

Planning Permit Application Form

455 County Center, 2nd Floor • Redwood City CA 94063
Mail Drop: PLN 122 • TEL (650) 363-4161 • FAX (650) 363-4849
www.co.sanmateo.ca.us/planning

PLN: 2018-458
BLD: _____

Applicant: David Jaehning
Mailing Address: 25 Forest Side Avenue
San Francisco, California Zip: 94127
Phone, W: 4152729444 **H:** 4152729444
E-mail Address: djaehning@davidjaehning.com **FAX:** _____

Name of Owner (1): Fuli Li	Name of Owner (2): Wan Li Weiguang Xie
Mailing Address: 1855 Sunshine Valley Road Moss Beach, California Zip: 94038	Mailing Address: (same) Zip: _____
Phone, W: 4157510522 H: _____	Phone, W: _____ H: _____
E-mail Address: lifuli.elle@gmail.com	E-mail Address: _____

Project Location (address):
Sunshine Valley Road
Moss Beach, California 94038
Zoning: S-17 Midcoast

Assessor's Parcel Numbers: 37 — 156 — 130
— — — —
— —
Parcel/lot size: 5,000 SF (Square Feet)

List all elements of proposed project: (e.g. access, size and location, primary and accessory structures, well, septic, tank)
Entry drive to bridge over Dean Creek, 3-level residence (730 SQ FT footprint) totaling 2,190 gross SQ FT,
Accessory storage shed approximately 45 gross SQ FT at rear southwest corner of yard

Describe Existing Site Conditions/Features (e.g. topography, water bodies, vegetation):
Vacant parcel, majority of the site is landscaped ruderal vegetation covering 4,382 SQ FT
Dean Creek, an intermittent creek, runs within the northern edge of the property

Describe Existing Structures and/or Development:
None

We hereby certify that the information stated above and on forms, plans and other materials submitted herewith in support of the application is true and correct to the best of our knowledge. It is our responsibility to inform the County of San Mateo through our assigned project planner of any changes to information represented in these submittals.

Owner's signature: Fuli Li
Owner's signature: Weiguang Xie
Applicant's signature: [Signature]

Application for a Coastal Development Permit

Companion Page

Applicant's Name: Fuli Li

Primary Permit #: 2018 - 458

1. Instructions

Please fill out the general Planning Permit Application Form and this form when applying for a Coastal Development Permit. You must also submit all items indicated on the checklist found on the reverse side of the Planning Permit Application Form.

2. Basic Information

Does the owner or applicant own any adjacent property not listed?

Yes No

If yes, list Assessor's Parcel Number(s):

37 - 156 - 50

- -
- -

Have you or anyone else previously applied to either the County of San Mateo or the California Coastal Commission for a Coastal Development Permit for this or a similar project at this location?

Yes No

If yes, explain (include date and application file numbers).

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3. Materials and Finish of Proposed Buildings or Structures

San Mateo County
 Planning and Building Department

Note: By completing this section you do not need to file a separate application for Design Review Approval.

Fill in Blanks:	Material	Color/Finish	Check if matches existing
a. Exterior Walls	<u>cedar</u>	<u>untreated to turn gray</u>	<input type="checkbox"/>
b. Trim	<u>anodized aluminum</u>	<u>bronze</u>	<input type="checkbox"/>
c. Roof	<u>standing seam zinc</u>	<u>matte gray</u>	<input type="checkbox"/>
d. Chimneys	<u>n/a</u>	<u>n/a</u>	<input type="checkbox"/>
e. Accessory Buildings	<u>planted gabions</u>	<u>stone and planting</u>	<input type="checkbox"/>
f. Decks/Stairs	<u>n/a</u>	<u>n/a</u>	<input type="checkbox"/>
g. Retaining Walls	<u>planted gabions</u>	<u>stone and planting</u>	<input type="checkbox"/>
h. Fences	<u>n/a</u>	<u>n/a</u>	<input type="checkbox"/>
i. Storage Tanks	<u>n/a</u>	<u>n/a</u>	<input type="checkbox"/>

4. Project Information

Does this project, the parcel on which it is located or the immediate vicinity involve or include:

- | | Yes | No |
|---|-------------------------------------|-------------------------------------|
| a. Demolition of existing housing units? (If yes, give value of owner-occupied units or current monthly rent of rental units in explanation below.) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b. Creeks, streams, lakes or ponds? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| c. Wetlands (marshes, swamps, mudflats)? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| d. Beaches? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| e. Sand Dunes? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| f. Sea cliff, coastal bluffs or blufftops? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| g. Ridgetops? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| h. Pampas Grass, invasive brooms or Weedy Thistle? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| i. Removal of trees or vegetation? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| j. Grading or alteration of landforms? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| k. Landscaping? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| l. Signs? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| m. Phone or utility line extensions or connections, either above or below ground (explain which)? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| n. Areas subject to flooding? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| o. Development on slopes 30% or steeper? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

- | | | |
|--|--------------------------|--------------------------|
| p. Between the sea and the nearest public road? | <input type="checkbox"/> | <input type="checkbox"/> |
| q. Existing or proposed provisions for public access to the shoreline? | <input type="checkbox"/> | <input type="checkbox"/> |
| r. Public or commercial recreation facilities? | <input type="checkbox"/> | <input type="checkbox"/> |
| s. Visitor-serving facilities? | <input type="checkbox"/> | <input type="checkbox"/> |
| t. Existing or proposed public trail easements? | <input type="checkbox"/> | <input type="checkbox"/> |

Explain all Yes answers below. Indicate whether the item applies to the project itself, the parcel on which it is located, or the immediate vicinity (attach additional sheets if necessary):

- Dean Creek, an intermittent creek, runs within the

northern edge of the property.

- Removal of 4 Ngaio trees, 1 Monterey Cypress,

and 1 Coastal Redwood. Monterey Cypress is within

footprint of allowed setbacks, and an arborist was consulted

for Coastal Redwood. See report for findings regarding health of tree.

- Removing most of turf grass and replacing with riparian plantings

on the east side of lot to blend with adjacent riparian habitat,

removing invasive and non-native species from Dean Creek, and adding

native riparian plants along banks, addition of Pistacia Chinensis

5. Staff Use Only

California Coastal Commission Jurisdiction

A. Does the Proposed Project Involve:

- A subdivision, Certificate of Compliance Type B, Use Permit, or Planned Agricultural District Permit?
 Yes No
- Construction or grading within 100 feet of a stream or wetland?
 Yes No
- A parcel located between the sea and the first public through road paralleling the sea; 300 feet from the inland extent of any beach or mean high tide line if there is no beach; or within 300 feet of the top of the seaward face of a coastal bluff?
 Yes No

Yes to any one of the above means that the Coastal Development Permit is appealable to the Coastal

Commission; a public hearing is always required.

B. Does the proposed project involve lands below the mean high tide line and lands where the public trust may exist? (See "Post CCP Certification Permit and Appeal Jurisdiction Map).

Yes No

Yes to above means that the California Coastal Commission retains permit jurisdiction over all or part of the proposed project. A Coastal Development Permit from that agency is required.

Reviewed by:

Planning and Building Department

County Government Center ■ 455 County Center ■ Redwood City CA 94063
Mail Drop PLN 122 ■ 650 • 363 • 4161 ■ FAX 650 • 363 • 4849

Application for Design Review by the County Coastside Design Review Committee

Permit #: PLN 2018 - 458
Other Permit #: _____

1. Basic Information

Applicant:

Name: DAVID JAEHNING
Address: 25 FOREST SIDE AVE
Zip: 94127
Phone, W: (415) 272 9444 H:
Email: djaehning@davidjaehning.com

Owner (if different from Applicant):

Name: FULI + WEIGUANG XIE
Address: 1855 SUNSHINE VALLEY RD
MOSS BEACH Zip: 94038
Phone, W: (415) 751 0522 H:
Email: ~~fuli~~ lifuli.eile@gmail.com

Architect or Designer (if different from Applicant):

Name: _____
Address: _____ Zip: _____
Phone, W: _____ H: _____ Email: _____

2. Project Site Information

Project location:

APN: 057-156-130
Address: SUNSHINE VALLEY RD
MOSS BEACH Zip: 94038
Zoning: S-17 MID COAST
Parcel/lot size: 5,000 sq. ft.

Site Description:

- Vacant Parcel
- Existing Development (Please describe):

3. Project Description

Project:

- New Single Family Residence: 2190 sq. ft
- Addition to Residence: _____ sq. ft
- Other: _____

Additional Permits Required:

- Certificate of Compliance Type A or Type B
- Coastal Development Permit
- Fence Height Exception (not permitted on coast)
- Grading Permit or Exemption
- Home Improvement Exception
- Non-Conforming Use Permit
- Off-Street Parking Exception
- Variance

Describe Project:

3-level residence, 730-sq ft footprint
compact, entry done to bridge over
Dean Creek.

4. Materials and Finish of Proposed Buildings or Structures

Fill in Blanks:	Material	Color/Finish (If different from existing, attach sample)	Check if matches existing
a. Exterior walls	cedar	untreated to turn green	<input type="checkbox"/>
b. Trim	anodized aluminum	bronze	<input type="checkbox"/>
c. Windows	anodized aluminum	bronze	<input type="checkbox"/>
d. Doors	anodized aluminum	bronze	<input type="checkbox"/>
e. Roof	standing seam zinc	matte gray	<input type="checkbox"/>
f. Chimneys	n/a	n/a	<input type="checkbox"/>
g. Decks & railings	n/a	n/a	<input type="checkbox"/>
h. Stairs	n/a	n/a	<input type="checkbox"/>
i. Retaining walls	gabon planted	stone + planting	<input type="checkbox"/>
j. Fences	n/a	n/a	<input type="checkbox"/>
k. Accessory buildings	gabon planted	stone + planting	<input type="checkbox"/>
l. Garage/Carport	n/a	n/a	<input type="checkbox"/>


5. Required Findings

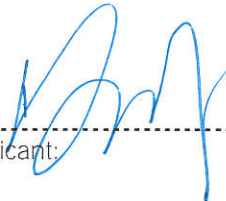
To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

- (optional) Applicant's Statement of project compliance with standards and guidelines (check if attached).

6. Signatures

I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.

Owner: 

Applicant: 

Date: 11/20/2018

Date: 11/20/2018

Application for a Variance

Companion Page

455 County Center, 2nd Floor Redwood City • CA • 94063
Mail Drop PLN 122 • Phone: 415 • 363 • 4161 Fax: 415 • 363 • 4849

Applicant's Name: Fuli Li

Primary Permit#: PLN 2018 - 458

Please fill out the general Planning Permit Application Form and this form when applying for a Variance. You must also submit all items indicated on the checklist found on the reverse side of the Planning Permit Application Form and a parcel constraints map.

Specific zoning requirements for which a variance is sought:

(Example: 10 ft. side setbacks)

- 1) 15-ft side yard setback on west
- 2) no garage due to additional 30-ft setback from Dean Creek (removed 435 sq. ft. from buildable area footprint)

Zoning ordinance section numbers:

6300.2.3

6120

What you propose instead:

- 1) Encroach on west setback by 10", with approval of adjacent owner at 1855 Sunshine Valley Road
- 2) Provide 3 on-site parking spaces: 2 wide and additional tandem on-site, area in front of Dean Creek (adjacent to Sunshine Valley Road) for additional guest/overflow parking

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San Mateo County
Planning and Building Department

To approve this application, the County must determine that this project complies with all applicable regulations including the following specifically required findings. Please attach a brief statement in which you present evidence to support the required findings.

a. The parcel's location, size, shape, topography and/or other physical conditions vary substantially from those of other parcels in the same zoning district or vicinity.

b. Without the variance, the landowner would be denied the rights and privileges that are enjoyed by other landowners in the same zoning district or vicinity.

c. The variance does not grant the landowner a special privilege which is inconsistent with the restrictions placed on other parcels in the same zoning district or vicinity.

d. The variance authorizes only uses or activities which are permitted by the zoning district.

e. The variance is consistent with the objectives of the General Plan, the Local Coastal Program (LCP) and the Zoning Regulations.

