="checkbox"/>	d. Removal of mature tree(s) (≥ 6" d.b.h. in Emerald Lake Hills area or ≥ 12" d.b.h. in any residential zoning district)? If yes, how many trees to be removed? <u>1</u>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	e. Land clearing or grading? If yes, please state amount in cubic yards (c.y.): Excavation : _____ c.y. Fill: _____ c.y.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	f. Subdivision of land into 5 or more parcels?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	g. Construction within a State or County scenic corridor?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	h. Construction within a sensitive habitat?
<input checked="" type="checkbox"/>	<input type="checkbox"/>	i. Construction within a hazard area (i.e. seismic fault, landslide, flood)?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	j. Construction on a hazardous waste site (check with Co. Env. Health Division)?

Please explain all "Yes" answers:

D. REMOVING NON-NATIVE TREE AND REPLACING WITH 16 EDIBLE FRUIT TREES

I. REMODEL IN EARTHQUAKE FAULT ZONE AS PER THE CALIFORNIA GEOLOGICAL SURVEY:

[HTTPS://MAPS.CONSERVATION.CA.GOV/CGS/INFORMATIONWAREHOUSE/REGULATORYMAPS/](https://maps.conservation.ca.gov/cgs/informationwarehouse/regulatorymaps/)

Signature required on reverse →

2. National Marine Fisheries Rule 4(d) Review

Yes	No	Will the project involve:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	a. Construction outside of the footprint of an existing, legal structure?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. Exterior construction within 100-feet of a stream?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	c. Construction, maintenance or use of a road, bridge, or trail on a stream bank or unstable hill slope?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	d. Land-use within a riparian area?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	e. Timber harvesting, mining, grazing or grading?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	f. Any work inside of a stream, riparian corridor, or shoreline?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	g. Release or capture of fish or commerce dealing with fish?

Please explain any "Yes" answers:

3. National Pollutant Discharge Elimination System (NPDES) Review

Yes	No	Will the project involve:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	a. <u>A subdivision or Commercial / Industrial Development that will result in the addition or replacement of 10,000 sq. ft. or more of impervious surface?</u> If yes, Property Owner may be required to implement appropriate source control and site design measures and to design and implement stormwater treatment measures, to reduce the discharge of stormwater pollutants. Please consult the Current Planning Section for necessary forms and both construction and post-construction requirements.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. <u>Land disturbance of 1 acre or more of area?</u> If yes, Property Owner must file a Notice of Intent (NOI) to be covered under the statewide General Construction Activities Storm Water Permit (General Permit) prior to the commencement of construction activity. Proof of coverage under State permit must be demonstrated prior to the issuance of a building permit.

Certification

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and the facts, statements and information presented are true and correct to the best of my knowledge and belief. **If any of the facts represented here change, it is my responsibility to inform the County.**

Signed:



Date:

5/10/19

(Applicant may sign)

SYMBOLS

DETAIL DRAWING IDENTIFICATION			
	DRAWING NUMBER SHEET NUMBER		EARTH
	ELEVATION DRAWING IDENTIF.		ROCK FILL
	DRAWING NUMBER SHEET NUMBER		SAND / MORTAR
	KEYNOTE		POURED IN PLACE CONCRETE
	REVISION		STEEL
	ALIGN SURFACES		WOOD FINISHED
	WORK POINT, CONTROL POINT OR DATUM POINT		WOOD FRAMING THROUGH MEMBER
	PROPERTY LINE		WOOD INTERRUPTED MEMBER
	NORTH ARROWS		PLYWOOD
	DOOR NUMBER		GLASS
	WINDOW NUMBER		GYP. BOARD
	FINISH TYPE FINISH NUMBER		INSULATION
	CEILING HEIGHT		(E) WALL TO REMAIN
	PLUMBING FIXTURE TAG		(E) FIRE RATED WALL
	ACCESSORIES TAG		(N) FIRE RATED WALL
			(N) WALL
			(E) WALL TO BE DEMOLISHED

RENOVATION FOR CULLY RESIDENCE

131 COLUMBUS ST., EL GRANADA, CA 94019

DRAWING INDEX

T-1	TITLE SHEET
A-1	EXISTING & NEW PERSPECTIVES
A-2	NEW PERSPECTIVES
C-1	SURVEY
A-3	(E) & (N) SITE / ROOF PLANS
A-14	NEW SOUTH & EAST EXTERIOR ELEVATIONS
A-15	NEW NORTH & WEST EXTERIOR ELEVATIONS
A-4	DEMOLITION & CONSTR. / ELECTRICAL PLANS
A-16	NEW CROSS SECTIONS
L-1	LANDSCAPE
L-2	LANDSCAPE - WORKSHEET & SOIL ANALYSIS
L1.00	IRRIGATION PLAN
L2.00	IRRIGATION DESIGN PLAN

ABBREVIATIONS

&	AND	FA	FIRE ALARM	PL	PLATE
∠	ANGLE	FD	FLOOR DRAIN	PLYWD.	PLYWOOD
@	AT	FDN.	FOUNDATION	PR.	PAIR
⊕	CENTERLINE	F.E.	FIRE EXTINGUISHER	PT	POINT
~	DIAMETER	FIN	FINISH	P.T.	PRESSURE PRESERVATIVE
⊥	PERPENDICULAR	FIXT.	FIXTURE	TREATED	
		FL	FLOOR	(R)	RELOCATED
A.C. / HR	AIR CHANGES PER HOUR	FLUOR.	FLUORESCENT	RAD.	RADIUS
ADJ.	ADJACENT	FSC	FOREST STEWARDSHIP	R.D.	ROOF DRAIN
A.F.F.	ABOVE FINISHED FLOOR	COUNCIL	COUNCIL	REF.	REFERENCE
AFI	ARC FAULT INTERRUPTER	FT.	FOOT OR FEET	REF	REFRIGERATOR
AFUE	ANNUAL FUEL UTILIZATION EFFICIENCY	FTG.	FOOTING	REINF.	REINFORCED
APPROX.	APPROXIMATELY	FURN.	FURNACE	REQ.	REQUIRED
BLDG.	BUILDING	FURR.	FURRING	R.O.	ROUGH OPENING
BLK.	BLOCK	GA.	GAUGE	RWD.	REDWOOD
BLKG.	BLOCKING	GALV.	GALVANIZED	R.W.L.	RAIN WATER LEADER
BM.	BEAM	GD	GARBAGE DISPOSAL	S.	SOUTH
BOT.	BOTTOM	GFI	GROUND FAULT INTERRUPT CIRCUIT	S.C.	SOLID CORE
CAB.	CABINET	GND.	GROUND	SCHED.	SCHEDULE
C&D	CONSTRUCTION & DEMO.	GPF	GALLONS PER FLUSH	S.D.	SOAP DISPENSER
CEM.	CEMENT	GR.	GRADE	SECT.	SECTION
⊕	CENTER LINE	GYP. BD.	GYP. BOARD	SH.	SHELF
CLG.	CEILING	H.B.	HOSE BIB	SHT.	SHEET
CLOS.	CLOSET	HDWD.	HARDWOOD	SIM.	SIMILAR
CLR.	CLEAR	HDWE.	HARDWARE	SPEC.	SPECIFICATION
COL.	COLUMN	H.M.	HOLLOW METAL	SQ.	SQUARE
CONC.	CONCRETE	HORIZ.	HORIZONTAL	S.S.D.	SEE STRUCTURAL DRAWINGS
CONST.	CONSTRUCTION	HR.	HOUR	SST.	STAINLESS STEEL
CONT.	CONTINUOUS	I.D.	INSIDE DIAMETER	STD.	STANDARD
CTR.	CENTER	INSUL.	INSULATION	STL.	STEEL
CONTR.	CONTRACTOR	INT.	INTERIOR	STOR.	STORAGE
(D)	DEMOLISH	JOINT	JOINT	STR.	STRUCTURAL
DBL.	DOUBLE	KIT.	KITCHEN	SYM.	SYMMETRICAL
DEPT.	DEPARTMENT	LAV.	LAVATORY	T.C.	TOP OF CURB
DET.	DETAIL	MAX.	MAXIMUM	TEL.	TELEPHONE
DIA.	DIAMETER	MECH.	MECHANICAL	TEMP.	TEMPERED
DIM.	DIMENSION	MET.	METAL	T&G.	TONGUE AND GROOVE
DW	DISHWASHER	MFR.	MANUFACTURER	THK	THICK
DN.	DOWN	MH.	MANHOLE	T.P.	TOP OF PAVEMENT
DR.	DOOR	MIN.	MINIMUM	T.W.	TOP OF WALL
DS.	DOWNSPOUT	MIR.	MIRROR	TYP.	TYPICAL
DWG.	DRAWING	MISC.	MISCELLANEOUS	U.O.N.	UNLESS OTHERWISE NOTED
(E)	EXISTING	MOT.	MOTION DETECTOR	UR.	URNAL
E.	EAST	MTD.	MOUNTED	VERT.	VERTICAL
EA.	EACH	MUL.	MULLION	V.I.F.	VERIFY IN FIELD
ELEC.	ELECTRICAL	(N)	NEW	W/D	WASHER / DRYER
ELEV.	ELEVATION	N.	NORTH	W.	WEST
EMER.	EMERGENCY	N.I.C.	NOT IN CONTRACT	WI	WITH
EQ.	EQUAL	N.T.S.	NOT TO SCALE	W.C.	WATER CLOSET
EQPT.	EQUIPMENT	O.C.	ON CENTER	WD.	WOOD
EXST.	EXISTING	O.D.	OUTSIDE DIAMETER (DIM.)	W/O	WITHOUT
EXT.	EXTERIOR	OPNG.	OPENING	WP.	WATERPROOF
				WR.	WATER RESISTANT

PROJECT DATA

PROJECT ADDRESS:	131 COLUMBUS ST. EL GRANADA, CA 94019
BUILDING OWNERS:	REBECCA CULLY 131 COLUMBUS ST. EL GRANADA, CA 94019
DESIGNER:	MOREHOUSE DESIGN T. BRYAN MOREHOUSE KRISTYN T. KOHLER 624 TERRACE AVE. HALF MOON BAY, CA 94019 650-726-9265 PH/FX 415-602-1301 CELL
WATER MANAGEMENT AND DESIGN:	INDRA DESIGNS TONY MADRONE PRINCIPAL TONY@INDRADESIGNS.COM 415.895.0343
CONTRACTOR:	TBD
BUILDING CODES:	THE 2016 CALIFORNIA RESIDENTIAL CODE, THE 2016 CALIFORNIA FIRE CODE, THE 2016 CALIFORNIA ENERGY CODE, THE 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE, THE 2016 CALIFORNIA MECHANICAL CODE, THE 2016 CALIFORNIA PLUMBING CODE, THE 2016 CALIFORNIA ELECTRICAL CODE.
ZONING:	R-1 / S-17 / DR / CD
A.P.N.:	047092100
OCCUPANCY:	R-3 / U
TYPE OF CONSTRUCTION:	TYPE V - B
CLIMATE ZONE:	CZ-3