Environmental Information Disclosure Form

Planning and Building Department

PLN 2018-458

BLD _____

Project Address: Sunshine Valley Road

Moss Beach, California 94038

APN 037156130

Assessor's Parcel No.: 37 — 156 — 130

Zoning District: S-17 Midcoast

Name of Owner: Fuli Li and Weiguang Xie

Address: 1855 Sunshine Valley Road

Moss Beach, CA Phone: 4157510522

Name of Applicant: David Jaehning

Address: 25 Forest Side Avenue

San Francisco Phone: 4152729444

Existing Site Conditions

Parcel size: 5000 SQ FT

Describe the extent and type of all existing development and uses on the project parcel, including the existence and purpose of any easements on the parcel, and a description of any natural features on the project parcel (i.e. steep terrain, creeks, vegetation). Vacant parcel, majority of the site is landscaped ruderal vegetation covering 4,382 SQ FT

Vacant parcel, majority of the site is landscaped ruderal vegetation covering 4,382 SQ FT

Dean Creek, an intermittent creek, runs within the northern edge of the property

Environmental Review Checklist

1. California Environmental Quality Act (CEQA) Review

Yes	No	Will this project involve:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. Construction of a new multi-family residential structure having 5 or more units?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	c. Construction of a commercial structure > 2,500 sq.ft?
<input checked="" type="checkbox"/>	<input type="checkbox"/>	d. Removal of mature tree(s) (≥ 6" d.b.h. in Emerald Lake Hills area or ≥ 12" d.b.h. in any residential zoning district)? If yes, how many trees to be removed? <u>2</u>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	e. Land clearing or grading? If yes, please state amount in cubic yards (c.y.): Excavation : <u>21</u> c.y. Fill: <u>5</u> c.y.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	f. Subdivision of land into 5 or more parcels?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	g. Construction within a State or County scenic corridor?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	h. Construction within a sensitive habitat?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	i. Construction within a hazard area (i.e. seismic fault, landslide, flood)?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	j. Construction on a hazardous waste site (check with Co. Env. Health Division)?

Please explain all "Yes" answers:

1 Monterey Cypress, 24" dia, and 1 Coastal Redwood, 26" dia. (see arborist report on health of redwood)

Reduce slope at rear yard, and flow away from residence


Signature required on reverse →

2. National Marine Fisheries Rule 4(d) Review		
Yes	No	Will the project involve:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	a. Construction outside of the footprint of an existing, legal structure?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. Exterior construction within 100-feet of a stream?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	c. Construction, maintenance or use of a road, bridge, or trail on a stream bank or unstable hill slope?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	d. Land-use within a riparian area?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	e. Timber harvesting, mining, grazing or grading?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	f. Any work inside of a stream, riparian corridor, or shoreline?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	g. Release or capture of fish or commerce dealing with fish?
Please explain any "Yes" answers:		

3. National Pollutant Discharge Elimination System (NPDES) Review		
Yes	No	Will the project involve:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>a. A subdivision or Commercial / Industrial Development that will result in the addition or replacement of 10,000 sq. ft. or more of impervious surface?</p> <p>If yes, Property Owner may be required to implement appropriate source control and site design measures and to design and implement stormwater treatment measures, to reduce the discharge of stormwater pollutants. Please consult the Current Planning Section for necessary forms and both construction and post-construction requirements.</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>b. Land disturbance of 1 acre or more of area?</p> <p>If yes, Property Owner must file a Notice of Intent (NOI) to be covered under the statewide General Construction Activities Storm Water Permit (General Permit) prior to the commencement of construction activity. Proof of coverage under State permit must be demonstrated prior to the issuance of a building permit.</p>

Certification

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and the facts, statements and information presented are true and correct to the best of my knowledge and belief. **If any of the facts represented here change, it is my responsibility to inform the County.**

Signed:  Date: November 20 2010

(Applicant may sign)

Certificate of Compliance Type A (for parcel legalization)

Companion Page

1. Instructions

Please fill out the general Planning Permit Application Form and this form when applying for a Certificate of Compliance Type A. You must also submit all items listed below.

2. Basic Information

Civil Engineer/Land Surveyor (only if required)

Name: **BGT Land Surveying**

Phone: **(650) 212-1030**

Address: **871 Woodside Way**

San Mateo, CA

Zip: **94401**

License #: **LS 7551**

3. Project Information

Street/road frontage or closest access:

Sunshine Valley Road

Existing development/uses on property:

None

Water supply:

NA well water district: **Montara Water**

Sewage disposal:

NA septic sanitary district: **Montara Sanitary**

Does legalization sought match current Assessor's Parcel boundaries?

Yes

4. Application Requirements

- ◆ Fees
- ◆ Land Division history, tracing history of parcel(s), including previous parcel(s) of which it is a part, back to last legal parcel or to its original creation. History shall include:
 - (1) A chronological chain of title, listing all deed conveyances (via date, book/page, document number) from: (a) in the case of historic subdivision - the subdivision map's recorded date up to the present ownership, or (b) in all other cases, the subject parcel's initial creation/separation from a larger "parent" property. In either scenario, the chain of title must also include copies of all referenced deeds

(2) a map depicting the parcel boundaries; and
(3) a chain of title narrative that traces all such deed history from the parcel's initial creation to the present (current owner), with graphics references, where necessary, on accompanying maps

- ◆ If this legalization is triggered by the Witt/Abernathy cases, consult the 1-8-2010 "Legalization of Parcels" policy.
- ◆ A topographic and Boundary Survey of Parcel(s) maybe required
- ◆ Building permit history on the house or other principal use may be required, obtainable from the Building

NOTE: If, upon review of the Type A application, it is determined that a Type B Certificate of Compliance is required, a topographic and boundary survey will be required, as well as other possible property improvements and planning applications.

SUNSHINE VALLEY RESIDENCE

APN 037156130
 Sunshine Valley Road
 Moss Beach, California 94038

REVISION:



SHEET LIST	
#	NAME

GENERAL INFORMATION	
A001	GENERAL NOTES

CIVIL	
C001	GRADING & DRAINAGE
C002	EROSION & SEDIMENT CONTROL

LANDSCAPE	
L001	LANDSCAPE PLAN
L002	TREE LOCATION

ARCHITECTURAL	
A112	ARCHITECTURAL SITE PLAN
A211	DIMENSION FLOOR PLAN - LEVEL 1
A212	DIMENSION FLOOR PLAN - LEVEL 2
A213	DIMENSION FLOOR PLAN - LEVEL 3
A271	ROOF PLAN
A311	ELEVATIONS
A312	ELEVATIONS

STRUCTURAL	
S001	STRUCTURAL TBD

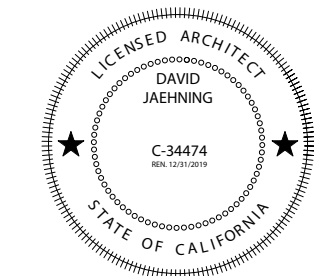
PLUMBING	
P001	PLUMBING TBD

MECHANICAL	
M001	MECHANICAL TBD

ELECTRICAL	
E001	ELECTRICAL TBD

**FOR REVIEW & FILING
 NOT FOR CONSTRUCTION**

STAMP:



ARCHITECT:

David Jaehning Architect
 25 Forest Side Avenue, San Francisco, California 94127

CONSULTANT TEAM:

ARBORIST:
 Trees 360 Degrees, Straun Edwards: WE5612-A
 Saratoga, California

BIOLOGICAL:
 SWCA Environmental Consultants: Half Moon Bay, California

CIVIL:
 Sigma Prime Geosciences, Inc.: Half Moon Bay, California

STRUCTURAL:
 Alex Lau Engineering: C 75773, San Francisco, California

CLIENT:

Elle and Ivan Li
 1855 Sunshine Valley Road, Moss Beach, California 94038

ARCHITECTURAL:

DAVID JAEHNING ARCHITECT
 25 FOREST SIDE AVENUE
 SAN FRANCISCO, CA 94127
 T: +1 415 272 9444

STRUCTURAL:

ALEX LAU ENGINEERING
 C 75773
 SAN FRANCISCO, CA
 T: +1 408 207 6113

MECHANICAL, ELECTRICAL, & PLUMBING:

DESIGN/BUILD BY CONTRACTOR

BUILDING CODE INFORMATION:

APPLICABLE BUILDING CODE: 2016 CALIFORNIA BUILDING STANDARDS CODE (CAL. CODE REGS., TITLE 24)

COUNTY ZONED: S-17 COMBINING DISTRICT (MIDCOAST)

PARCEL SIZE: 5000 SF

LOT COVERAGE: BUILDING: 730 SF
 HARDSCAPE: 734 SF
 TOTAL: 1464 SF (29%)

FLOOR AREA RATIO: 0.44

LANDSCAPE AREA (REHABILITATED): 2061 SF
 LANDSCAPE AREA (TURF & PLANT): 954 SF

OCCUPANCY CLASSIFICATION: R-3

BUILDING CHARACTERISTICS: LEVEL 1: 730 SF
 LEVEL 2: 730 SF
 LEVEL 3: 730 SF
 TOTAL: 2190 SF

GRADE ELEVATION: 109'-0"

BUILDING HEIGHT: 28'-0" PERIMETER, 31'-4" PEAK

BUILDING LEVELS: 3

BUILDING CODE INFORMATION: TYPE V-A
 PRIMARY STRUCTURAL FRAME: 1

TYPE OF CONSTRUCTION: BEARING WALLS: 1
 NON-BEARING WALLS AND PARTITIONS (EXT.): TABLE 602
 NON-BEARING WALLS AND PARTITIONS (INT.): 0
 FLOOR CONSTRUCTION: 1
 ROOF CONSTRUCTION: 1