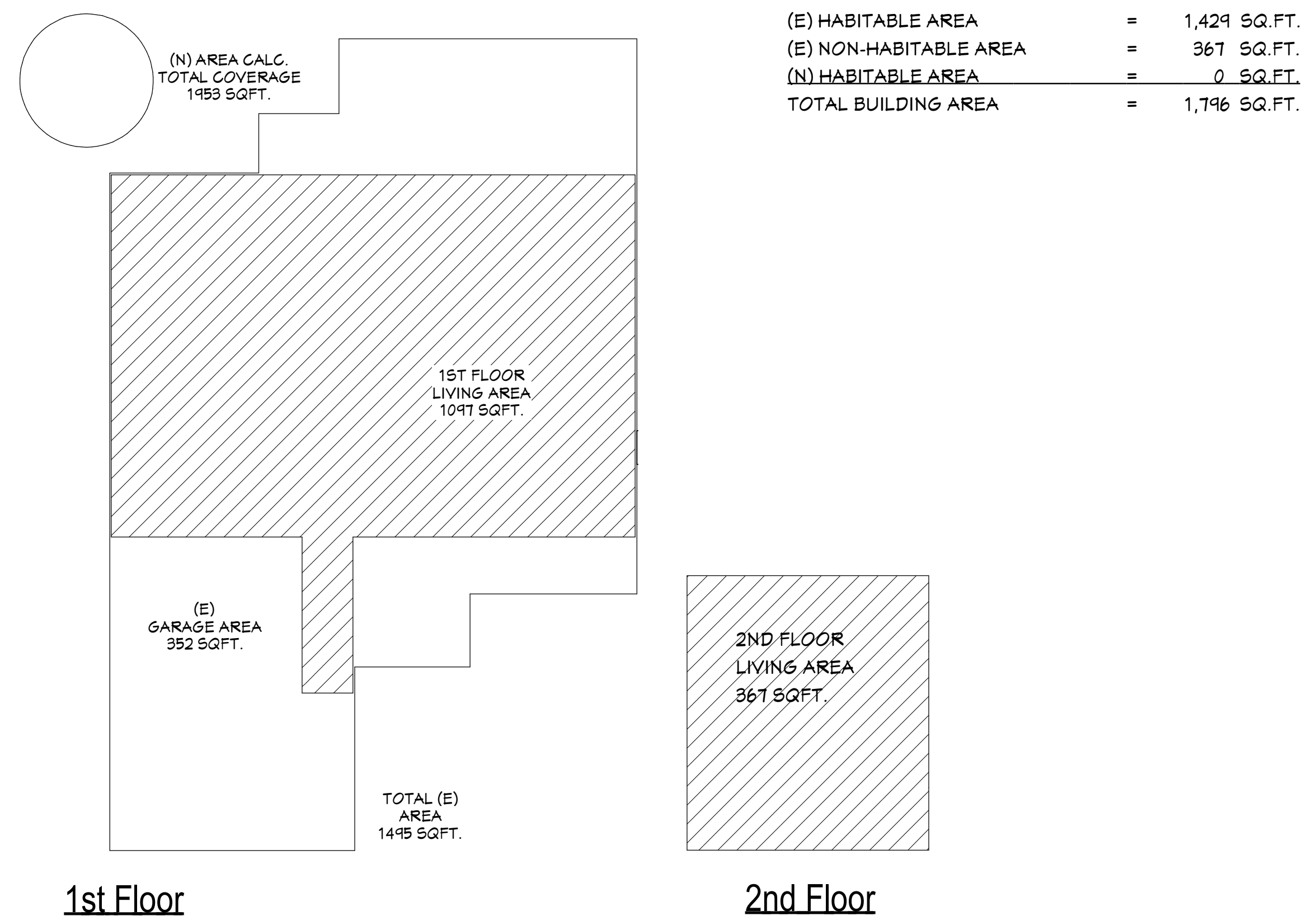
PROJECT SUMMARY TABLE

NET LOT AREA:	6,229 square feet		
	Existing	Change in	Total Proposed
% OF FRONT YARD PAVING:	282 sq.ft. (4.5%)	282 sq.ft.	0 sq.ft. (0%)
HABITABLE LIVING AREA (CFA):	1,429 square feet	0 square feet	1,429 square feet
NON-HABITABLE AREA:	367 square feet	0 square feet	367 square feet

	Existing	Proposed	Allowed / Required
TOTAL COVERAGE AREA:	1498 square feet (24%)	1953 square feet (31%)	2180.2 square feet (35%)

SETBACKS:			
Front	14' - 11 1/2"	14' - 11 1/2"	20'
Rear	59' - 7 1/2"	50' - 1"	20'
Right side	5' - 0"	5' - 0"	15' TOTAL W/ 5' MIN.
Left side	5' - 8"	5' - 8"	...
HEIGHT:	23' - 9"	23' - 9"	28'

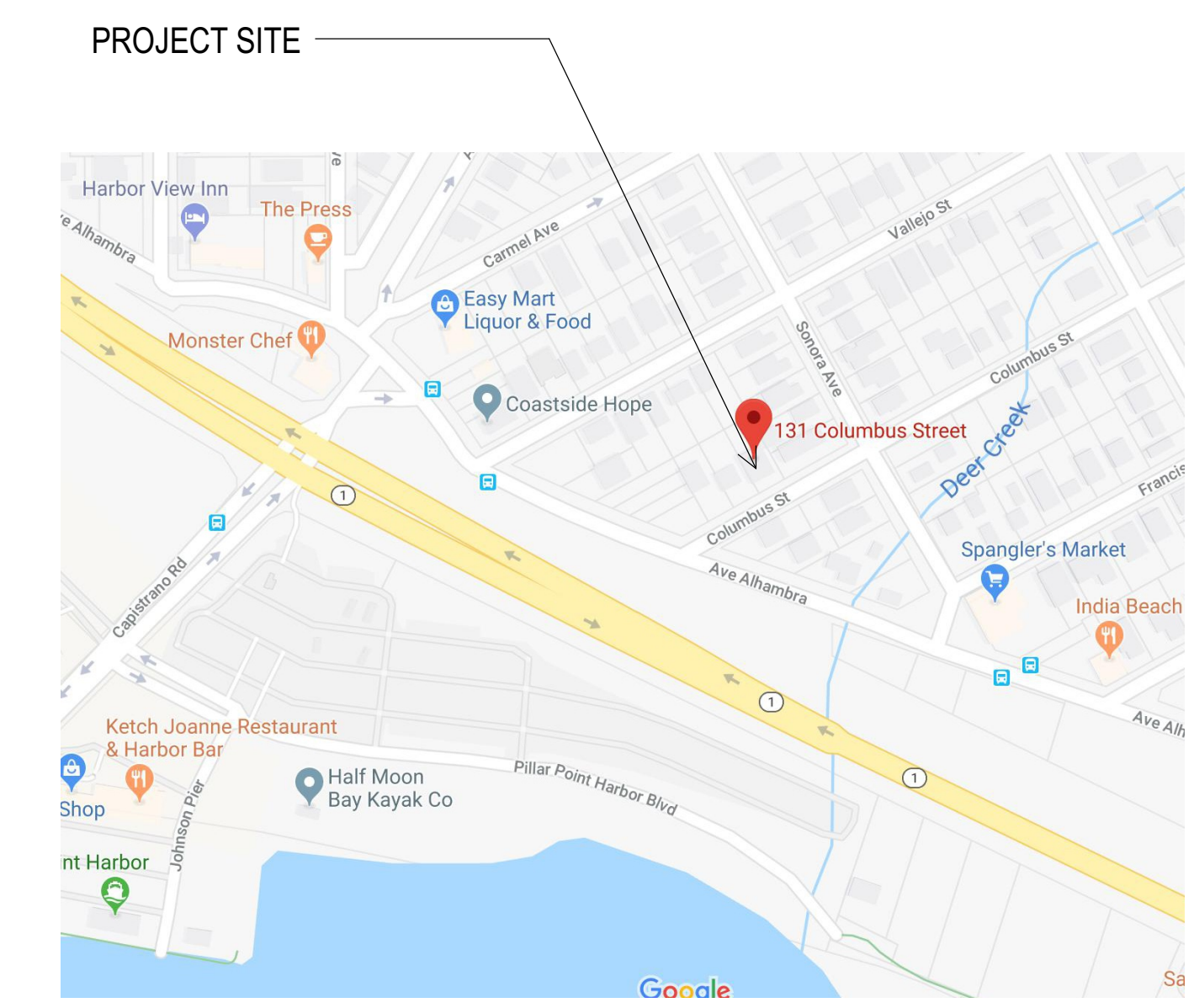
AREA DIAGRAM



PROJECT DESCRIPTION

PROJECT DESCRIPTION... RELOCATE KITCHEN AND REMODEL LIVING SPACES, BEDROOMS BATHROOMS, AND BUILDING EXTERIOR. PROVIDE NEW PORCH, PORCH ROOF, REAR DECK WITH CANOPY AND LANDSCAPING AS SHOWN IN PLAN. CONNECT THE MOST USED SPACES: KITCHEN AND LIVING, WITH NATURE AND NATURAL LIGHT. CAPTURE SOLAR ENERGY. REPLACE APPLIANCES, ELECTRICAL AND LIGHTING WITH THE HIGHEST ENERGY EFFICIENT STANDARDS. INCREASE WATER SELF SUFFICIENCY WITH EFFICIENT PLUMBING, FIXTURES, RAINWATER, GRAY WATER, AND GROUND RUNOFF.