ALLOWABLE HEIGHT: 50'-0" PER TABLE 503

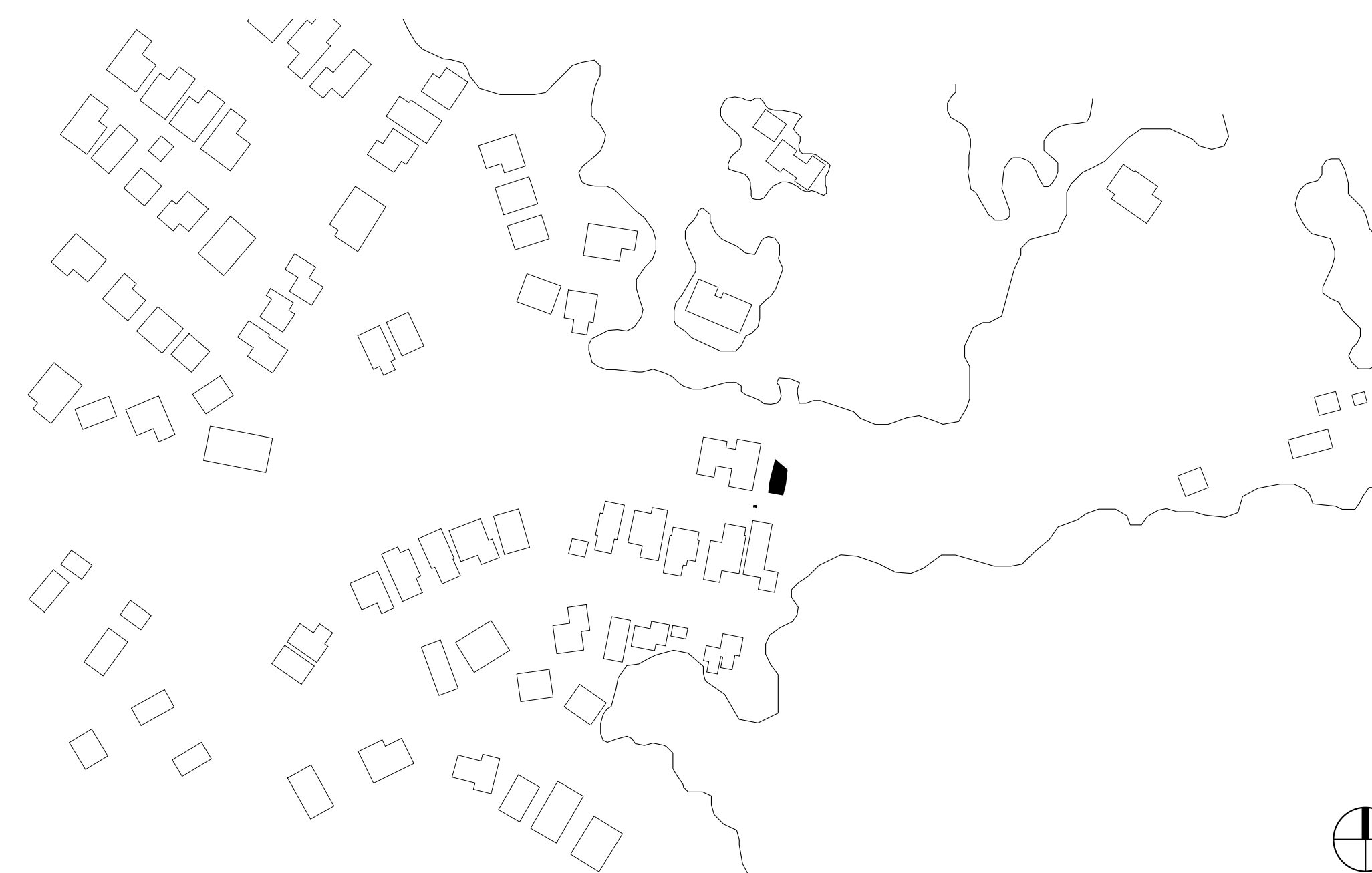
BUILDABLE AREA: UNLIMITED PER TABLE 503

OCCUPANT LOAD: 2190 SF / 200 GROSS = 11 PERSONS

EGRESS REQUIREMENT: PER SECTION 1006.2.1:
 IN GROUP-R-2 AND R-3 OCCUPANCIES, ONE MEANS OF EGRESS IS PERMITTED WITHIN AND FROM INDIVIDUAL DWELLING UNITS WITH A MAXIMUM OCCUPANT LOAD OF 20 WHERE THE DWELLING UNIT IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.1.1 OR 903.2.1.2 AND THE COMMON PATH OF EGRESS TRAVEL DOES NOT EXCEED 125 FEET

SMOKE DETECTION: HARD-WIRED, INTERCONNECTED, AND BATTERY BACKUP PER CBC, STATE FIRE MARSHALL REGULATIONS, AND COASTSIDE FIRE DISTRICT ORDINANCE 2016-01. PLACED ONE PER BEDROOM AND ONE IN HALLWAY PER FLOOR

FIRE SUPPRESSION: BUILDING WILL BE PROTECTED BY AN AUTOMATIC FIRE SPRINKLER SYSTEM



PROJECT NO: PROJECT NAME:
1802 Sunshine Valley Residence

PROJECT ADDRESS: APN 037156130, Sunshine Valley Road
 Moss Beach, California 94038

PROJECT PHASE: **Construction Documents**

DRAWN: Author CHECKED: Checker

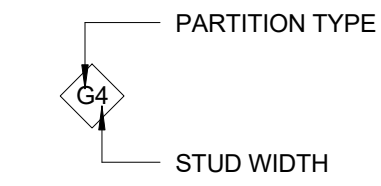
ISSUE DATE: 5/14/2019 1:24:00 PM

DRAWING TITLE: **COVER SHEET**

DRAWING NO: **A000**

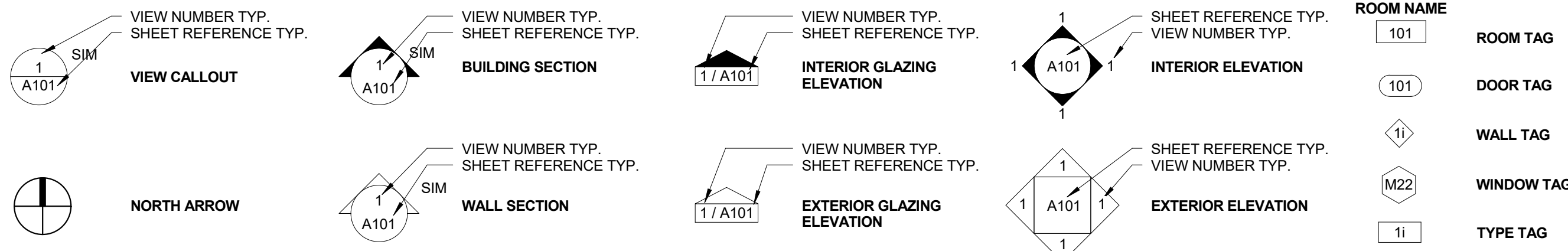
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 These drawings, concepts, designs and ideas are the property of David Jaehning Architect. They may not be copied, reproduced, disclosed to others or used in connection with any work other than the specified project for which they were prepared, in whole or in part, without the prior written authorization of David Jaehning Architect.

PARTITION KEY LEGEND



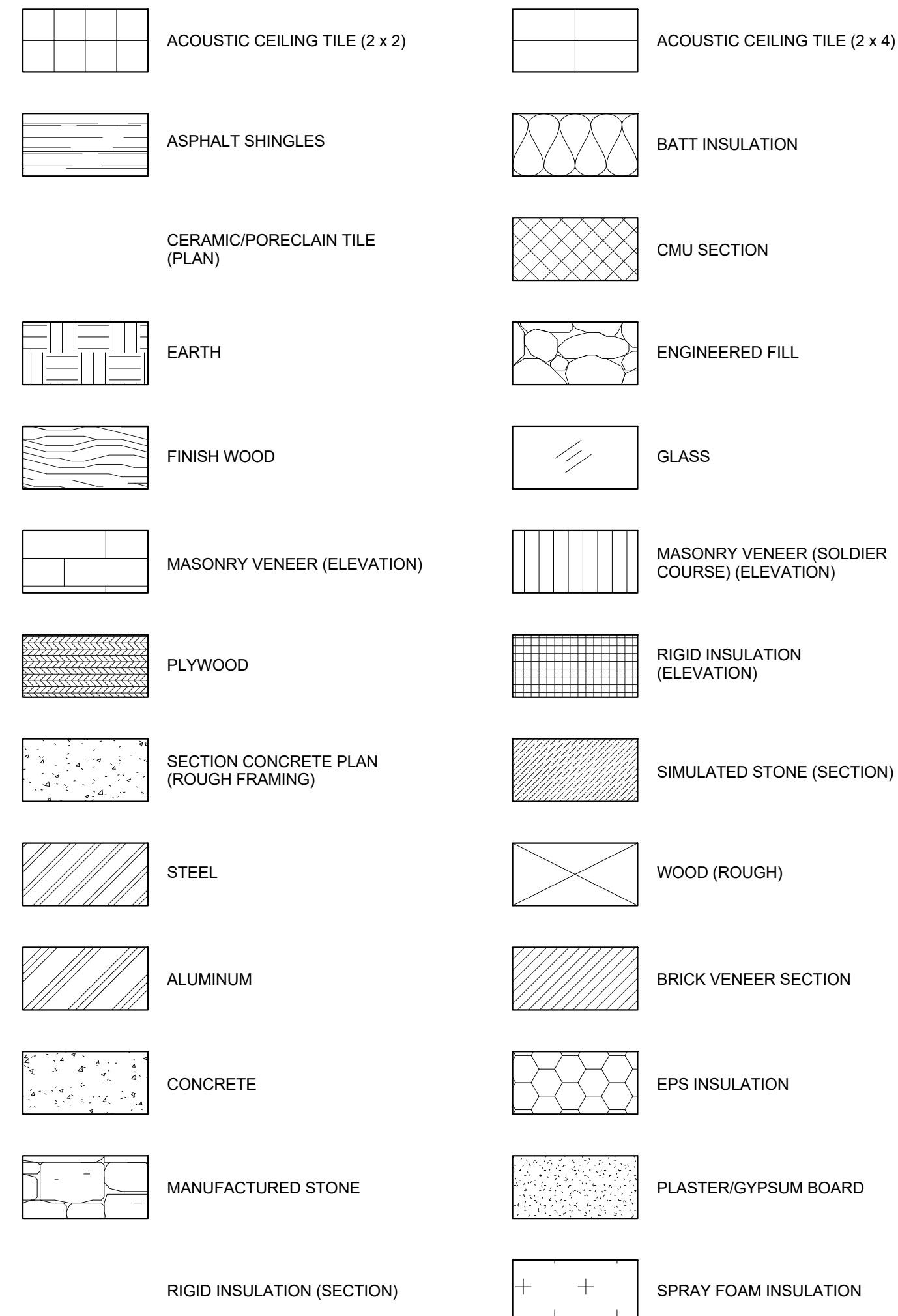
NOTES

- A. ALL INTERIOR PARTITION FRAMING TO BE WOOD STUD U.O.N.
- B. ALL INTERIOR PARTITIONS TO INCLUDE SOUND ATTENUATION UNLESS OTHERWISE NOTED
- C. EPOXY PAINT @ ALL KITCHENETTE BACKSLASHES, AND BREAKEROOM
- D. ALL FRAMING TO EXTEND TO ROOF DECK, U.O.N.
- E. RE. INTERIOR ELEVATION FOR PAINTED EXPOSED HOMASOTE, PAINT COLOR TO MATCH WINDOW FRAMES



ROOM NAME	ROOM TAG
101	ROOM TAG
101	DOOR TAG
11	WALL TAG
M22	WINDOW TAG
11	TYPE TAG

MATERIAL SYMBOLS



ABBREVIATION LEGEND

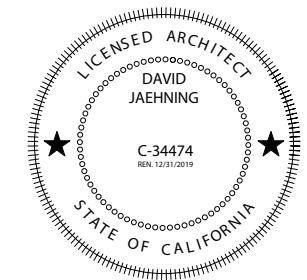
ABBRV	DESCRIPTION
A	AT
@	A.F.F. ABOVE FINISH FLOOR
AC	ACOVE COUNTER
ACST	ACOUSTIC
ADJ	ADJUSTABLE
ALUM	ALUMINUM
ANNOD	ANNODIZED
APPROX	APPROXIMATE
ARCH	ARCHITECT/ARCHITECTURAL
ASST	ASSISTANT
ATFP	ANTI TERRORISM FORCE PROTECTION
AUTO	AUTOMATIC
AVG	AVERAGE
B	
BATT	BATT INSULATION
BD	BOARD
BLDG	BUILDING
BLK	BLOCK
BLKG	BLOCKING
BOT/BT	BOTTOM
M	
BRG	BEARING
C	
CJ	CONTROL JOINT
CL	CENTER LINE
CLG	CEILING
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
CONC	CONCRETE
CONST	CONSTRUCTION
COORD	COORDINATE
CORR	CORRIDOR
CPT	CARPET
CT	CERAMIC TILE
CTRTOPTOP	COUNTERTOP
CU.FT.	CUBIC FOOT
CU.YD.	CUBIC YARD
D	
DBL	DOUBLE
DEMO	DEMOLISH
DIA	DIAMETER
DIM	DIMENSION
DN	DOWN
DS	DOWN SPOUT
DW	DISH WASHER
DWGS	DRAWING/S
E	
E.W.C.	ELECTRICAL WATER COOLER
EA	EACH
EF	EXHAUST FAN
EJ	EXPANSION JOINT
EL	ELEVATION
ELEC	ELECTRICAL
ELEV	ELEVATION
EQ	EQUAL
EQUIP	EQUIPMENT
EXIST	EXISTING
EXP	EXPANSION
EXT	EXTERIOR
F	
F.F.	FINISH FLOOR
F/C	FACE OF CURB
FACP	FIRE ALARM CONTROL PANEL
FD	FLOOR DRAIN
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FH	FIRE HYDRANT
FIN	FINISH
FLOUR	FLOURESCENT
FLR	FLOOR
FT	FEET
FTG	FOOTING
FV	FIELD VERIFY
G	
GA	GAUGE
GALV	GALVANIZED
GB	GRAB BAR
GOVT	GOVERNMENT
GWB	GYPNUM WALL BOARD
GYP	GYPNUM
H	
H.C.	HANDICAP ACCESSIBLE
HCW	HOLLOW WOOD CORE
HDWE	HARDWARE
HGT	HEIGHT
HM	HOLLOW METAL
HORZ	HORIZONTAL
HVAC	HEATING VENTILATION AND AIR CONDITIONING
I	
ID	INSIDE DIAMETER
IN	INCH
INSUL	INSULATION
INT	INTERIOR
J	
J-BOX	JUNCTION BOX
JAN	JANITOR
JST	JOIST
JT	JOINT
L	
LAB	LABORATORY
LAV	LAVATORY
LBS/LB	POUNDS/POUND
LF	LINEAR FEET
LT	LIGHT
LTG	LIGHTING

ABBREVIATION LEGEND

ABBRV	DESCRIPTION
M	
M.O.	MASONRY OPENING
MATL	MATERIAL
MAX	MAXIMUM
MECH	MECHANICAL
MFR	MANUFACTURER
MIN	MINIMUM
MISC	MISCELLANEOUS
MTL	METAL
N	
N	NORTH
N.I.C.	NOT IN CONTRACT
N.T.S.	NOT TO SCALE
NO	NUMBER
NOM	NOMINAL
O	
OC	ON CENTER
OD	OUTSIDE DIAMETER
OFF	OFFICE
OH	OVERHEAD
OH	OPPOSITE HAND
OPP	OPPOSITE
P	
PERP	PERPENDICULAR
PL	PLATE
PLAM	PLASTIC LAMINATE
PLBG	PLUMBING
PLYWD	PLYWOOD
PNL	PANEL
PREFIN	PREFINISHED
PROJ	PROJECT
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PT	PAINT
PTD	PAPER TOWEL DISPENSER
PVMNT	PAVEMENT
Q	
QC	QUALITY CONTROL
R	
RB	RUBBER BASE
REF	REFERENCE
REFRIG	REFRIGERATOR
REINF	REINFORCE
REQ'D	REQUIRED
RM	ROOM
RO	ROUGH OPENING
RUB	RUBBER
S	
S	SOUTH
SCHED	SCHEDULED
SECT	SECTION
SHT	SHEET
SIM	SIMILAR
SPEC	SPECIFICATION
SS	STAINLESS STEEL
STD	STANDARD
STL	STEEL
STOR	STORAGE
STRU	STRUCTURE
SUSP	SUSPENDED
SYM	SYMMETRICAL
T	
THRSU	THRESHOLD
TO	TOP OF
TOC	TOP OF CONCRETE
TOG	TOP OF GRADE
TOM	TOP OF MASONRY
TOS	TOP OF STEEL
TV	TELEVISION
TYP	TYPICAL
U	
U.L.	UNDERWRITERS LABORATORIES
UG	UNDERGROUND
UNO	UNLESS NOTED OTHERWISE
UR	URINAL
V	
VCT	VINYL COMPOSITE TILE
VENT	VENTILATION
VERT	VERTICAL
VIF	VERIFY IN FIELD
VOL	VOLUME
VTR	VENT THROUGH ROOF
VWC	VINYL WALL COVERING
W	
W	WITH
W/O	WITHOUT
WC	WATER CLOSET
WD	WOOD
WP	WORKING POINT
WT	WEIGHT
X	
XFMR	TRANSFORMER
Y	
YD	YARD

**FOR REVIEW & FILING
NOT FOR CONSTRUCTION**

STAMP:



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CIVIL:
Sigma Prime Geosciences, Inc.: Half Moon Bay, California

STRUCTURAL:
Alex Lau Engineering: C 75773, San Francisco, California

CLIENT:
Elle and Ivan Li
1855 Sunshine Valley Road, Moss Beach, California 94038

PROJECT NO: PROJECT NAME:
1802 Sunshine Valley Residence

PROJECT ADDRESS: APN 037156130, Sunshine Valley Road
Moss Beach, California 94038

PROJECT PHASE: **Construction Documents**

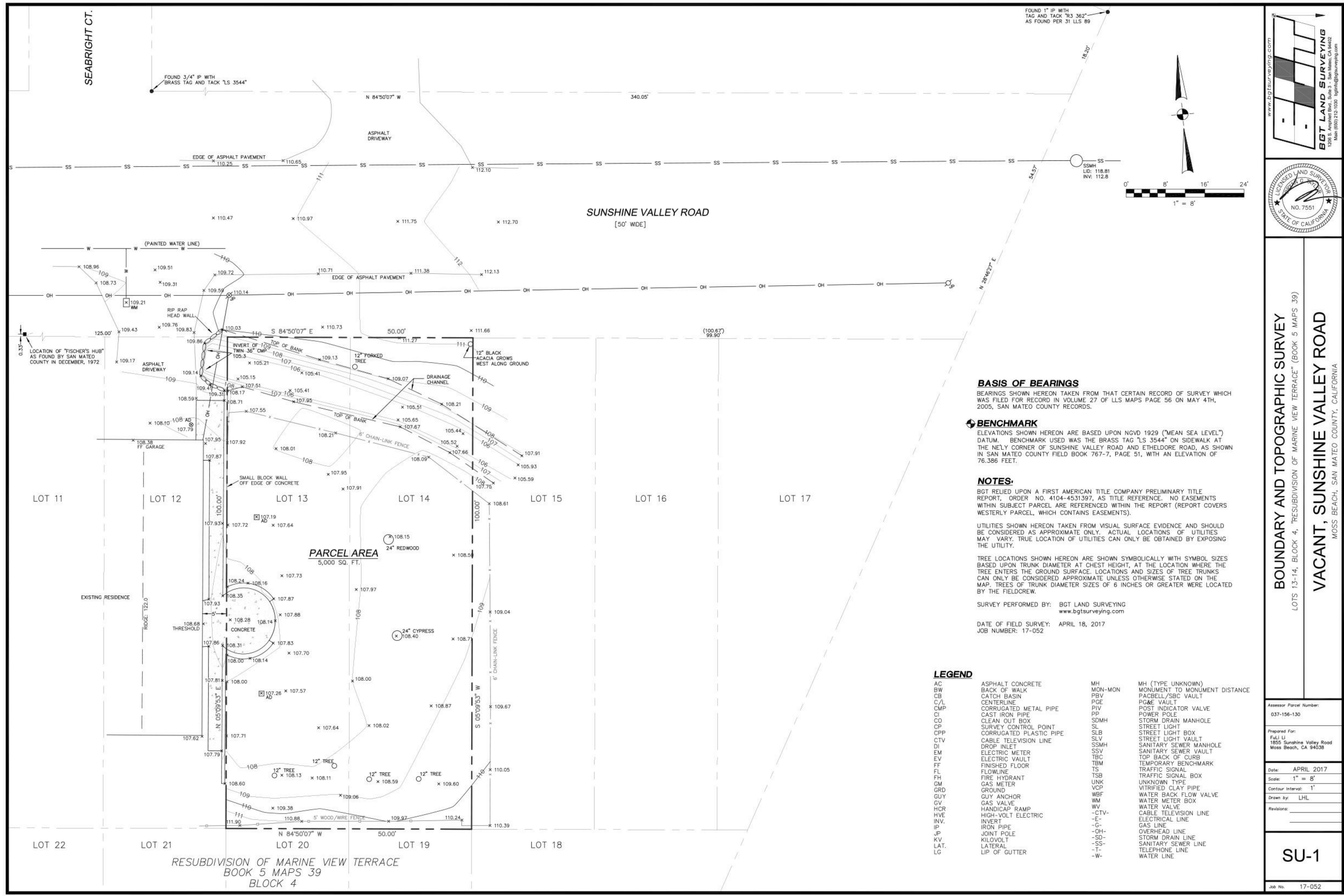
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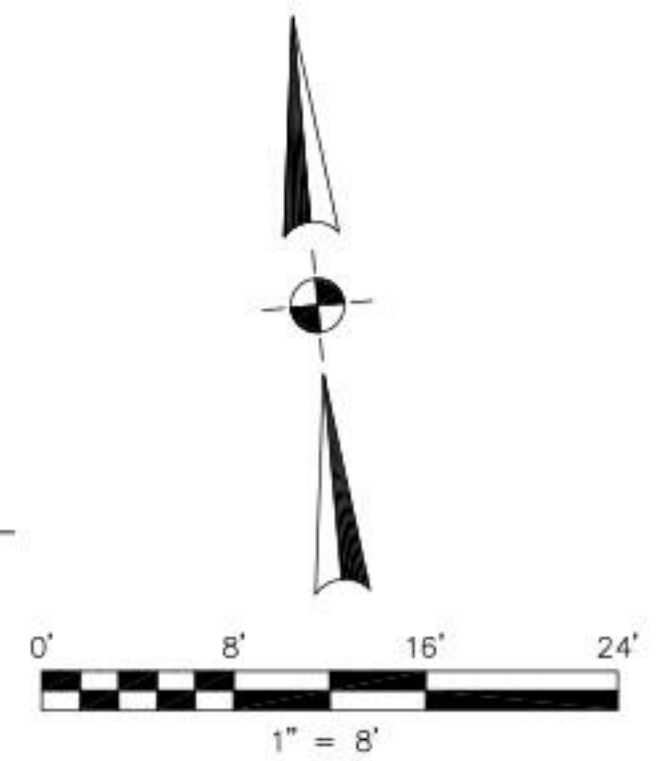
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FOUND 1" IP WITH TAG AND TACK "R3 362" AS FOUND PER 31 LLS 89

FOUND 3/4" IP WITH BRASS TAG AND TACK "LS 3544"



BOUNDARY AND TOPOGRAPHIC SURVEY
 LOTS 13-14, BLOCK 4, "RESUBDIVISION OF MARINE VIEW TERRACE" (BOOK 5 MAPS 39)
 VACANT, SUNSHINE VALLEY ROAD
 MOSS BEACH, SAN MATEO COUNTY, CALIFORNIA

BASIS OF BEARINGS

BEARINGS SHOWN HEREON TAKEN FROM THAT CERTAIN RECORD OF SURVEY WHICH WAS FILED FOR RECORD IN VOLUME 27 OF LLS MAPS PAGE 56 ON MAY 4TH, 2005, SAN MATEO COUNTY RECORDS.