VICINITY MAP



AERIAL PHOTO





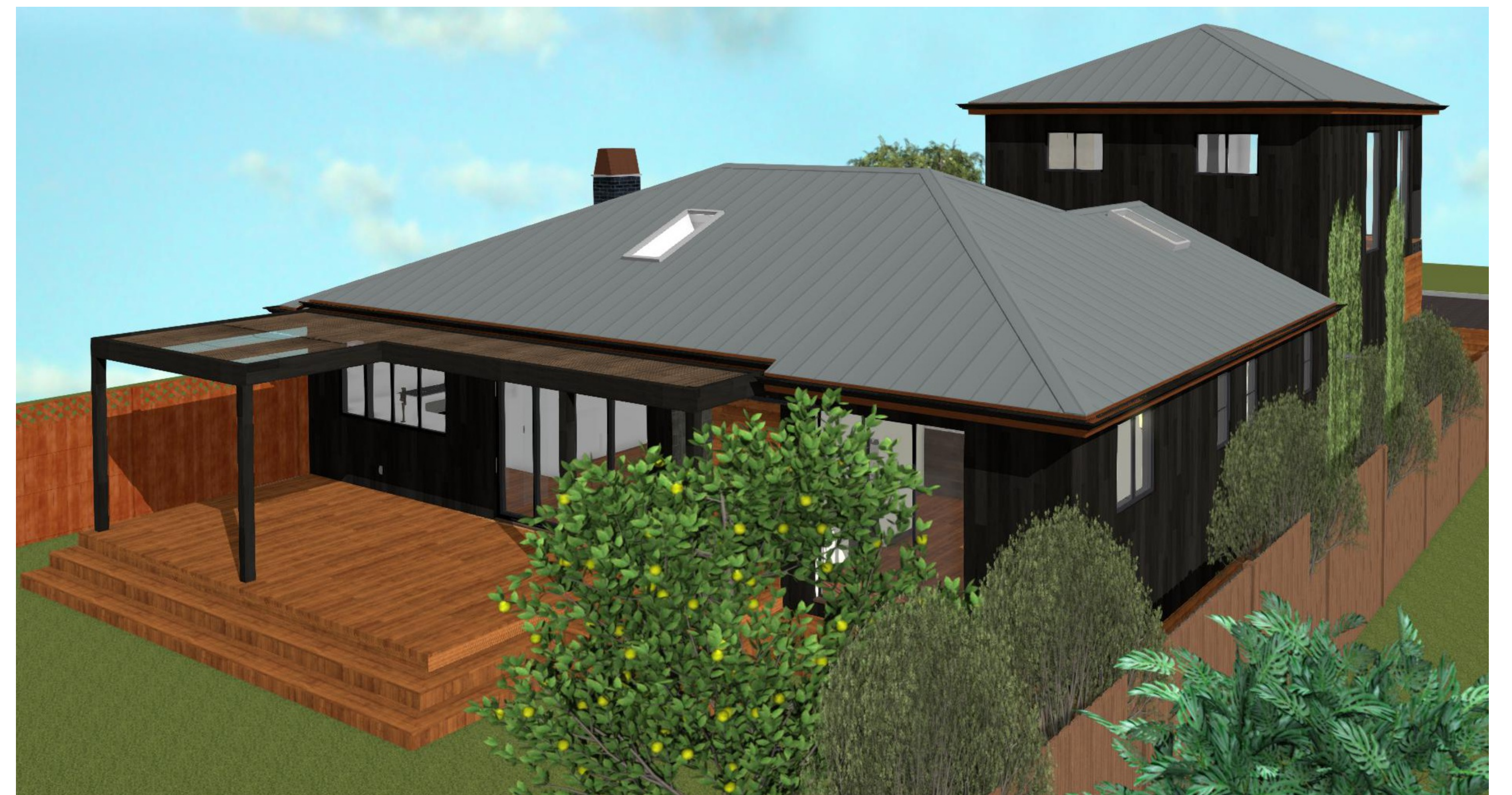
1. EXISTING FRONT PERSPECTIVE



1. NEW FRONT PERSPECTIVE



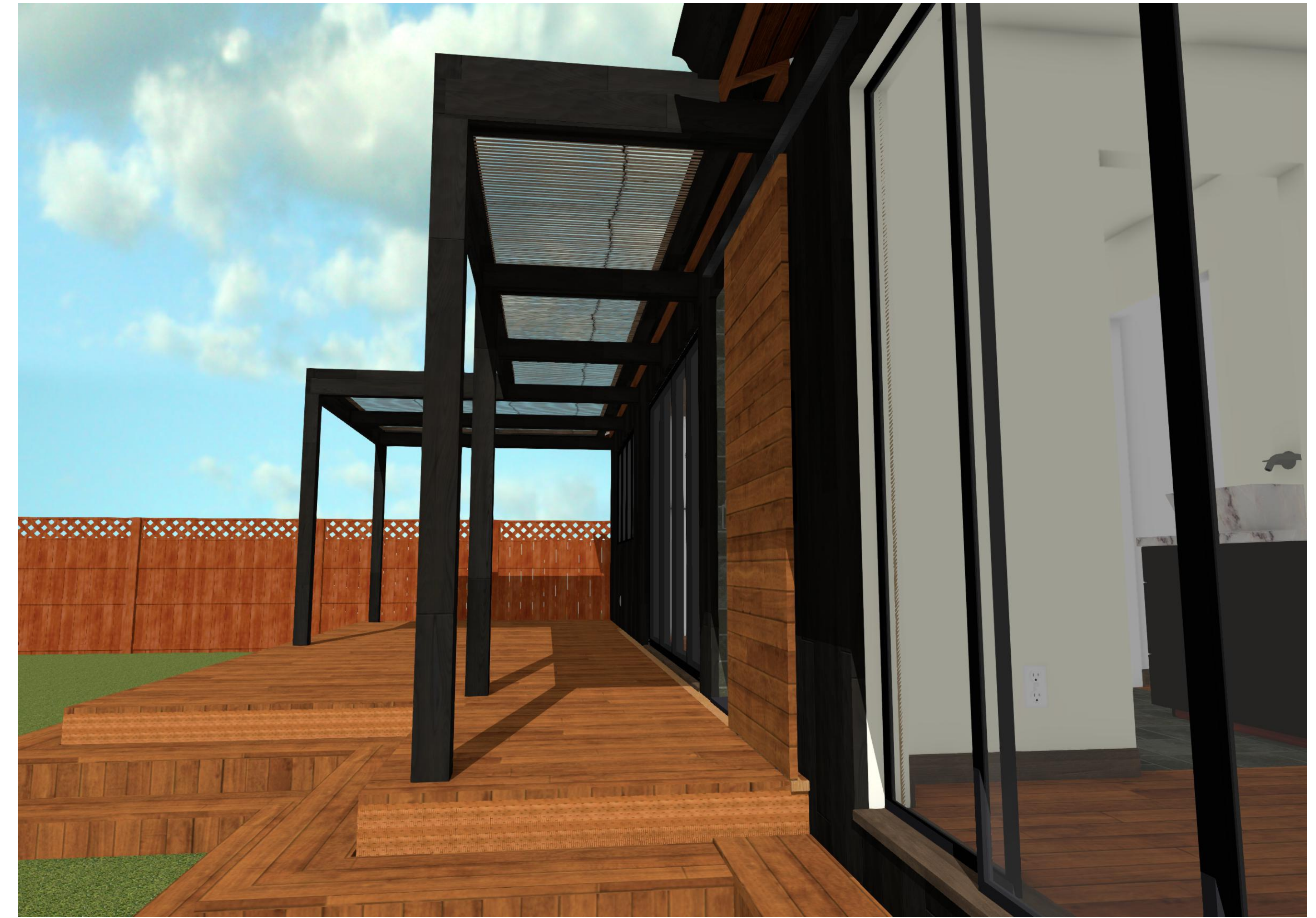
2. EXISTING BACK PERSPECTIVE



2. NEW BACK PERSPECTIVE



1. NEW AERIAL PERSPECTIVE



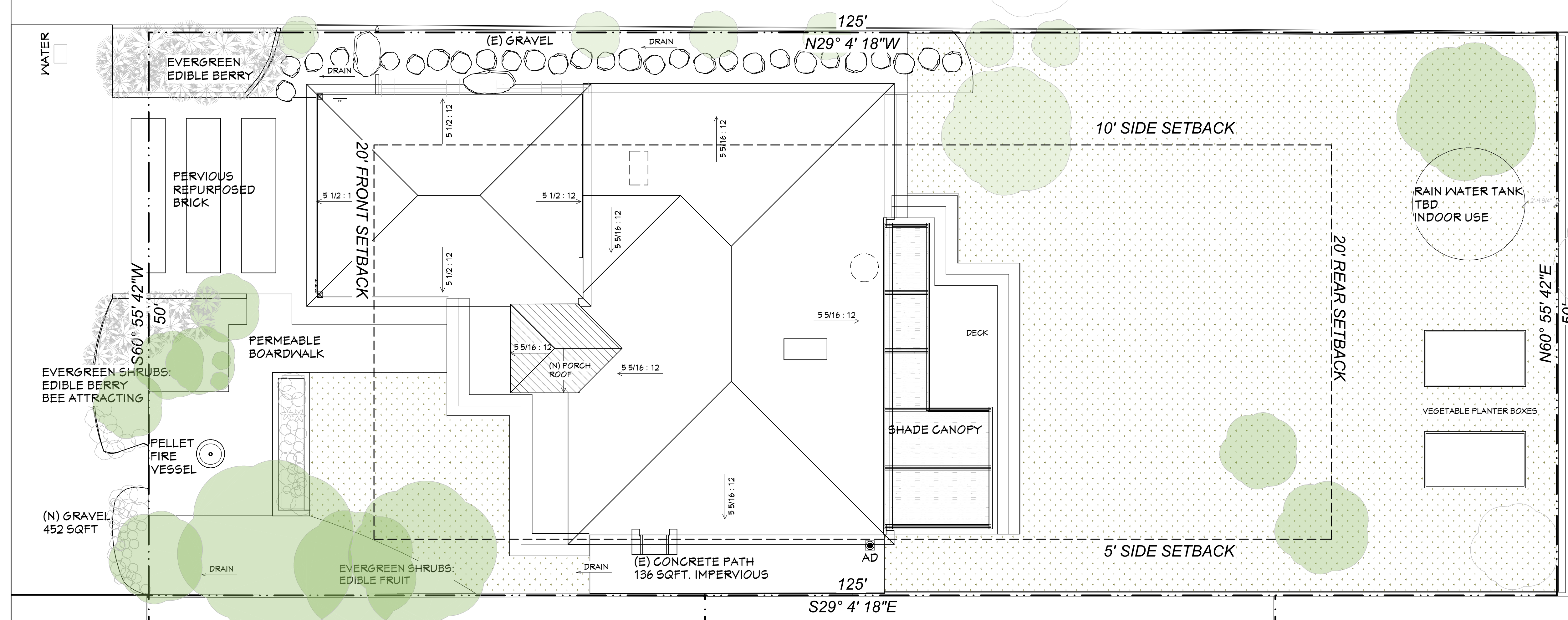
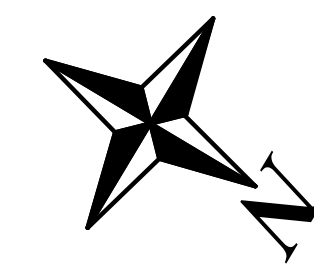
2. NEW BACK PERSPECTIVE



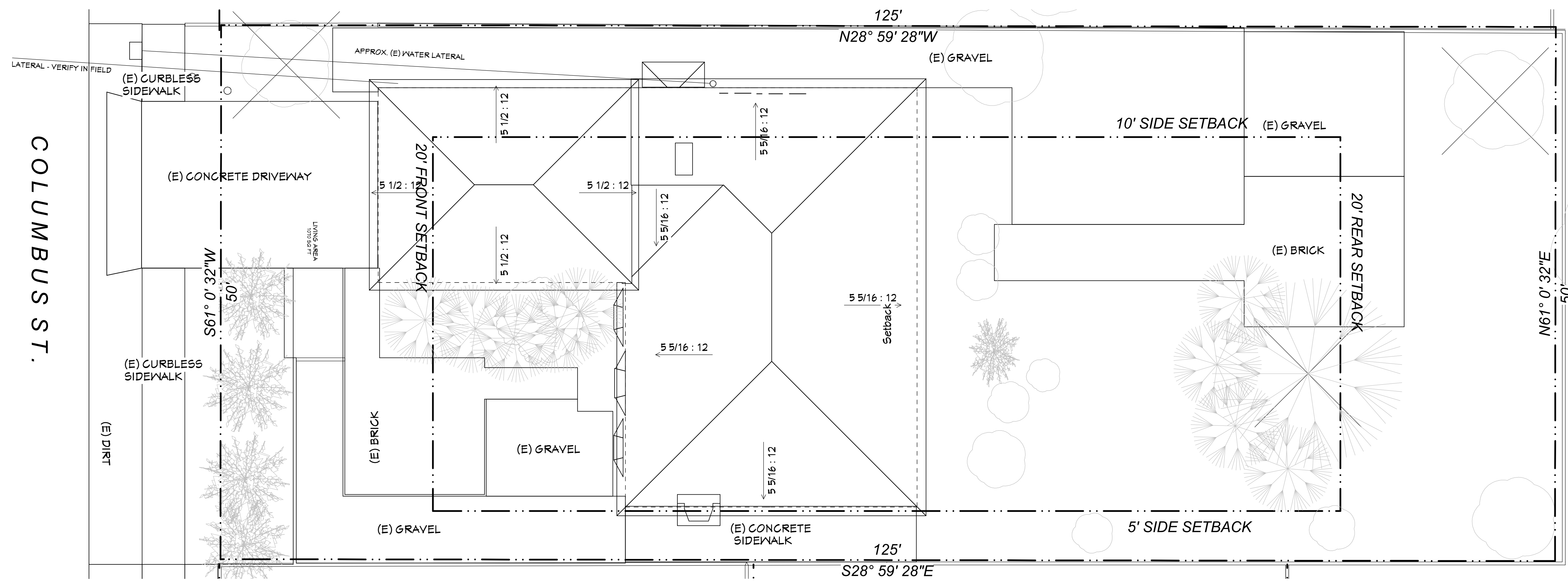
3. NEW KITCHEN PERSPECTIVE



4. NEW LIVING / DINING / KITCHEN PERSPECTIVE



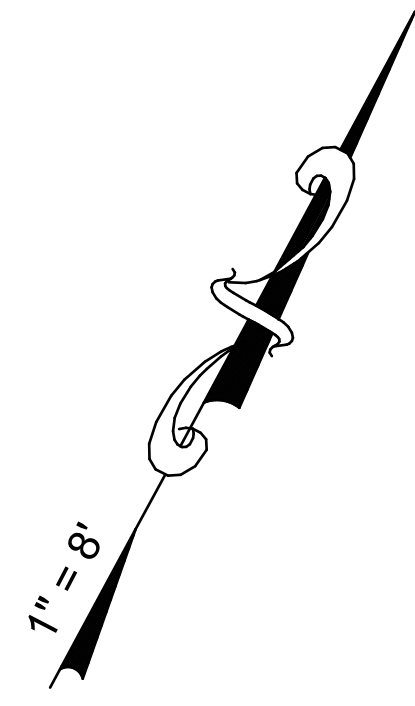
NEW SITE / ROOF PLAN 3/16 in = 1 ft



EXISTING SITE / ROOF PLAN 3/16 in = 1 ft

FIRE NOTES

- AS PER THE COASTSIDE FIRE DISTRICT STANDARD CI-013, BUILDING IDENTIFICATION SHALL BE CONSPICUOUSLY POSTED AND VISIBLE FROM THE STREET. (TEMPORARY ADDRESS NUMBERS SHALL BE POSTED PRIOR TO COMBUSTIBLES BEING PLACED ON SITE). THE LETTERS / NUMERALS FOR PERMANENT ADDRESS SIGNS SHALL BE 4 INCHES IN HEIGHT WITH A MINIMUM 1/2-INCH STROKE. SUCH LETTERS / NUMERALS SHALL BE INTERNALLY ILLUMINATED AND FACING THE DIRECTION OF ACCESS. RESIDENTIAL ADDRESS NUMBERS SHALL BE AT LEAST SIX FEET ABOVE THE FINISHED SURFACE OF THE DRIVEWAY. WHERE BUILDINGS ARE LOCATED REMOTELY TO THE PUBLIC ROADWAY, ADDITIONAL SIGNAGE AT THE DRIVEWAY / ROADWAY ENTRANCE LEADING TO THE BUILDING AND / OR ON EACH INDIVIDUAL BUILDING SHALL BE REQUIRED BY THE COASTSIDE FIRE DISTRICT. THIS REMOTE SIGNAGE SHALL CONSIST OF A 6 INCH BY 18 INCH GREEN REFLECTIVE METAL SIGN WITH 3 INCH REFLECTIVE NUMBERS / LETTERS SIMILAR TO HY-KO 911 OR EQUIVALENT SHALL BE PLACED AT THE ENTRANCE FROM THE NEAREST PUBLIC ROADWAY.
- AS PER COASTSIDE FIRE DISTRICT ORDINANCE (CFDO) 2016-01, THE ROOF COVERING OF EVERY NEW BUILDING OR STRUCTURE, AND MATERIALS APPLIED AS PART OF A ROOF COVERING, SHALL HAVE A MINIMUM FIRE RATING OF CLASS "B" OR HIGHER AS DEFINED IN THE CURRENT EDITION OF THE CBC.
- AS PER THE CFDO 2016-01 AND THE 2016 CALIFORNIA FIRE CODE 304.1.2, A FUEL BREAK OF DEFENSIBLE SPACE IS REQUIRED AROUND THE PERIMETER OF ALL STRUCTURE TO A DISTANCE OF NOT LESS THAN 30 FEET AND MAY BE REQUIRED TO A DISTANCE OF 100 FEET OR TO THE PROPERTY LINE. THIS IS NEITHER A REQUIREMENT OR AN AUTHORIZATION FOR THE REMOVAL OF LIVING TREES.
- TREES LOCATED WITHIN THE DEFENSIBLE SPACE SHALL BE PRUNED TO REMOVE DEAD OR DYING PORTIONS, AND LIMBED UP 6 FEET ABOVE THE GROUND. NEW TREES PLANTED IN THE DEFENSIBLE SPACE SHALL BE LOCATED NO CLOSER THAN 10' TO ADJACENT TREES WHEN FULLY GROWN OR AT MATURITY.
- REMOVE THAT PORTION OF ANY EXISTING TREES, WHICH EXTENDS WITHIN 10' OF THE OUTLET OF A CHIMNEY OR STOVEPIPE OR IS WITHIN 5' OF ANY STRUCTURE. MAINTAIN ANY TREE ADJACENT TO OR OVERHANGING A BUILDING FREE OF DEAD OR DYING WOOD.



BASIS OF BEARINGS

THE BEARING N 60°55'42" E ALONG THE MONUMENT & CENTER LINE OF COLUMBUS STREET AS SHOWN ON THAT CERTAIN MAP ENTITLED "PLAT OF SUBDIVISION NO 5 OF GRANADA" FILED FOR RECORD IN RSM BOOK 6 AT PAGE 50, SAN MATEO COUNTY RECORDS AND AS MONUMENTED WAS USED AS THE BASIS OF BEARING FOR THIS SURVEY AND PLAN.

SURVEYOR'S STATEMENT

I, DAVID ALVAREZ, SR. LS 4050, CERTIFY THAT THIS PARCEL'S BOUNDARY WAS ESTABLISHED BY ME OR UNDER MY SUPERVISION AND IS BASED ON A FIELD SUEVEY IN CONFORMANCE WITH THE LAND SURVEYOR'S ACT. ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITION INDICATED AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED. UPON ANY CERTIFICATION THE FILING OF A RECORD OF SURVEY MAP MAY BE REQUIRED.

TREE NOTES:

SPECIES OF TREES TO BE DETERMINED BY AN ARBORIST.
DRIP LINES ARE NOT SHOWN ON THIS MAP AND ARE TO BE MEASURED IN THE FIELD
ONLY TREES LARGER THAN 4 INCHES IN DIAMETER ARE SHOWN ON THIS MAP

DISCLAIMER:

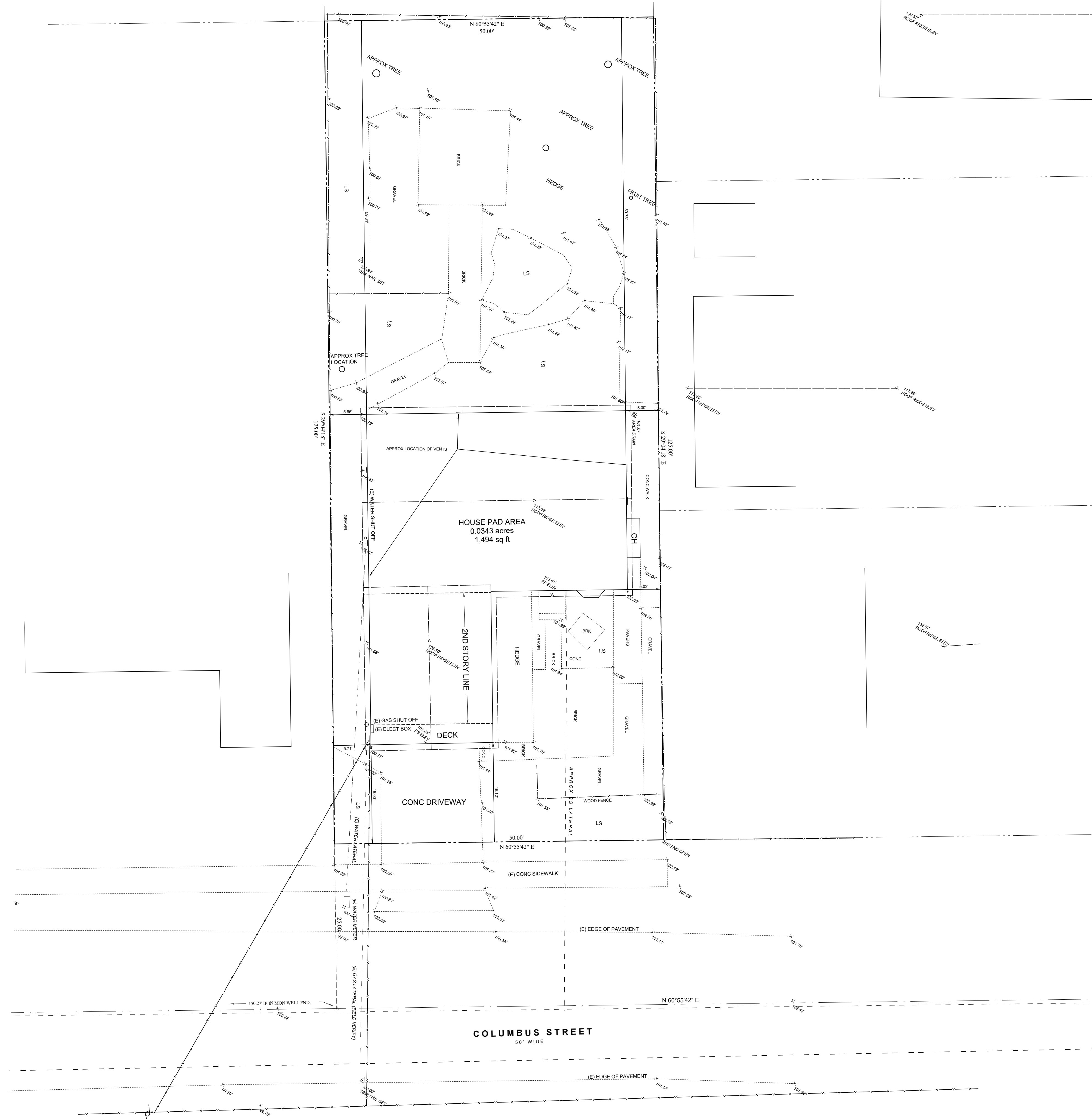
JLK ASSOCIATES OR ITS OFFICERS OR AGENTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF COMPLETENESS OF ELECTRONIC COPIES OF THIS PLAN.

UNDERGROUND DISCLAIMER

NOTE: THIS MAP REPRESENTS TOPOGRAPHY OF THE SURFACES FEATURES ONLY, UNLESS SPECIFIED ON THIS MAP. LOCATIONS OF THE UNDERGROUND UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-642-2444). SURFACE FEATURES ARE LOCATED BY MEANS OF A STATION AND OFFSET FROM THE CONTROL LINE. CURBLINE OFFSETS ARE TO FACE OF CURB. MANHOLE AND FLAT GRATE OFFSETS ARE TO THEIR RESPECTIVE CENTERS. HOODED INLETS (CATCH BASINS) ARE LOCATED BY CENTER OF TOP OF HOOD AT FACE OF CURB, UNLESS OTHERWISE NOTED. INVERTS FOR HOODED INLETS ARE MEASURED FROM THE TOP OF HOOD AND INVERTS FOR MANHOLES ARE MEASURED FROM THE RIM. THE TOPOGRAPHY CONTROL LINE(S) DEPICTED ON THIS MAP IS BASED ON FOUND MONUMENTS, A SPLIT OF IMPROVEMENTS OR A COMBINATION THEREOF. THE TOPOGRAPHY CONTROL LINE(S) SHOULD NOT BE TAKEN AS REPRESENTING THE RECORD CENTERLINE OF THE STREETS.

NOTES:

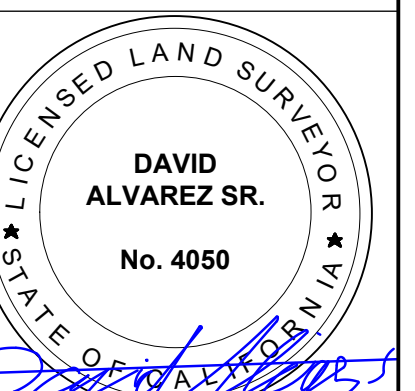
1. CONTOURS & ELEVATIONS ARE FIELD LOCATED AND ARE BASED ON ASSUMED DATUM
2. BOUNDARY INFO TAKEN FROM RECORD MAPS AND TITLE INFORMATION. HOWEVER THIS MAP SHOULD NOT BE USED TO ESTABLISH PROPERTY LINES. THE REPLACEMENT OF THE PROPERTY CORNERS WILL NECESSITATE THE FILING OF A RECORD OF SURVEY MAP BY A LICENSED SURVEYOR.
3. TREES TYPES ARE APPROXIMATED AND ARE TO BE IDENTIFIED BY OTHERS
4. X 102.56' INDICATES FIELD LOCATED ELEVATION SPOT SHOT.
5. APN# 047-092-010
6. CONTOUR INTERVAL = 1'



Chkd	
By	
Date	
Revision	
No.	

JLK ASSOCIATES
SURVEYORS / ENGINEERS
73 CEDAR LANE
SAN JOSE, CA. 95127
408-729-3734

SITE SURVEY PLAN
131 COLUMBUS STREET
HALF MOON BAY, CA
SAN MATEO COUNTY



SCALE: AS NOTED

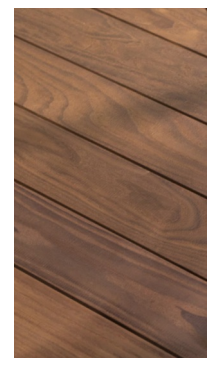
SHEET:
C - 1
1 OF 1



1. New South Elevation 1/4 in = 1 ft

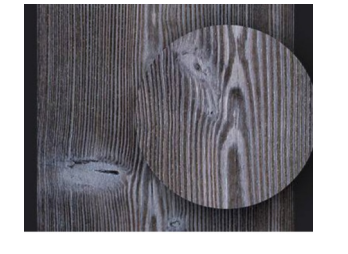
Front Door / Garage / Garage Cladding

- Wood Plank:
- Thermory Benchmark White Ash:
 - Door - Custom
 - Garage Facing - Custom
 - Garage Wall Siding - Horizontal



Cladding

- Wood Plank:
- Thermory Drift White Ash - Vertical



Windows / Folding Doors

- Fiberglass Windows:
- Cascadia Universal in Black
 - Fiberglass - low conductivity
 - Declare's Red List Free - free of harmful chemicals
 - LEED v4
 - Passive House Certified
- Folding Doors:
- NanaWall in Black Aluminum



Roof

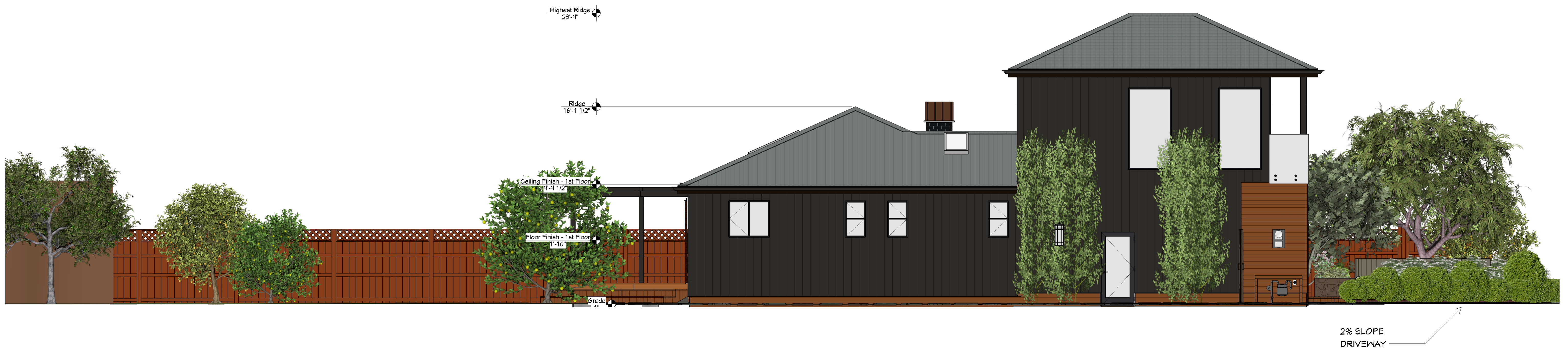
- Zinc:
- Fully Recycleable
 - Resistant to corrosion, self healing patina
 - Chemical free and fungus resistant - perfect for rain catchment