BENCHMARK

ELEVATIONS SHOWN HEREON ARE BASED UPON NGVD 1929 ("MEAN SEA LEVEL") DATUM. BENCHMARK USED WAS THE BRASS TAG "LS 3544" ON SIDEWALK AT THE NELY CORNER OF SUNSHINE VALLEY ROAD AND ETHELDOR ROAD, AS SHOWN IN SAN MATEO COUNTY FIELD BOOK 767-7, PAGE 51, WITH AN ELEVATION OF 76.386 FEET.

NOTES:

BGT RELIED UPON A FIRST AMERICAN TITLE COMPANY PRELIMINARY TITLE REPORT, ORDER NO. 4104-4531397, AS TITLE REFERENCE. NO EASEMENTS WITHIN SUBJECT PARCEL ARE REFERENCED WITHIN THE REPORT (REPORT COVERS WESTERLY PARCEL, WHICH CONTAINS EASEMENTS).

UTILITIES SHOWN HEREON TAKEN FROM VISUAL SURFACE EVIDENCE AND SHOULD BE CONSIDERED AS APPROXIMATE ONLY. ACTUAL LOCATIONS OF UTILITIES MAY VARY. TRUE LOCATION OF UTILITIES CAN ONLY BE OBTAINED BY EXPOSING THE UTILITY.

TREE LOCATIONS SHOWN HEREON ARE SHOWN SYMBOLICALLY WITH SYMBOL SIZES BASED UPON TRUNK DIAMETER AT CHEST HEIGHT, AT THE LOCATION WHERE THE TREE ENTERS THE GROUND SURFACE. LOCATIONS AND SIZES OF TREE TRUNKS CAN ONLY BE CONSIDERED APPROXIMATE UNLESS OTHERWISE STATED ON THE MAP. TREES OF TRUNK DIAMETER SIZES OF 6 INCHES OR GREATER WERE LOCATED BY THE FIELDCREW.

SURVEY PERFORMED BY: BGT LAND SURVEYING
 www.bgtlandsurveying.com

DATE OF FIELD SURVEY: APRIL 18, 2017
 JOB NUMBER: 17-052

LEGEND

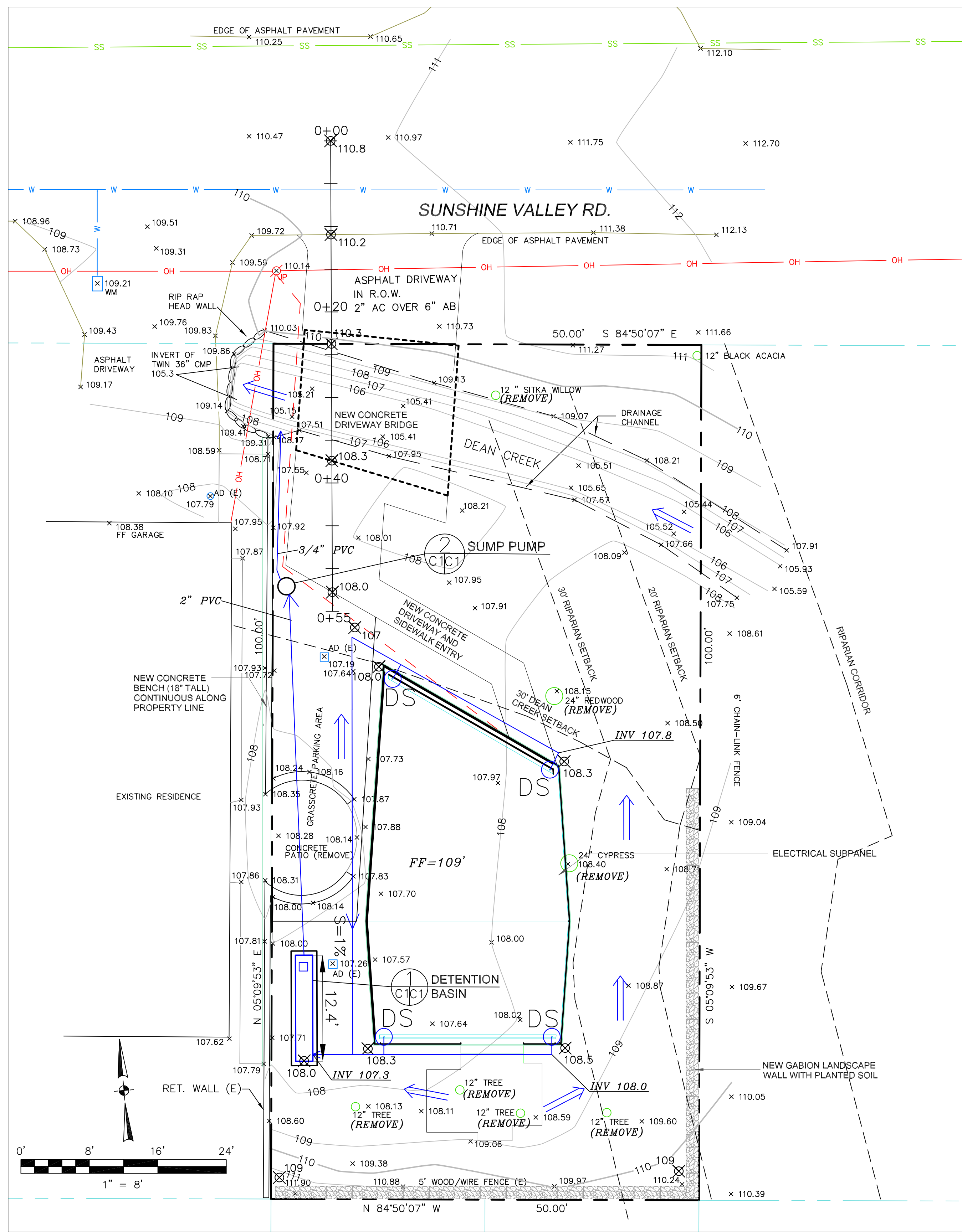
AC	ASPHALT CONCRETE	MH	MH (TYPE UNKNOWN)
BW	BACK OF WALK	MON-MON	MONUMENT TO MONUMENT DISTANCE
CB	CATCH BASIN	PACBELL/SBC VAULT	PACBELL/SBC VAULT
C/L	CENTERLINE	PG&E VAULT	PG&E VAULT
CMP	CORRUGATED METAL PIPE	PIV	POST INDICATOR VALVE
CI	CAST IRON PIPE	PP	POWER POLE
CO	CLEAN OUT BOX	SDMH	STORM DRAIN MANHOLE
CP	SURVEY CONTROL POINT	SL	STREET LIGHT
CPP	CORRUGATED PLASTIC PIPE	SLB	STREET LIGHT BOX
CTV	CABLE TELEVISION LINE	SLV	STREET LIGHT VAULT
DI	DROP INLET	SSMH	SANITARY SEWER MANHOLE
EM	ELECTRIC METER	SSV	SANITARY SEWER VAULT
EV	ELECTRIC VAULT	TBC	TOP BACK OF CURB
FF	FINISHED FLOOR	TBM	TEMPORARY BENCHMARK
FL	FLOWLINE	TS	TRAFFIC SIGNAL
FH	FIRE HYDRANT	TSB	TRAFFIC SIGNAL BOX
GM	GAS METER	UNK	UNKNOWN TYPE
GRD	GROUND	VCP	VITRIFIED CLAY PIPE
GV	GUY ANCHOR	WBV	WATER BACK FLOW VALVE
HCR	HANDICAP RAMP	WM	WATER METER BOX
HVE	HIGH-VOLT ELECTRIC	WV	WATER VALVE
INV.	INVERT	-CTV-	CABLE TELEVISION LINE
IP	IRON PIPE	-E-	ELECTRICAL LINE
JP	JOINT POLE	-G-	GAS LINE
KV	KILOVOLT	-OH-	OVERHEAD LINE
LAT.	LATERAL	-SD-	STORM DRAIN LINE
LAT.	LATERAL	-SS-	SANITARY SEWER LINE
LG	LIP OF GUTTER	-T-	TELEPHONE LINE
		-W-	WATER LINE

Assessor Parcel Number:
 037-156-130

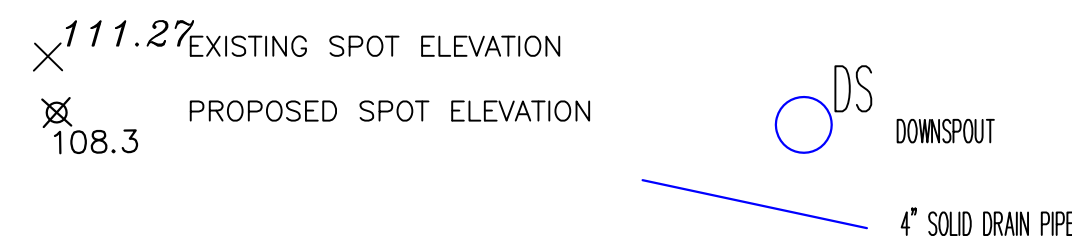
Prepared For:
 FuLi Li
 1855 Sunshine Valley Road
 Moss Beach, CA 94038

Date: APRIL 2017
 Scale: 1" = 8'
 Contour Interval: 1'
 Drawn by: LHL

Revisions:
 SU-1
 Job No. 17-052



LEGEND



GENERAL NOTES

- PLANS PREPARED AT THE REQUEST OF: FULI LI, OWNER.
- TOPOGRAPHY BY BGT LAND SURVEYING, SURVEYED 4-18-17.
- THIS IS NOT A BOUNDARY SURVEY.
- ELEVATION DATUM: NGVD29.
- THE GEOTECHNICAL REPORT: **GEOTECHNICAL STUDY, UPDATE GEOTECHNICAL INVESTIGATION, PROPOSED SINGLE FAMILY RESIDENCE, 1855 SUNSHINE VALLEY ROAD, MOSS BEACH CALIFORNIA.** DATED: MAY 5 201, BY WAYNE TING AND ASSOCIATES PROJECT NO. 5264 SHALL BE RETAINED ON THE CONSTRUCTION SITE. THE GEOTECHNICAL ENGINEER OF RECORD IS WAYNE TING AND ASSOCIATES, WITH THE CONTACT NUMBER (510)-623-7768; WAYNE@WAYNETING.NET). THE CONTRACTOR MUST SHALL NOTIFY THE GEOTECHNICAL ENGINEER OF RECORD AT LEAST 48 HOURS BEFORE CONSTRUCTION OF GEOTECHNICAL RELATED WORK. THE GEOTECHNICAL PART OF CONSTRUCTION WORK, INCLUDING BUT NOT LIMITED TO, ALL THE EARTHWORK AND FOUNDATION CONSTRUCTIONS, MUST SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER OF RECORD.
- STORMWATER MANAGEMENT CONSTRUCTION INSPECTIONS SHALL BE SCHEDULED FOR APPLICABLE DRAINAGE INSPECTIONS, WHICH INCLUDE SITE CLEARANCE AND EROSION CONTROL MEASURES INSTALLATION AS WELL AS INSPECTION OF MAJOR DRAINAGE CONTAINMENT, TREATMENT, AND CONVEYANCE DEVICES BEFORE BEING BURIED (INCLUDING REQUIRED MATERIAL LABELS, E.G. PIPES, SUB-GRADE MATERIALS, ETC.). PLEASE FOLLOW THE INSPECTION CARD INSTRUCTIONS AND PHONE NUMBER (650)-306-8405 EXT 181) TO SCHEDULE COUNTY DRAINAGE INSPECTIONS ACCORDINGLY. THERE SHALL BE THREE INSPECTIONS: ONE FOR EROSION CONTROL INSTALLATION, ONE BEFORE DRAINAGE FACILITIES ARE BURIED, AND ONE FOR FINAL WALK AROUND.