2. New East Elevation 1/4 in = 1 ft

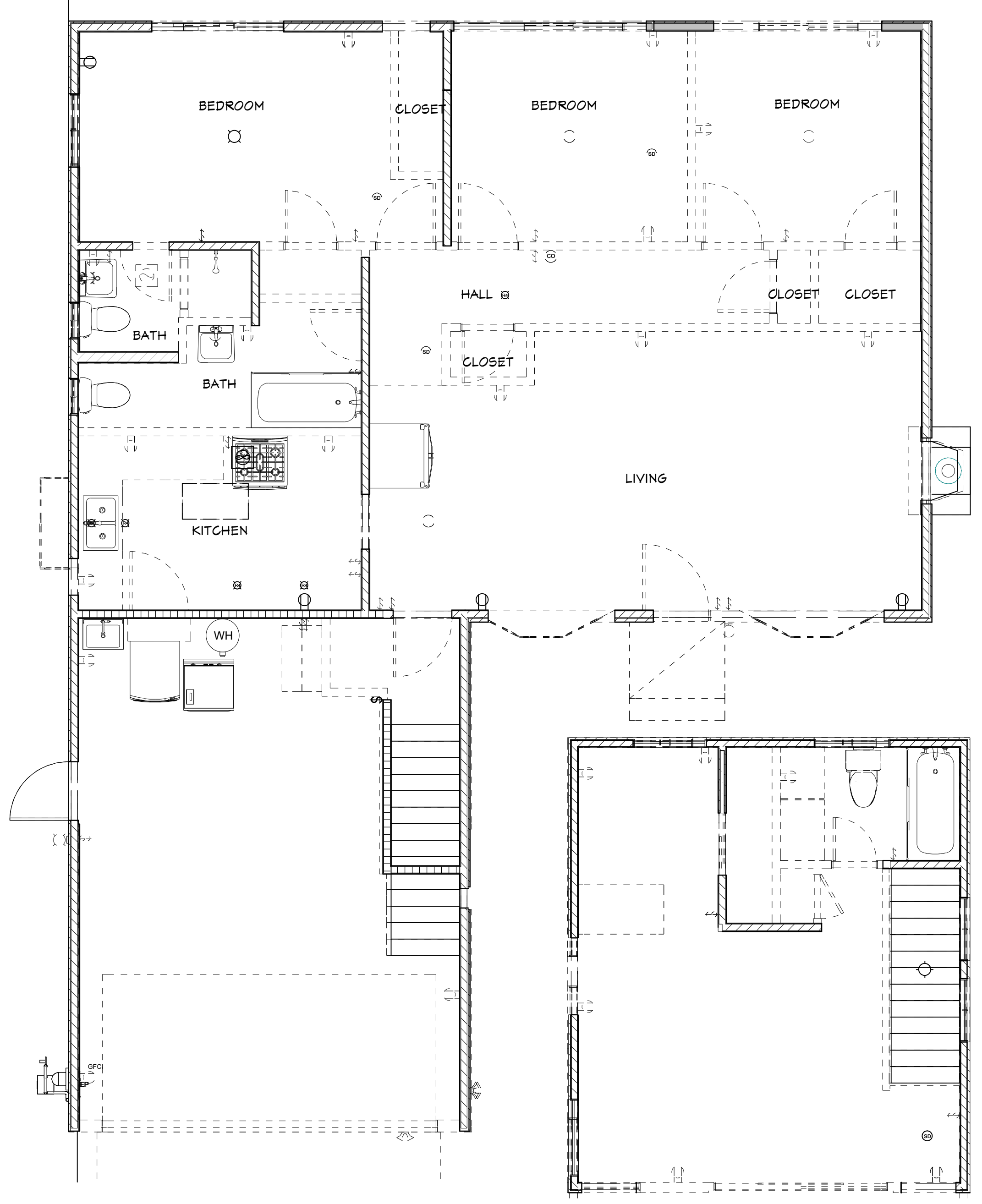


3. New North Elevation 1/4 in = 1 ft



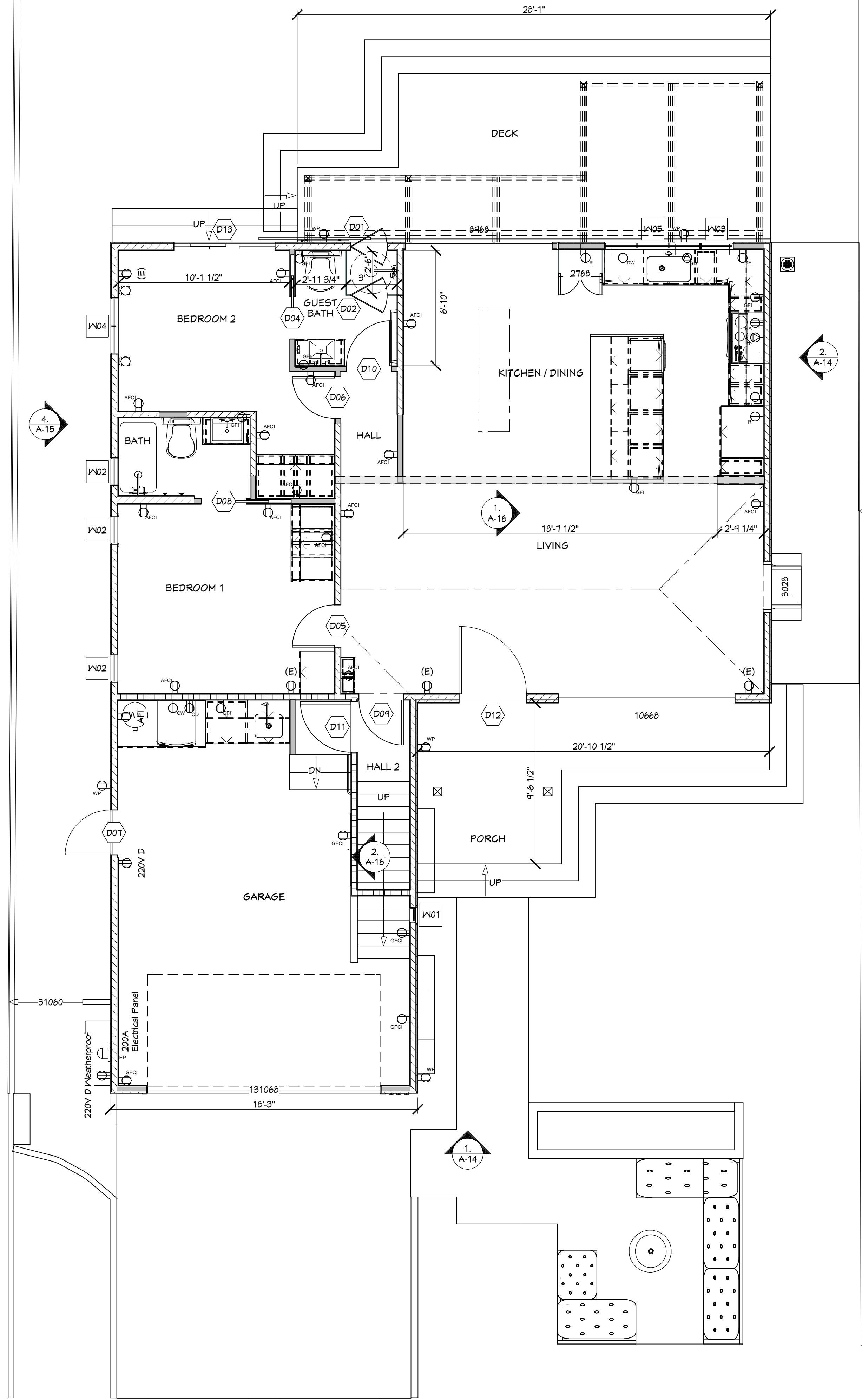
4. New West Elevation 1/4 in = 1 ft

File: CullyNewOrtmm1 - Printed: 5/9/2019 1:32:31 PM



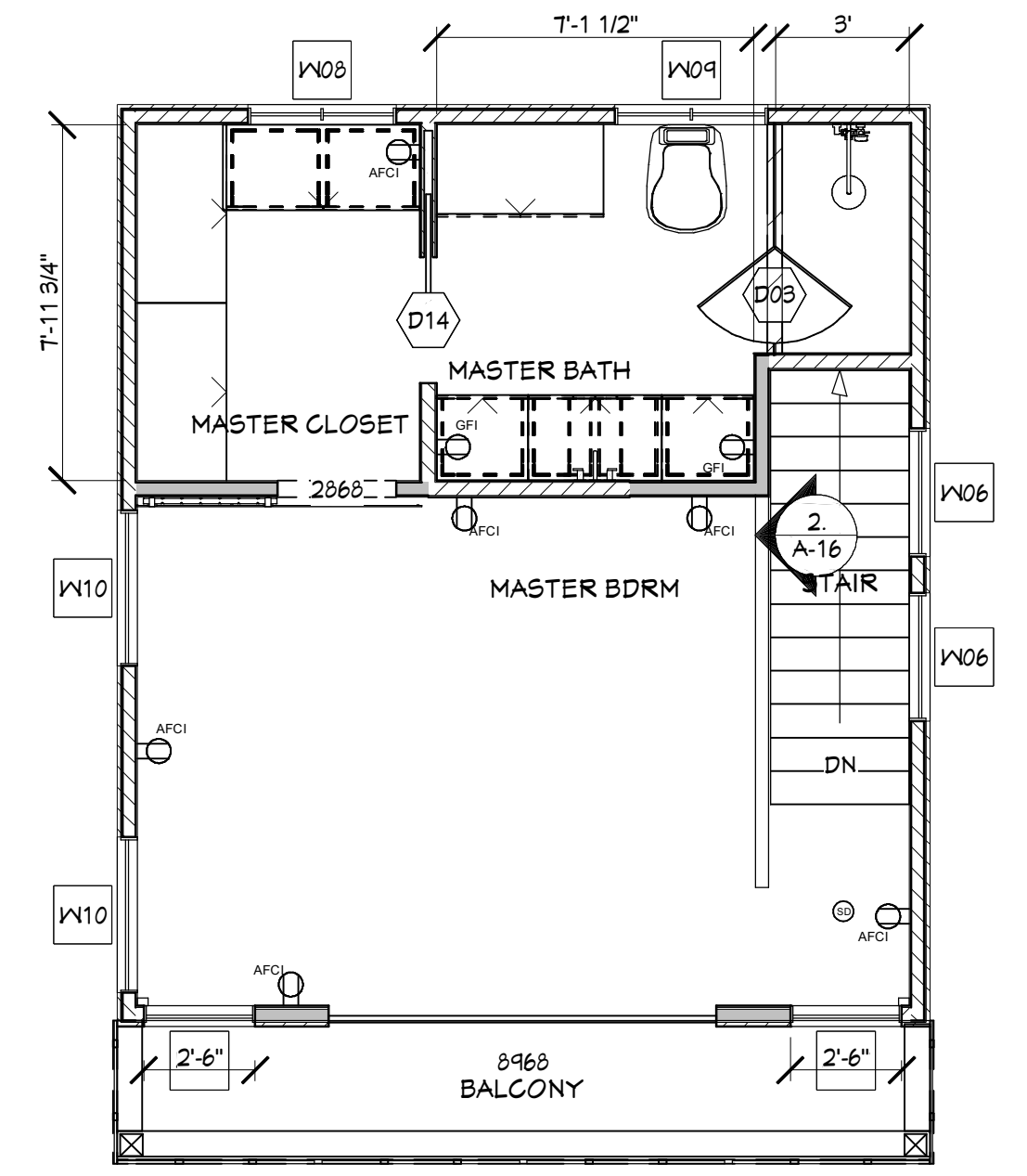
1st Floor DEMOLITION 1/4 in = 1 ft

2nd Floor DEMOLITION: 1/4 in = 1 ft



1st Floor CONSTRUCTION 1/4 in = 1 ft

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

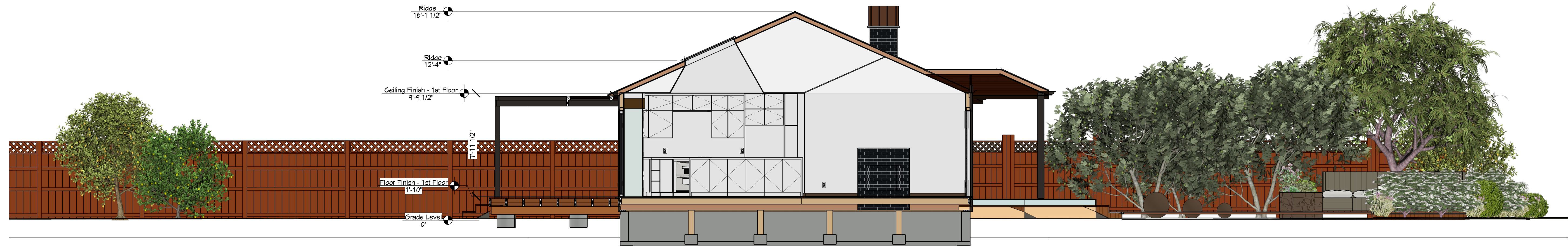


2nd Floor CONSTRUCTION: 1/4 in = 1 ft

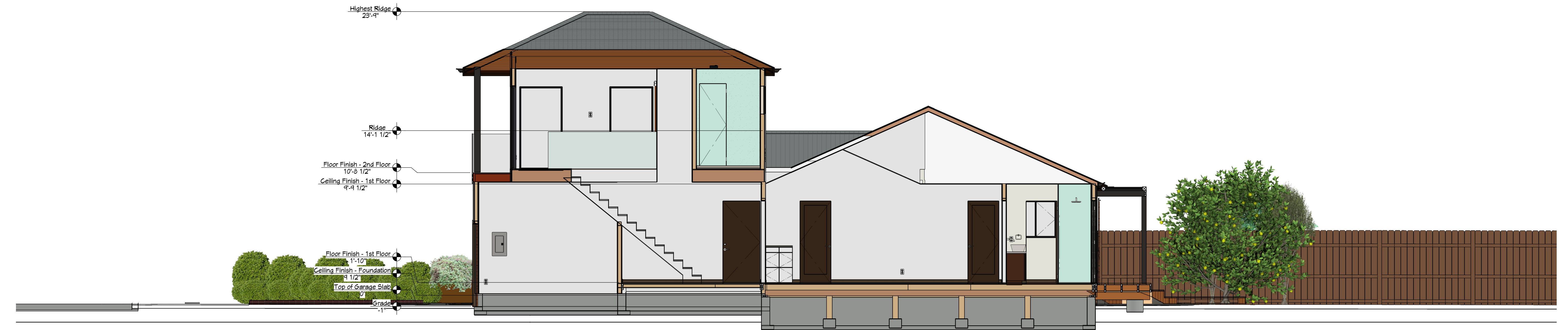
FIRE NOTES

1 SMOKE DETECTORS WHICH ARE HARD WIRED: AS PER THE CBC, STATE FIRE MARSHAL REGULATIONS, AND CFDO 2016-01, THE APPLICANT IS REQUIRED TO INSTALL STATE FIRE MARSHAL APPROVED AND LISTED SMOKE DETECTORS WHICH ARE HARD WIRED, INTERCONNECTED AND HAVE BATTERY BACKUP. THESE DETECTORS ARE REQUIRED TO BE PLACED IN EACH NEW AND RECONDITION SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SEPARATE SLEEPING AREA. IN EXISTING SLEEPING ROOMS, AREAS MAY HAVE BATTERY POWERED SMOKE ALARMS. A MINIMUM OF ONE DETECTOR SHALL BE PLACED ON EACH FLOOR. SMOKE DETECTORS SHALL BE TESTED AND APPROVED PRIOR TO THE BUILDING FINAL. DATE OF INSTALLATION MUST BE ADDED TO EXTERIOR OF THE SMOKE ALARM AND WILL BE CHECKED AT FINAL.

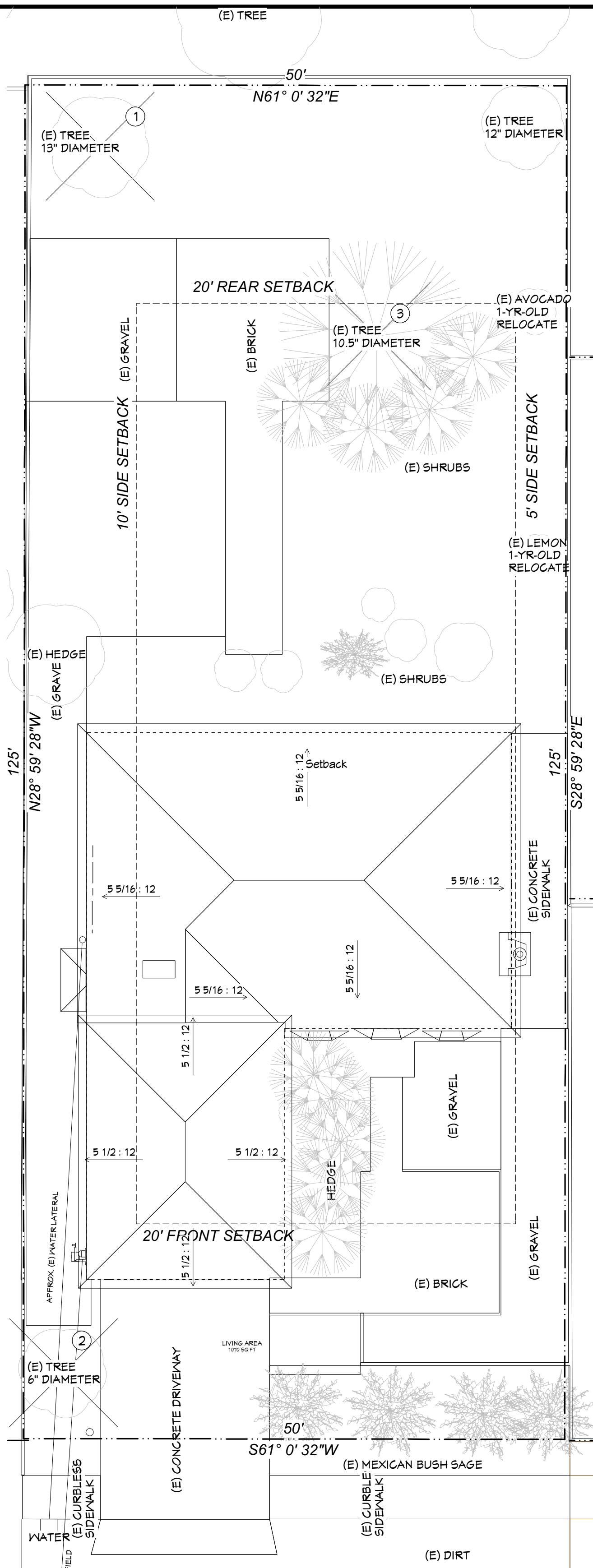
2 SMOKE ALARM / DETECTOR ARE TO BE HARDWIRED, INTERCONNECTED, OR WITH BATTERY BACK-UP. SMOKE ALARMS TO BE INSTALLED PER MANUFACTURES INSTRUCTION AND NFPA 72.



1. North-South Cross Section (Through First Floor Dining Room) 1/4 in = 1 ft



2. South-North Cross Section (Through Second Floor Stairwell) 1/4 in = 1 ft



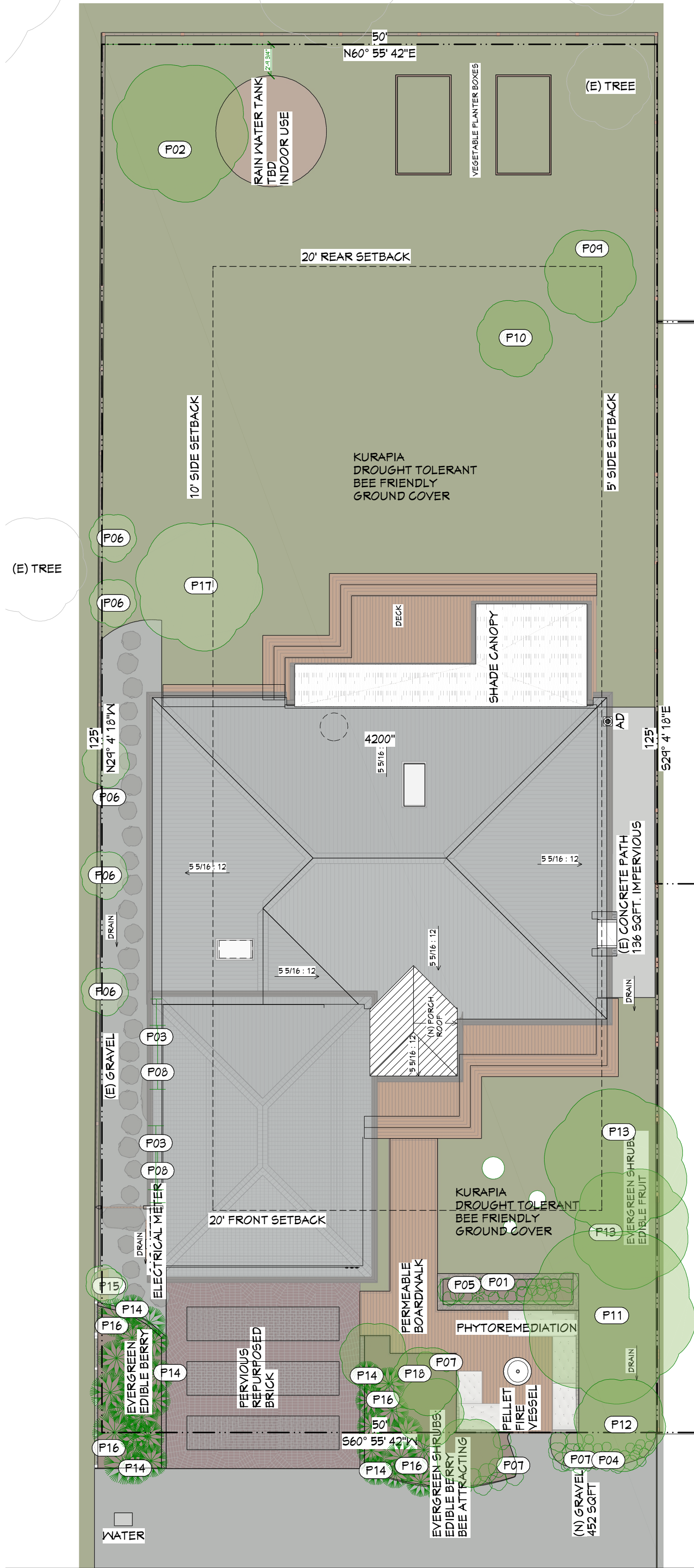
Existing Trees