DRAINAGE NOTES

- DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS. SLOPE ALL IMPERVIOUS SURFACES A MINIMUM OF 2% AWAY FROM BUILDING. DIRECT SLOPES SUCH THAT STORMWATER WILL NOT BE DIVERTED ONTO ADJACENT PROPERTIES.
- ALL DOWNSPOUT DRAIN LINES SHALL LEAD TO DETENTION BASIN, AS SHOWN.
- ALL ROOF DRAINAGE PIPES SHALL BE 4" DIAMETER SOLID PIPE, SLOPED AT 1% MINIMUM.
- IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO CHECK ON ALL STORMWATER FACILITIES SUCH AS ROOF GUTTERS, DOWNSPOUT LINES, AND THE FLOW-THROUGH PLANTER/SUMP PUMP TO BE SURE THAT THEY ARE CLEAR OF EXCESSIVE DEBRIS AND OPERATING EFFICIENTLY. THE FACILITIES SHALL BE CHECKED EVERY FALL AND PERIODICALLY DURING THE RAINY SEASON.

GRADING NOTES

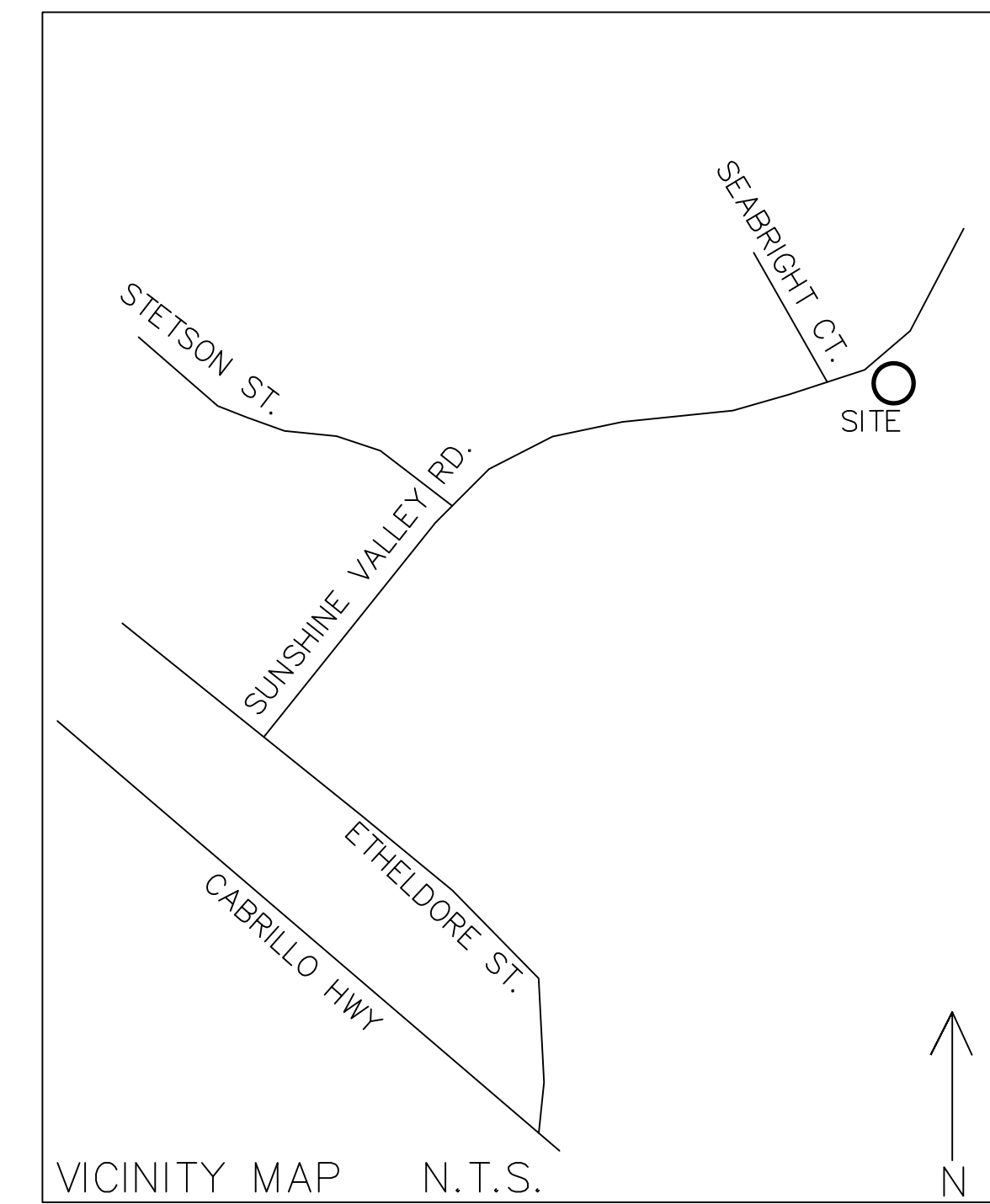
CUT VOLUME: 40 CY (FOR FOUNDATION, BACK-YARD GABION)
 FILL VOLUME: 10 CY
 VOLUMES ABOVE ARE APPROXIMATE.
 THE SUBGRADE BELOW ALL PAVED AREAS SHALL BE BASEROCK COMPACTED TO 95%.

ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.

ALL TRENCHES UNDER PROPOSED PAVED AREAS OR CONCRETE SHALL BE BACKFILLED TO SUBGRADE ELEVATION WITH COMPACTED APPROVED GRANULAR MATERIALS. IF TRENCHES ARE IN PROPOSED LANDSCAPE AREAS, THEY SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAMPED SOILS.

UTILITY NOTES

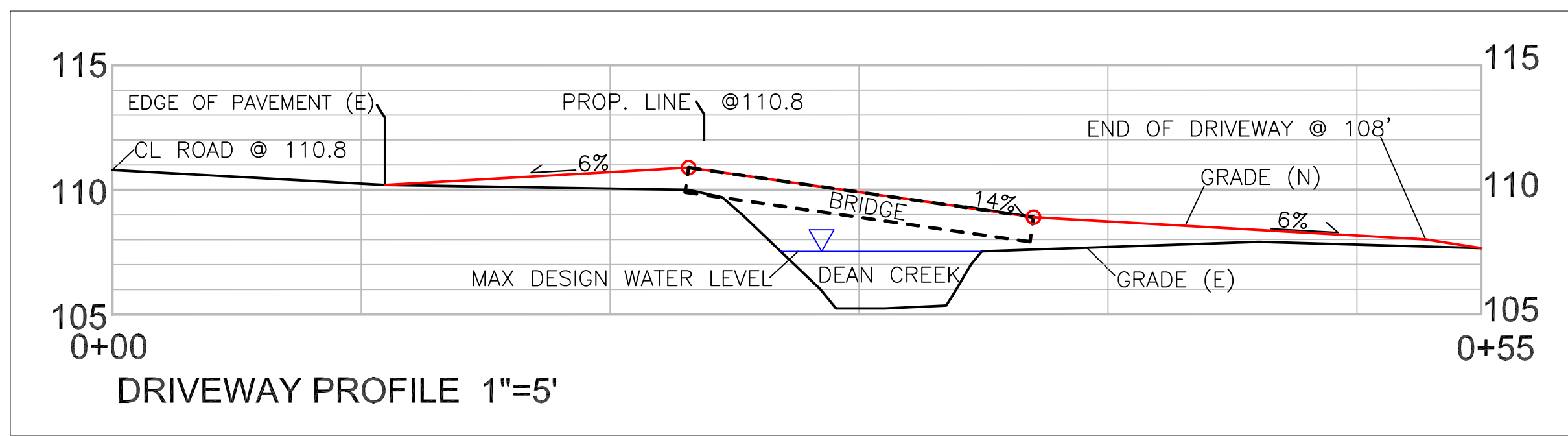
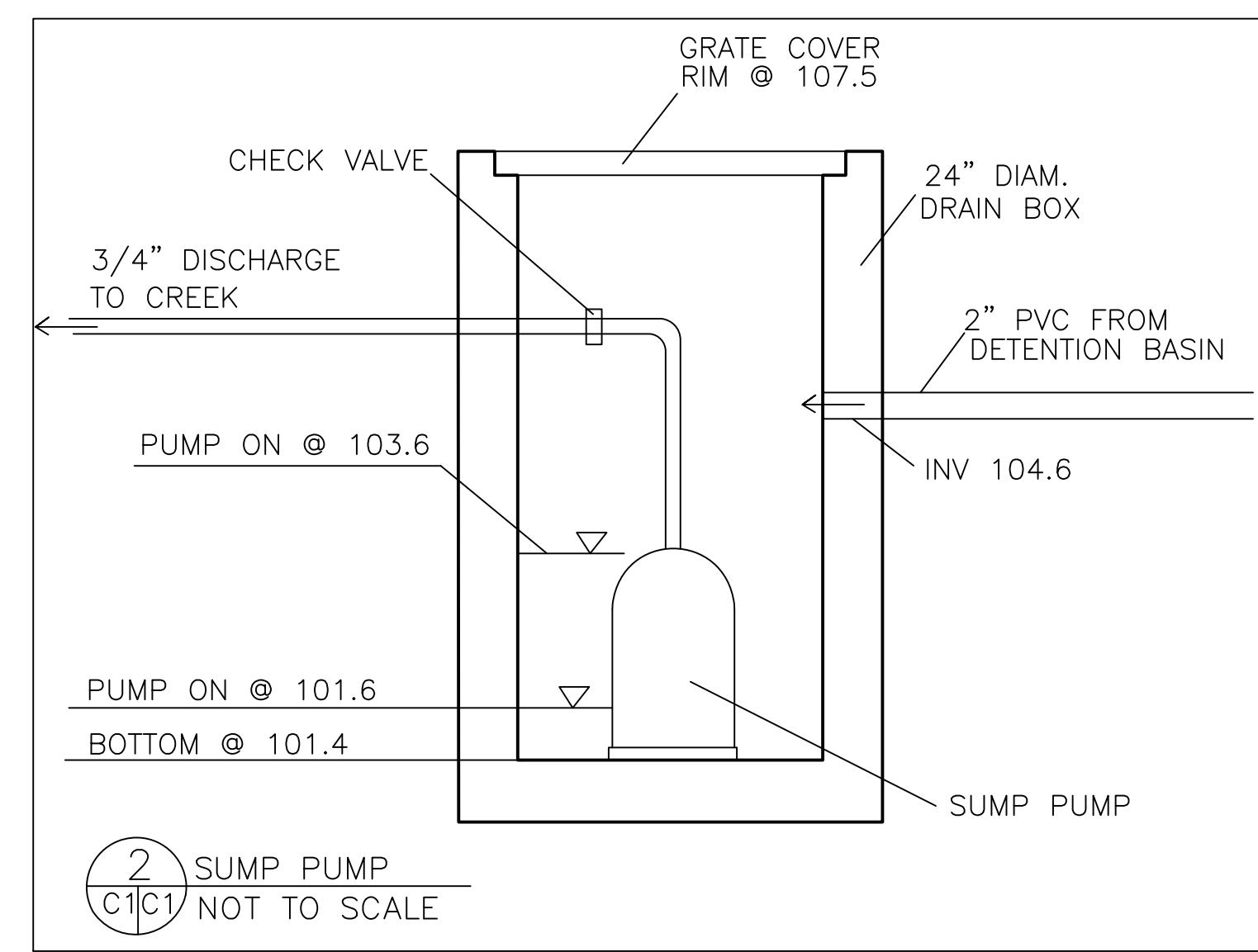
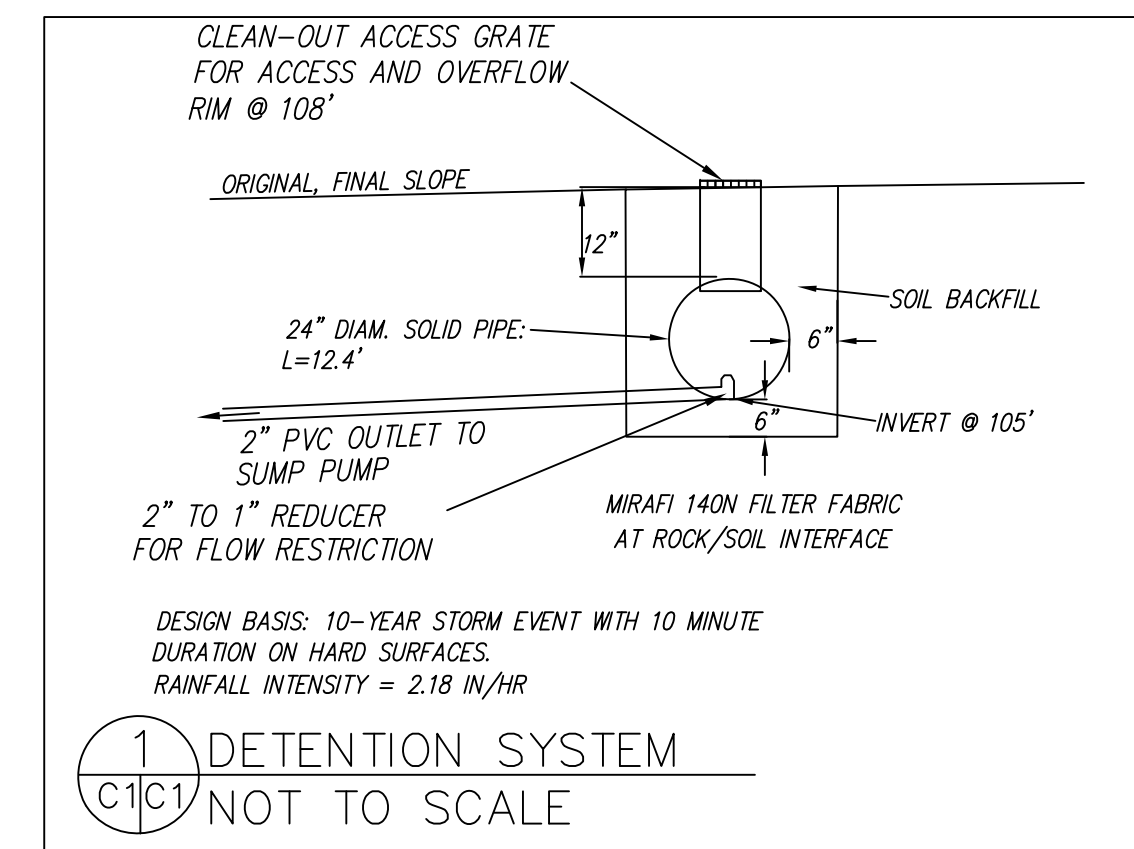
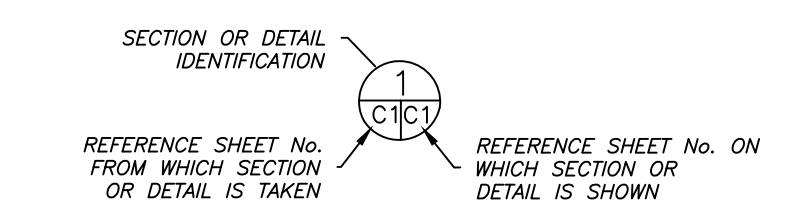
- DETAILED UTILITY PLAN WILL BE SUBMITTED SEPARATELY FOR SUBMITTAL TO AND APPROVAL BY THE MONTARA WATER AND SANITARY DISTRICT.
- ALL UTILITIES TO HOUSE WILL BE UNDERGROUND AND ATTACHED TO BRIDGE TO CROSS DEAN CREEK.
- SEWER LATERAL WILL REQUIRE AN EJECTOR PUMP. LATERAL SHALL BE ENCASED IN A STEEL PIPE WHERE IT IS ATTACHED TO THE BRIDGE.



TRAFFIC CONTROL NOTES

- CONTRACTOR AND WORKERS SHALL PARK ON SHOULDER OF STREET.
- WHEN TRUCKS PARK IN DRIVEWAY FOR DELIVERY OF SUPPLIES AND CONCRETE, EVERY EFFORT SHALL BE MADE TO PROVIDE ROOM FOR VEHICLES TO PASS.
- WORKERS SHALL PROVIDE TRAFFIC CONTROL ON SUNSHINE VALLEY ROAD WHEN TRUCKS ARE BACKING ONTO STREET.

SECTION AND DETAIL CONVENTION

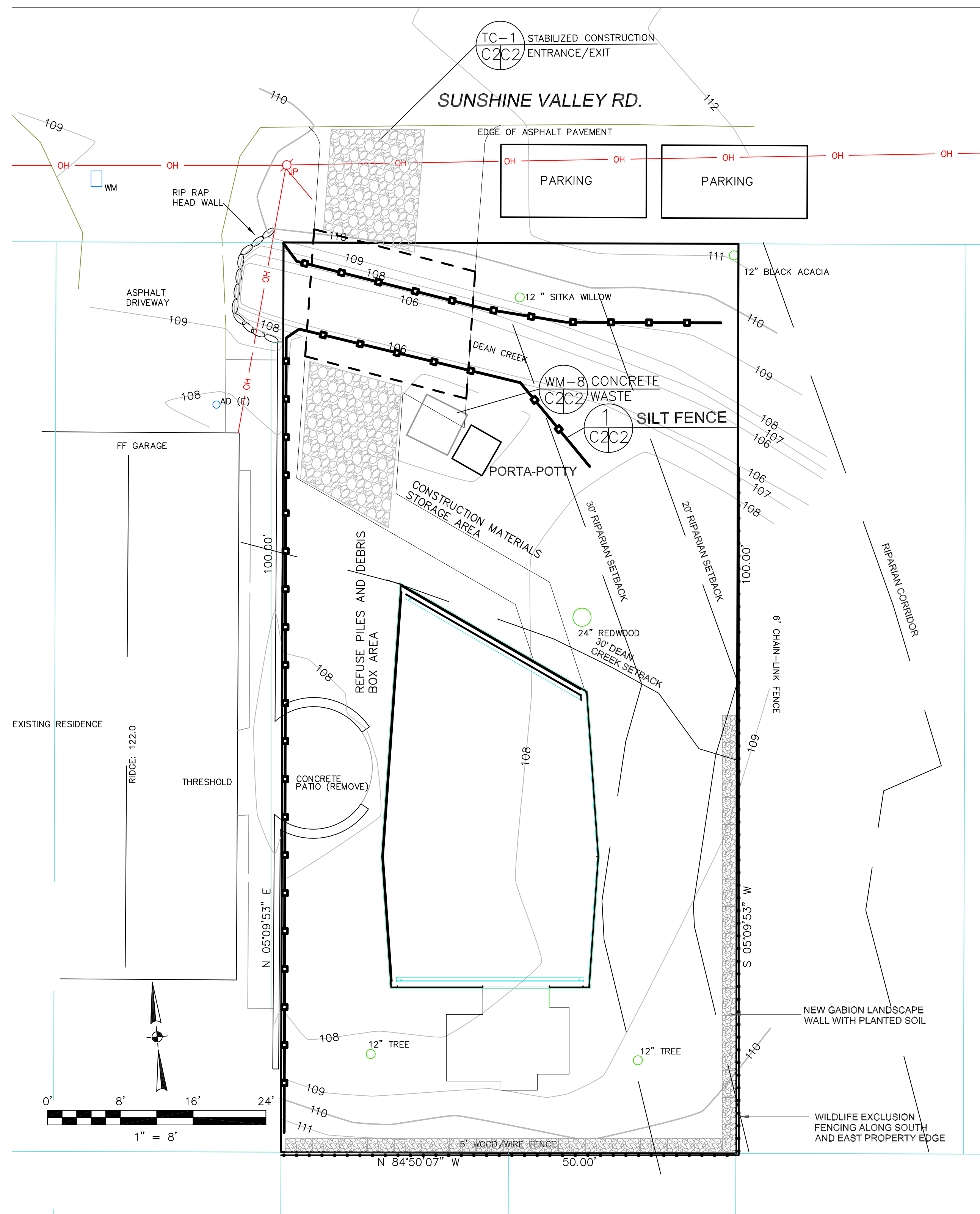


DATE: 2-13-19
 DRAWN BY: CMK
 CHECKED BY: AZG
 REV. DATE: 5-14-19
 REV. DATE:
 REV. DATE:

Sigma Prime Geosciences, Inc.
 SIGMA PRIME GEOSCIENCES, INC.
 392 PRINCETON AVENUE
 HALF MOON BAY, CA 94019
 (650) 728-3980
 FAX: 728-3993

GRADING AND DRAINAGE PLAN
 LI PROPERTY
 SUNSHINE VALLEY ROAD
 MOSS BEACH
 APN 037-156-130

SHEET
 C-1



EROSION CONTROL NOTES

- 1. GRADING MAY TAKE PLACE DURING WET WEATHER AFTER OCTOBER 1 PROVIDED THE FOLLOWING PROVISIONS ARE FOLLOWED.
- 2. NO GRADING SHALL TAKE PLACE DURING RAINY WEATHER OR FOR A PERIOD OF AT LEAST 24 HOURS FOLLOWING RAIN.
- 3. ALL EXPOSED SOIL SHALL BE TEMPORARILY PROTECTED FROM EROSION WITH JUTE NETTING.
- 4. ALL STOCKPILED SOIL SHALL BE COVERED AT ALL TIMES AND REMOVED FROM SITE AS SOON AS POSSIBLE, IF SCHEDULED FOR OFF-HAUL.
- 5. ALL EXPOSED SURFACES SHALL BE PERMANENTLY PROTECTED FROM EROSION WITH SEEDING AND/OR LANDSCAPING. SEED MIX SHALL BE 75 LB PER ACRE ANNUAL RYGRASS OR APPROVED SUBSTITUTE. SEED SHALL BE COVERED WITH STRAW MULCH AT A RATE OF 2 TONS/ACRE.
- 6. ROCKED CONSTRUCTION ENTRANCE SHALL CONFORM TO THE FOLLOWING:
 - A. THE MATERIAL FOR THE PAD SHALL BE 3 TO 6 INCH STONE.
 - B. PAD SHALL BE NOT LESS THAN 12" THICK.
 - C. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY SHALL BE REMOVED IMMEDIATELY.
 - D. WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA THAT DRAINS TO THE CONCRETE WASHOUT AREA.
- 7. CONCRETE WASHOUT AREA SHALL BE SURROUNDED BY A SINGLE LAYER OF SAND BAGS TO CONTAIN FLUIDS. CHANNEL INTO AREA SHALL BE CLEARED TO ALLOW TIRE DEBRIS (SEE NOTE 6.D. ABOVE)

GENERAL EROSION AND SEDIMENT CONTROL NOTES

- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Erosion control materials to be on-site during off-season.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site
- The tree protection shall be in place before any grading, excavating or grubbing is started.