Trees On Site

#	NAME	DIAMETER
1	Mesquite	13"
2	Bottlebrush	6"
3	Variegated Myrtle	10.5"

Trees To Be Removed

- Mesquite
 - Replacing with Edible (Avocado)
- Bottlebrush (Old and Unhealthy)
 - Replacing with Edible (Blueberry Bushes)
- Variegated Myrtle
 - Replacing with Edible (Two Citrus Tree)



New Plants & Materials

Trees / Shrubs / Plants

NUMBER	QTY	COMMON NAMES	SCIENTIFIC NAME	HYDROZONE
P01	8	Annual Herbs		Low / Moderate
P02	2	Avocado	Persea Americana	Low
P03	2	Chayote	Sechium Edule	Low
P04	28	Daylily	Hemerocallis	Moderate/Medium
P05	10	Perennial Herbs		Low / Moderate
P06	5	Elderberry, American Elder	Sambucus Nigra	Low
P07	19	French Lavender	Lavandula	Low
P08	2	Hops	Humulus Lupulus	Low
P09	1	Lemon Tree	Citrus Limon	Moderate/Medium
P10	1	Lime	Citrus Aurantifolia	Moderate/Medium
P11	1	Loquat	Eriobotrya Japonica	Low
P12	1	Meyer Lemon Tree	Citrus Limon	Moderate/Medium
P13	3	Pineapple Guava	Feijoa Selowiana	Moderate/Medium
P14	17	Tomlinson Natal plum	Carissa Macrocarpa	Low
P15	2	Woolly Thyme	Thymus Pseudolanuginosus	Low
P16	15	Blueberry	Vaccinium X	Moderate/Medium
P17	1	Orange	Citrus Sinensis	Moderate/Medium
P18	4	White Dove Camelia	Camellia Sasanqua	Moderate/Medium
Terrain		Kurapia	Phyla Nodiflora (Lippia Nodiflora)	Low

Pervious

- Stone Pavers:
- Coldwater Canyon (CA mined)



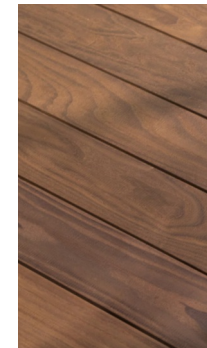
- Existing Gravel:



- Repurposed Brick:
- From Back Yard



- Wood Plank:
- Thermory Benchmark White Ash

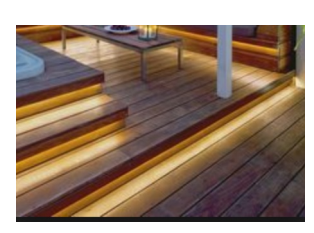


Porch

- Wood Plank:
- Thermory Benchmark White Ash

Lighting

- Walkway:
- Odyssey LED Strip Light By Aurora Deck Lighting
 - Luxello | Modern Black Lighted House Numbers 8" (Amber back light to be used, not shown in picture)



COLUMBUS ST.
EXISTING SITE PLAN
1/8 in = 1 ft

COLUMBUS ST.
NEW LANDSCAPE / PLANTS / MATERIALS
1/8 in = 1 ft

LANDSCAPE (SQFT)

Total Area Landscape Change, Including Driveway	3652 SQFT
Total Kurapia Ground Cover Area, Up to Property Line	2819 SQFT
Total Pervious Driveway	257 SQFT
Pervious Front Walk Below 18"	221 SQFT
Front Growing Beds	316 SQFT
Back Growing Beds including trees in Kurapia Ground Cover	538 SQFT
Existing Concrete Walkway	136 SQFT

NOTES

- WHEN INSTALLING A PERVIOUS PAVER DRIVEWAY, THE FOLLOWING DESIGN CRITERIA SHOULD BE CONSIDERED:
 - PLACE ON SOIL SUBGRADE, AN OPEN-GRADED BASE OF CRUSHED STONE, WHICH HAS 35 TO 45 PERCENT PORE SPACE. THE RECOMMENDED BASE THICKNESS IS 6 INCHES FOR PEDESTRIAN USE AND 10 INCHES FOR DRIVEWAYS TO PROVIDE ADEQUATE STRUCTURAL STRENGTH. ON TOP OF THE CRUSHED STONE A 4 IN. (100 MM) THICK NO. 57 STONE OPEN-GRADED BASE. THE FINAL BEDDING COURSE IS 1 1/2 TO 2 IN. (40 TO 50 MM) THICK (TYP. NO. 8 AGGREGATE) INSTALLED BELOW THE SURFACE PAVER.
 - SLOPE IS FLAT OR NEARLY FLAT (NOT GREATER THAN 2 PERCENT).
 - FLOW DIRECTED TO PERVIOUS PAVEMENT IS DISPERSED SO AS NOT TO BE CONCENTRATED AT A SMALL AREA OF PAVEMENT.
 - NO ERODIBLE AREAS DRAIN ONTO THE PAVEMENT.
 - THE SUBGRADE IS UNIFORM AND COMPACTION IS THE MINIMUM REQUIRED FOR STRUCTURAL STABILITY.
 - IF A SUBDRAIN IS PROVIDED, ITS OUTLET ELEVATION IS A MINIMUM OF 3 INCHES ABOVE THE BOTTOM OF THE BASE COURSE.
 - A RIGID EDGE IS PROVIDED TO RETAIN GRANULAR PAVEMENTS AND UNIT PAVERS.
 - PAVERS HAVE A MINIMUM THICKNESS OF 80 MM (3 1/8 INCHES) AND ARE SET IN SAND OR GRAVEL WITH MINIMUM 3/8-INCH GAPS BETWEEN PAVERS.
 - PROPRIETARY PRODUCTS MUST BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS.
 - THE PROJECT COMPLIES WITH APPLICABLE SECTIONS OF THE CURRENT MUNICIPAL CODE AND SITE DRAINAGE REQUIREMENTS.

Water Efficient Landscape Worksheet

Hydrozone # /Planting Description ^a	Plant Factor (PF)	Irrigation Method ^b	Irrigation Efficiency (IE) ^c	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU) ^d
Regular Landscape Areas							
2/Front Shrubs	.3	Drip	.81	.37	219	81.03	1,693.04
4,7,8/Ground Cover	.3	Drip	.81	.37	2857	1057.09	21,628.06
Totals					3076 ^(A)	1138.12	
Special Landscape Areas							
1,5/Edibles				1	195	195	3,447.51
3,6/Fruit Trees				1	490	490	10,238.06
Totals					685 ^(C)	685 ^(D)	
ETWU Total							37,006.67
Maximum Allowed Water Allowance (MAWA) ^e							41,789.04

^aHydrozone #/Planting Description
E.g. 1.) front lawn
2.) low water use plantings
3.) medium water use planting

^bIrrigation Method
overhead spray or drip

^cIrrigation Efficiency (IE)
0.75 for spray head
0.81 for drip

^dETWU (Annual Gallons Required) =
Eto x 0.62 x ETAF x Area
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year.

^eMAWA (Annual Gallons Allowed) = (Eto) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year, LA is the total landscape area in square feet, and SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas.

ETAF Calculations

Regular Landscape Areas		
Total ETAF x Area	(B)	1138.12
Total Area	(A)	3076
Average ETAF	B ÷ A	.37

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

All Landscape Areas

Total ETAF x Area	(B+D)	1,823.12
Total Area	(A+C)	3761
Sitewide ETAF	(B+D) ÷ (A+C)	.48

A copy of this form may be obtained from Department of Water Resources website:
<http://www.water.ca.gov/wateruseefficiency/landscapeordnance/>

1



PERRY LABORATORY
HORTICULTURAL ADVISING AND TESTING
Morehouse Design
624 Terrace Avenue
Half Moon Bay, CA 94019

424 AIRPORT BOULEVARD
WATSONVILLE, CA 95076
Telephone 831/722-7606
Fax 831/722-5053

April 4, 2019

Soil Analyses

Chemical analyses on samples received:

April 2, 2019

Sample Identification	pH saturated paste	Electrical Conductivity (dS/m)	Nitrate Nitrogen (N)	Ammonium Nitrogen (N)	Phosphorus (P)	Potassium (K)	Calcium (Ca)	Magnesium (Mg)	Sulfate (SO ₄)	Boron (B)	Zinc (Zn)	Copper (Cu)	Manganese (Mn)	Iron (Fe)	SP	SAR	ESP			
General Guidelines- South African, Australian & California Native Plants	4.5- 5.5	1.0- 3.0	15- 35	15- 30	5- 10	150- 300	2000- 4000	300- 500	25- 500	0.5- 1.0	2.5- 5.0	1.0- 3.0	10- 25	50- 100		>6.0	<3.0	<3.0		
Rebecca Cully	6.7	0.3	3	2	36	90	2600	190	20	0.6	20.8	1.9	6.8	79	36	2.2	1.5	0.6	1.4	1.6

Optimum Values

Organic Matter (% by Weight)	Lime Content (% Ca CO ₃)	Mechanical Analyses, % by weight, USDA Classifications				Infiltration Rate inches/hour
		Sand	Silt	Clay	Texture	
>5.0	<3.0					
1.4	1.4	68	20	12	Sandy loam	1.00

SERVING AGRICULTURE SINCE 1938



PERRY LABORATORY
HORTICULTURAL ADVISING AND TESTING

Morehouse Design
Rebecca Cully soil
04/04/19
Page 2

The pH value of this soil is slightly acid in reaction and is slightly high for California Native plants. The low electrical conductivity reading indicates the levels of soluble salt are low.

The fertility analysis shows low nitrogen, potassium, sulfate and manganese in this soil at this time. The phosphorus, calcium, magnesium, boron, copper, and iron levels are in good ranges. The zinc concentration is higher than necessary.

The sodium and chloride levels are low and will not cause toxicity problems. The low ESP value indicates that the sodium that is present will not create a hazard to the soil structure.

The organic matter content is low. The free lime content is safely low. The mechanical analysis indicates this is a sandy loam soil in texture. A sandy loam soil generally has a satisfactory infiltration rate of 1.0 inches per hour.

Preplanting will require the following per 1000 sq ft of bed area:

Low Salinity compost	6 cubic yards
Tiger 90, Soil Sulfur (90% S)	10.0 lbs
Feather Meal (12-0-0)	10.0 lbs
Potassium sulfate (0-0-50)	10.0 lbs

The above materials should be incorporated into the upper 6-8" of the soil profile.

If you have any questions, please feel free to contact me.

Respectfully submitted,

Clifford B. Low M.S.

424 AIRPORT BLVD WATSONVILLE, CA 95076 TELEPHONE 831/722-7606 FAX 831/722-5053
www.perrylaboratory.com

NOTES

1. A minimum 3-inch layer of mulch shall be applied on all exposed soil surfaces of planting areas except turf areas, creeping or rooting groundcovers, or direct seeding applications where mulch is contraindicated.
2. For soils less than 6% organic matter in the top 6 inches of soil, compost at a rate of a minimum of four cubic yards per 1,000 square feet of permeable area shall be incorporated to a depth of six inches into the soil.
3. Recirculating water systems shall be used for water features. Treated grey water is to be used in water features.
4. As per Title 23, Chapter 2.7 §492.6, §492.7 and §492.9, I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape design plans.
5. A diagram of the irrigation plan showing hydrozones shall be kept with the irrigation controller for subsequent management purposes.
6. A Certificate of Completion shall be filled out and certified by either the designer of the landscape plans, irrigation plans, or the licensed landscape contractor for the project.
7. An irrigation audit report shall be completed at the time of final inspection.

I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package.

SIGNATURE _____

DATE _____

MOREHOUSE DESIGN
624 TERRACE AVE.
PH/FX 650-726-9265
E: BRYMORE@YAHOO.COM

APN: 047092100

RENOVATION
CULLY RESIDENCE
131 COLUMBUS ST. EL GRANADA, CA 94019

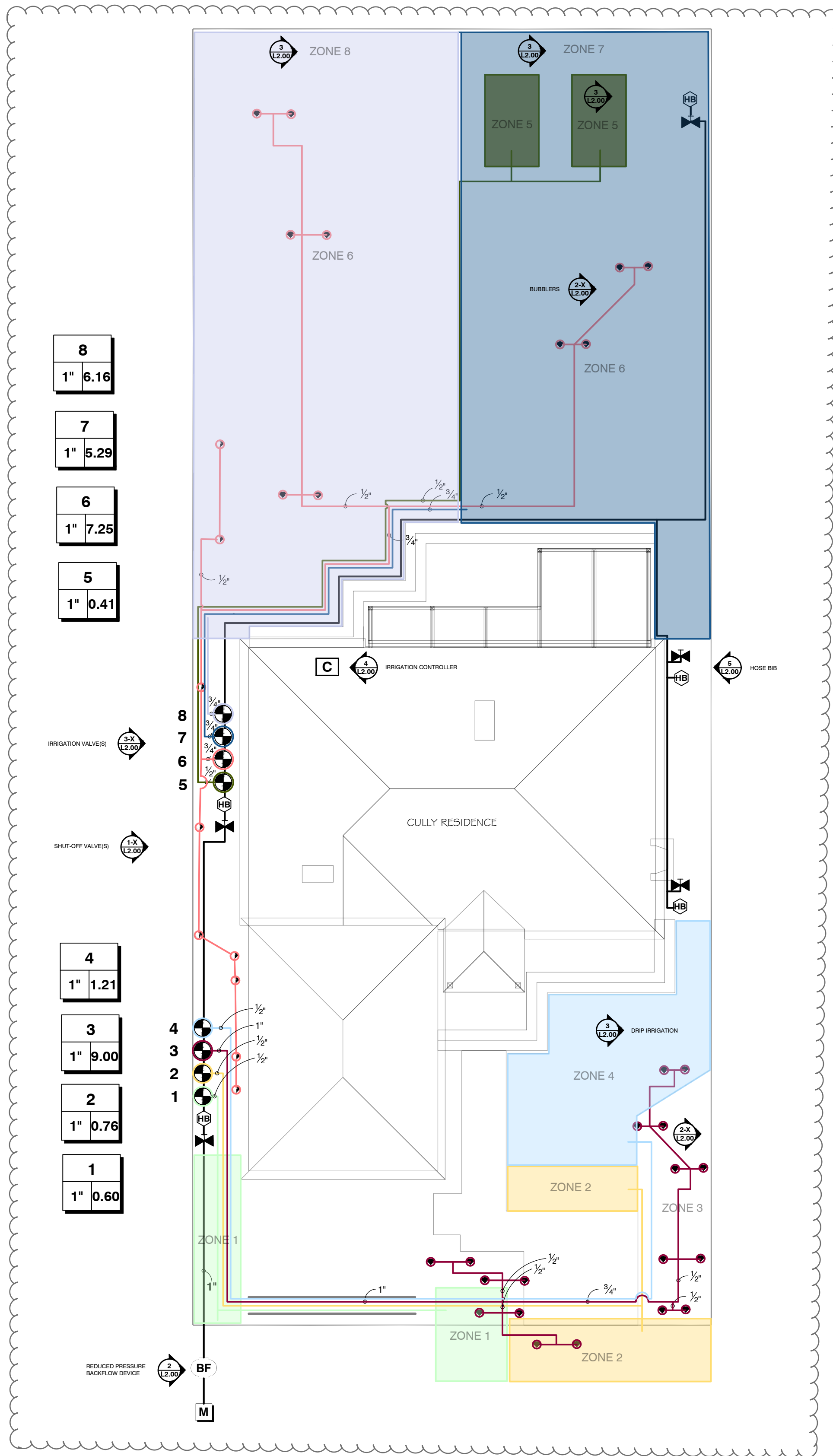
5/9/2019
7/16/2019

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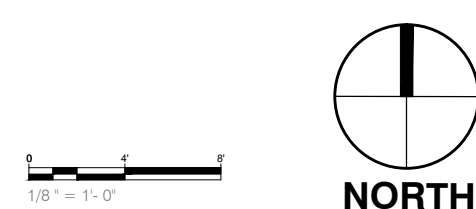
LANDSCAPE - WORKSHEET &
SOIL ANALYSIS

L-2

IRRIGATION DESIGN PLAN



COLUMBUS ST.



IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI	DETAIL
	Rain Bird 1800-1400 Flood 1401 Fixed flow rate (0.25-2.0GPM), full circle bubbler, 1/2" FIPT.	37	30	
	Area to Receive Dripline Netafim 08WRAM-06-18 Bioline Pressure Compensating Landscape Dripline w/Purple Color Tubing for Non-Potable Water Applications, 0.6 GPH emitters at 18" O.C. Dripline laterals spaced at 18" apart, with emitters offset for triangular pattern. Reclaimed Water Use Only.	2,164 l.f.		
	Rain Bird EFB-CP-PRS-D 1", 1-1/2", 2" Brass Remote Control Valve, that is Contamination Proof w/Self-Flushing Filter Screen, Globe Configuration, Reclaimed Water Compatible, and Purple Handle Cover Designates Non-Potable Water Use.	8		
	Buckner-Superior HB2F 3/4" x 3/4" Female NPT Red Brass Hose Bibb.	5		
	Shut Off Valve	5		
	Zurn 975XL 3/4" Reduced Pressure Backflow device	1		
	Hunter HC-12 12 station controller with Wi-Fi connection	1		
	Water Meter 3/4"	1		
	Irrigation Lateral Line: PVC Schedule 40	725.2 l.f.		
	Irrigation Mainline: PVC Schedule 40	221.2 l.f.		
	Pipe Sleeve: PVC Class 200 SDR 21	16.1 l.f.		
	Valve Callout			

VALVE SCHEDULE (HYDROZONES 1 - 8)

ZONE	MODEL	SIZE	TYPE	GPM	HEADS	DESIGN PSI	PSI	PSI @ POC	PRECIP	WATER USE
1	Rain Bird EFB-CP-PRS-D	1"	Drip Area - Edible	0.60	89.5 l.f.	30	30.26	41.56	0.43 in/h	Medium
2	Rain Bird EFB-CP-PRS-D	1"	Drip Area - Shrubs	0.76	114.6 l.f.	30	30.41	41.72	0.43 in/h	Low
3	Rain Bird EFB-CP-PRS-D	1"	Bubbler Area	9.00	19	30	33.13	46.40	3.56 in/h	Low
4	Rain Bird EFB-CP-PRS-D	1"	Drip Area - G.C.	1.21	181.5 l.f.	30	30.85	42.17	0.43 in/h	Low
5	Rain Bird EFB-CP-PRS-D	1"	Drip Area - Edible	0.41	61.5 l.f.	30	30.30	41.60	0.43 in/h	Medium
6	Rain Bird EFB-CP-PRS-D	1"	Bubbler Area	7.25	19	30	32.65	46.57	2.52 in/h	Medium
7	Rain Bird EFB-CP-PRS-D	1"	Drip Area - G.C.	5.29	793.2 l.f.	30	31.62	44.31	0.43 in/h	Low
8	Rain Bird EFB-CP-PRS-D	1"	Drip Area - G.C.	6.16	923.8 l.f.	30	30.72	44.02	0.43 in/h	Low

Design Irrigation Efficiency (IE) = 85%

CRITICAL ANALYSIS

Generated: 2019-06-28 17:12

P.O.C. NUMBER: 01
Water Source Information:

FLOW AVAILABLE
Water Meter Size: 3/4"
Flow Available: 24.00 gpm

PRESSURE AVAILABLE
Static Pressure at POC: 60.00 psi
Elevation Change: 5.00 ft
Service Line Size: 3"
Length of Service Line: 20.00 ft
Pressure Available: 58.00 psi

DESIGN ANALYSIS
Maximum Station Flow: 9.00 gpm
Flow Available at POC: 24.00 gpm
Residual Flow Available: 15.00 gpm

IRRIGATION DESIGN NOTES

- READ THOROUGHLY AND BECOME FAMILIAR WITH THE SPECIFICATIONS AND INSTALLATION DETAILS AND RELATED WORK PRIOR TO CONSTRUCTION.
- COORDINATE UTILITY LOCATIONS ("CALL BEFORE YOU DIG - 811") PRIOR TO CONSTRUCTION.
- ALL NEW PLANTING AREAS TO HAVE NEW IRRIGATION SYSTEM. THE SYSTEM SHALL BE INSTALLED IN CONFORMANCE WITH ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES BY LICENSED CONTRACTORS AND EXPERIENCED WORKMEN.
- IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE THEMSELVES WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, RETAINING WALLS, ETC. CONTRACTOR SHALL COORDINATE WORK WITH THE GENERAL CONTRACTOR OR OTHER SUBCONTRACTORS FOR THE LOCATION AND THE INSTALLATION OF PIPE SLEEVES THROUGH WALLS, UNDER ROADWAYS, PAVING, STRUCTURES, ETC. CONTRACTOR TO VERIFY THE LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES PRIOR TO THE EXCAVATION OF TRENCHES. CONTRACTOR TO REPAIR ANY DAMAGE CAUSED BY WORK AT NO ADDITIONAL COST TO THE OWNER.
- DUE TO THE SCALE OF THE DRAWINGS, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS, SLEEVES, ETC. WHICH MAY BE REQUIRED. THE CONTRACTOR SHALL CAREFULLY INVESTIGATE THE STRUCTURAL AND FINISHED CONDITIONS AFFECTING ALL WORK AND PLAN WORK ACCORDINGLY, FURNISHING SUCH FITTINGS, ETC. AS MAY BE REQUIRED TO MEET SUCH CONDITIONS. DRAWINGS ARE GENERALLY DIAGRAMMATIC AND INDICATIVE OF THE WORK TO BE INSTALLED. THE WORK SHALL BE INSTALLED IN SUCH A MANNER AS TO AVOID CONFLICTS BETWEEN IRRIGATION SYSTEMS, PLANTING AND ARCHITECTURAL FEATURES. DO NOT PROCEED WITH THE INSTALLATION OF THE IRRIGATION SYSTEM WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS OR GRADE DIFFERENCES EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. IF DISCREPANCIES IN CONSTRUCTION DETAILS, LEGEND NOTES OR SPECIFICATIONS ARE DISCOVERED, BRING ALL SUCH OBSTRUCTIONS OR DISCREPANCIES TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE.
- IRRIGATION SYSTEM DESIGNED FOR A MINIMUM 60 PSI (STATIC PRESSURE) TO BE PROVIDED AT THE FARTHEST HEAD FROM POINT OF CONNECTION. THE IRRIGATION CONTRACTOR SHALL VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN THE WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO THE OWNER'S AUTHORIZED REPRESENTATIVE. CONTRACTOR TO VERIFY PRESSURE ON SITE.
- SLEEVE MAINLINE AND LATERALS UNDER ALL PAVING AND WALLS.
- UNSIZE LATERAL LINE PIPE DOWNSTREAM FROM SIZED PIPE SHALL BE 3/4"
- EACH CONTROLLER SHALL HAVE ITS OWN INDEPENDENT GROUND WIRE.
- REMOTE CONTROL VALVES SHALL BE WIRED TO CONTROLLER IN SEQUENCE AS SHOWN ON PLANS. RUN WIRE FROM EACH REMOTE CONTROL VALVE TO THE CONTROLLER. SPLICING WIRES TOGETHER OUTSIDE OF VALVE BOXES WILL NOT BE PERMITTED.
- SPLICING OF 24-VOLT WIRES WILL NOT BE PERMITTED EXCEPT IN VALVE BOXES. LEAVE A 36" COIL OF EXCESS WIRE AT EACH SPLICE AND 100 FEET ON CENTER ALONG WIRE RUN. TAPE WIRE IN BUNDLES 10 FEET ON CENTER. NO TAPING PERMITTED INSIDE SLEEVES.
- INSTALL VALVE BOXES IN INCONSPICUOUS LOCATIONS, AWAYS FROM VISUALLY PROMINENT AREAS. REVIEW VALVE BOX LOCATIONS WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATIONS.
- ALL MAIN LINES SHALL BE FLUSHED PRIOR TO THE INSTALLATION OF IRRIGATION EQUIPMENT. AT 30 DAYS AFTER INSTALLATION EACH SYSTEM SHALL BE FLUSHED TO ELIMINATE GLUE AND DIRT PARTICLES FROM THE LINES.
- NOTIFY LANDSCAPE ARCHITECT OF ANY ASPECTS OF LAYOUT THAT WILL PROVIDE INCOMPLETE OR INSUFFICIENT WATER COVERAGE OF PLANT MATERIAL AND DO NOT PROCEED UNTIL THE INSTRUCTIONS ARE OBTAINED.
- ALL EXCAVATIONS ARE TO BE FILLED WITH COMPACTED BACKFILL. CONTRACTOR TO REPAIR ALL SETTLED TRENCHES PROMPTLY.
- OPERATE IRRIGATION CONTROLLER BETWEEN THE HOURS OF 10:00 PM AND 8:00 AM.
- HUNTER HYDRAWISE IRRIGATION CONTROL SYSTEM HAS BEEN CONSIDERED FOR THIS PROJECT.
- PROVIDE THE FOLLOWING COMPONENTS TO THE OWNER PRIOR TO THE COMPLETION OF THE PROJECT:
 - OPERATING KEYS FOR EACH TYPE OF MANUALLY OPERATED VALVES.
 - SERVICING WRENCH OR TOOL NEEDED FOR COMPLETE ACCESS, ADJUSTMENT, AND REPAIR OF ALL VALVES/IRRIGATION EQUIPMENT.
- TO BE NOTED: PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES.
- TO BE NOTED: IF USING SPRINKLER HEADS, CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL HEADS WHERE LOW POINT DRAINAGE COULD OCCUR.
- OVERHEAD IRRIGATION SHALL NOT BE PERMITTED WITHIN 24" OF ANY NON-PERMEABLE SURFACE AREAS LESS THAN 10 FEET IN WIDTH IN ANY DIRECTION SHALL HAVE SUBSURFACE DRIP.
- TO BE NOTED: REGARDING PIPE SIZING - IF A SECTION OF UNSIZED PIPE IS LOCATED BETWEEN THE IDENTICALLY SIZED SECTIONS, THE UNSIZED PIPE IS THE SAME NOMINAL SIZE AS THE TWO SIZED SECTIONS. THE UNSIZED PIPE SHOULD NOT BE CONFUSED WITH THE DEFAULT PIPE SIZE NOTED IN THE LEGEND.
- REFER TO PLANTING PLAN FOR PLANT MATERIAL NAMES, ABBREVIATIONS, SPECIFIC SIZES, ON-CENTER SPACING, AND ADDITIONAL INFORMATION.
- DO NOT INSTALL DRIP LINE TUBING UNDER PAVED SURFACES. CONNECT DRIP LINE TUBING TO BLU-LOCK LATERAL LINE PIPING (WWW.HYDRORAIN.COM) FOR ROUTING UNDER PAVED SURFACES AND FOR ROUTING THROUGH PLANTER WALLS. ADAPT DRIP LINE TUBING TO BLU-LOCK PIPING AS REQUIRED WITH COMPRESSION ADAPTER FITTINGS.
- MANUAL SHUT OFF VALVES SHALL BE REQUIRED

STATEMENTS & CERTIFICATIONS

- I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS.
- A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE PLANS, IRRIGATION PLANS, OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT.
- A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.
- AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION.

NOTES:

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INDRA DESIGNS INC.
LIC #960204

M.S.

B-2	REVISED PER PLAN CHECK COM.	M.S.	6-28-19
B-1	UPDATED IRRIGATION NOTES	M.S.	5-03-19
B	REVISED PER ARCH. COMMENTS	M.S.	4-25-19
A	REVISED PER ARCH. COMMENTS	M.S.	4-22-19
N/C	SUBMITTED FOR REVIEW	M.S.	4-15-19
REV:	DESCRIPTION:	BY:	DATE:
STATUS:	DESIGN REVIEW		

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TITLE: IRRIGATION PLAN

SCALE: 1/8" = 1'	DATE: 4-15-19	DRAWN: M.S.	CHECKED: T.M.
PROJECT NO:	DRAWING NO: L1.00	REVISION:	B-2