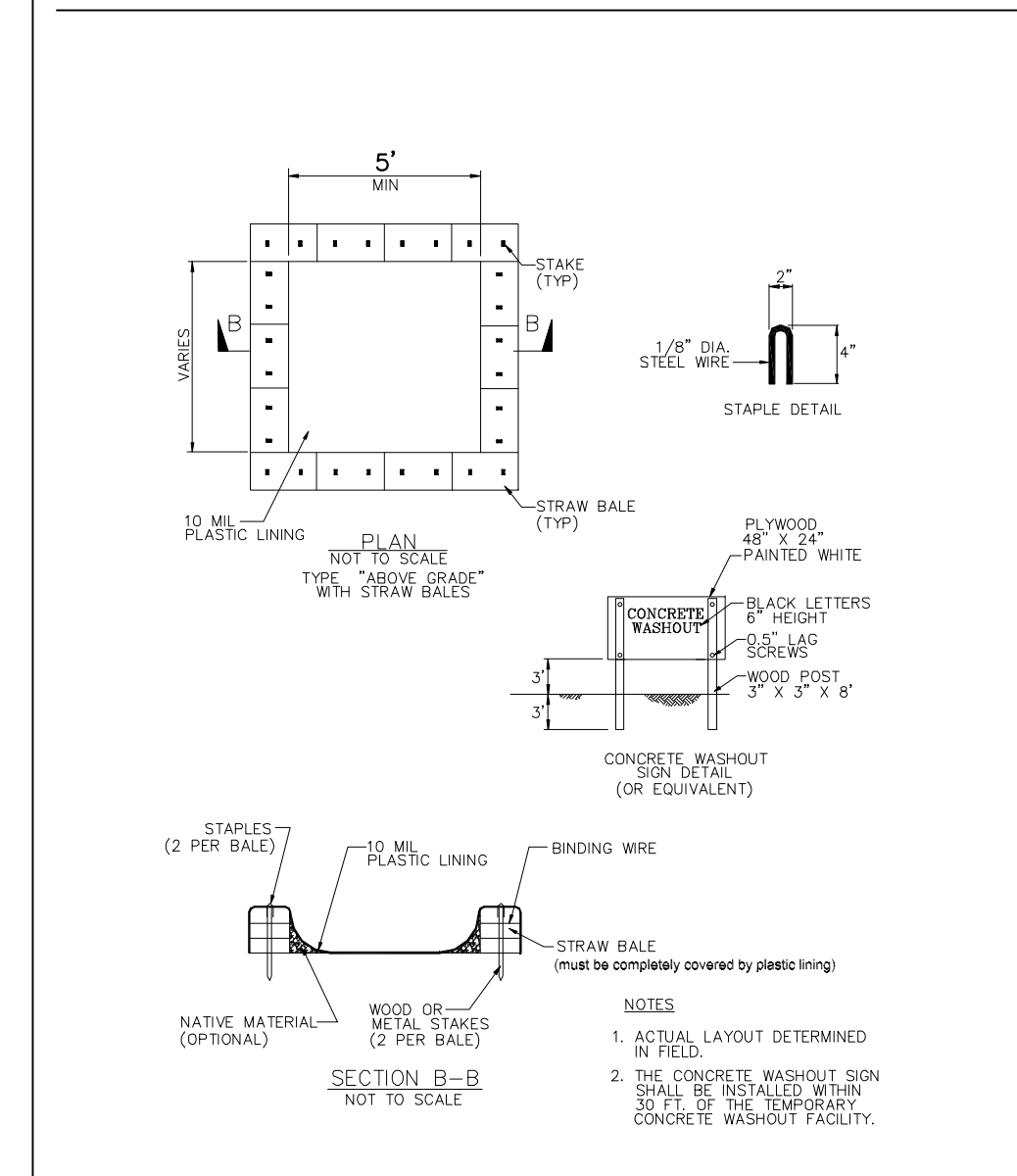
EROSION CONTROL POINT OF CONTACT

THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

NAME: FULI LI
 TITLE/QUALIFICATION: OWNER
 PHONE: 415-751-0522
 PHONE:
 E-MAIL: LIFULIELLE@GMAIL.COM

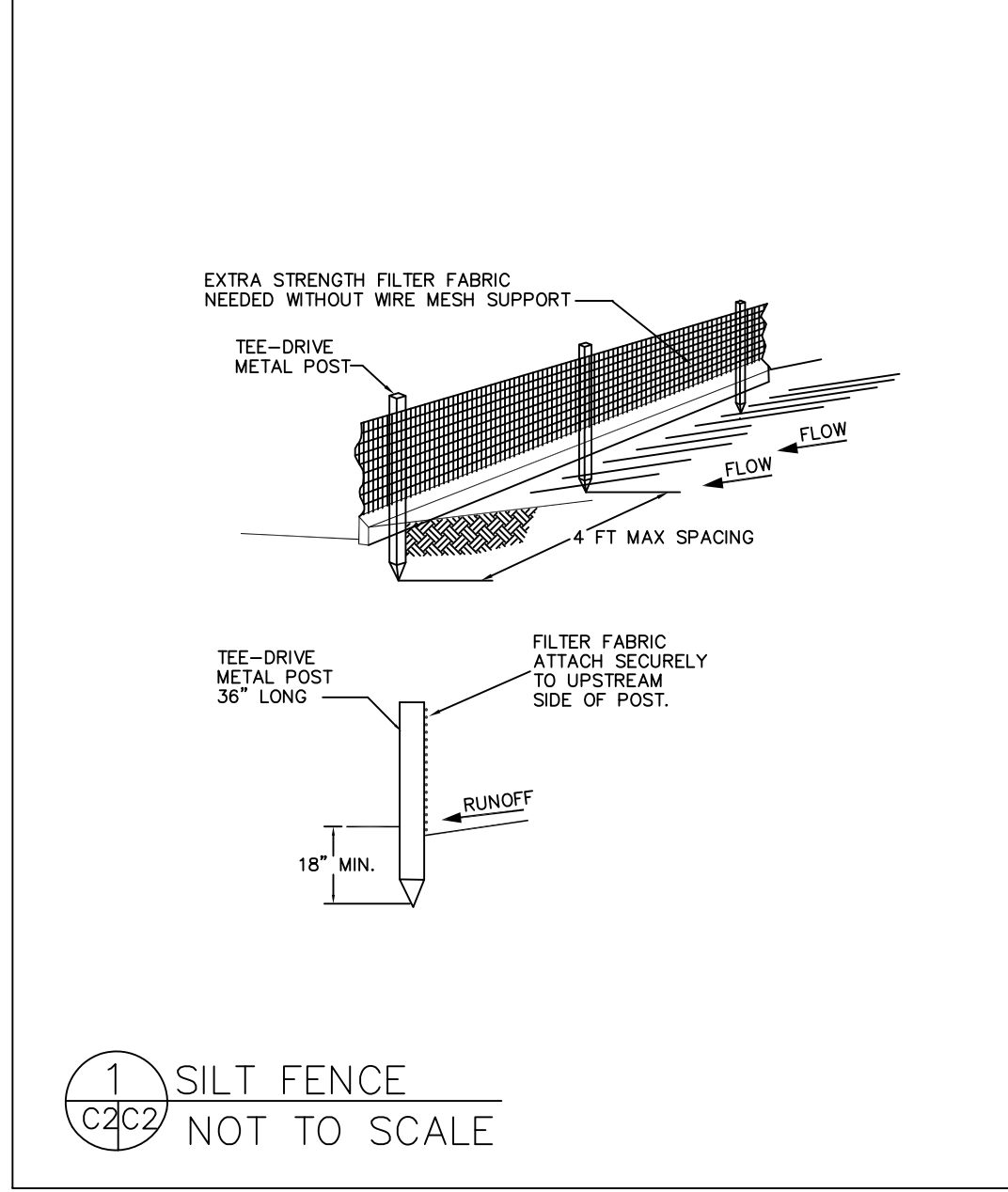


CONCRETE WASTE MANAGEMENT WM-8

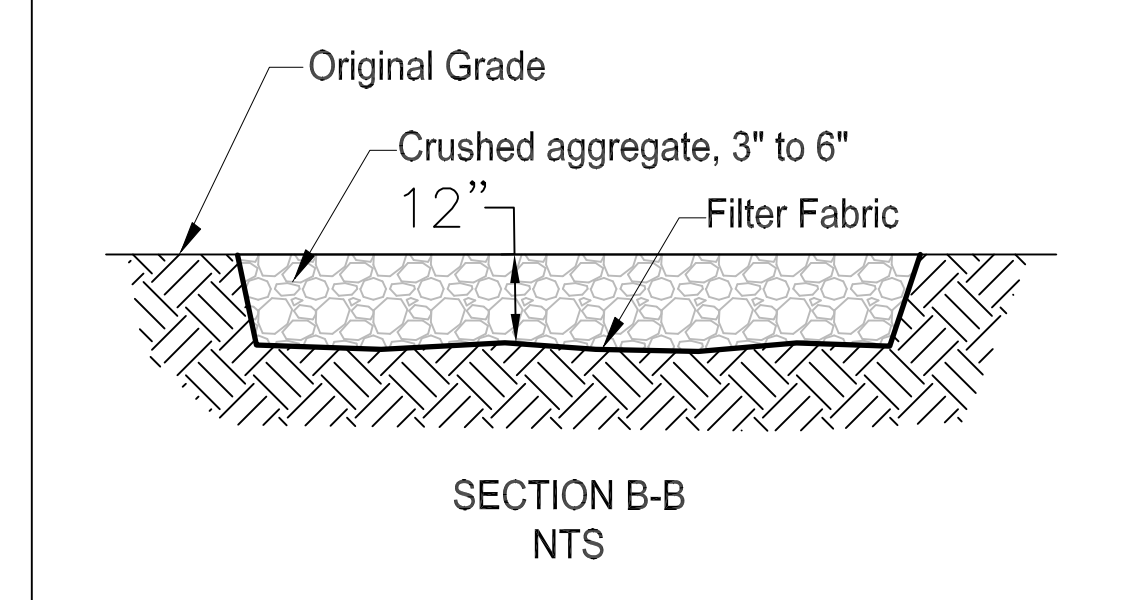


CONSTRUCTION SCHEDULE

- DAY 1: INSTALL EROSION CONTROL
- DAY 2: COMMENCE WORK WITH SITE CLEARING
- DAY 5: INSTALL ROCKED CONSTRUCTION ENTRANCE
- WEEK 2: FINISH ROUGH GRADING
- WEEK 3: BEGIN PIER DRILLING FOR FOUNDATIONS
- WEEK 4: POUR CONCRETE IN PIER HOLES, BEGIN BUILDING FORMS FOR GRADE BEAMS.
- WEEK 6: BEGIN FRAMING
- MONTH 3: FINISH SHELL OF HOUSE
- MONTH 8: FINISH MOST OF HOUSE INTERIOR
- MONTH 9: FINISH PATIOS, WALKWAYS, DRIVEWAY, OTHER EXTERIOR FLAT WORK.
- MONTH 10: FINISH PROJECT



STABILIZED CONSTRUCTION ENTRANCE/EXIT TC-1



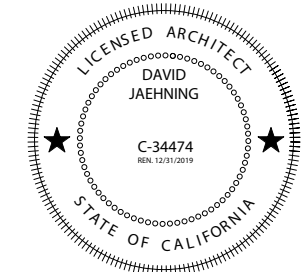
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 DRAWN BY: CMK
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EROSION AND SEDIMENT CONTROL PLAN
 LI PROPERTY
 SUNSHINE VALLEY ROAD
 MOSS BEACH
 APN 037-156-130

SHEET
 C-2

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NOT FOR CONSTRUCTION**

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Saratoga, California

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CIVIL:
Sigma Prime Geosciences, Inc.: Half Moon Bay, California

STRUCTURAL:
Alex Lau Engineering: C 75773, San Francisco, California

CLIENT:

Elle and Ivan Li

1855 Sunshine Valley Road, Moss Beach, California 94038

PROJECT NO: PROJECT NAME:

**1802 Sunshine Valley
Residence**

PROJECT ADDRESS: APN 037156130, Sunshine Valley Road
Moss Beach, California 94038

PROJECT PHASE: **Construction Documents**

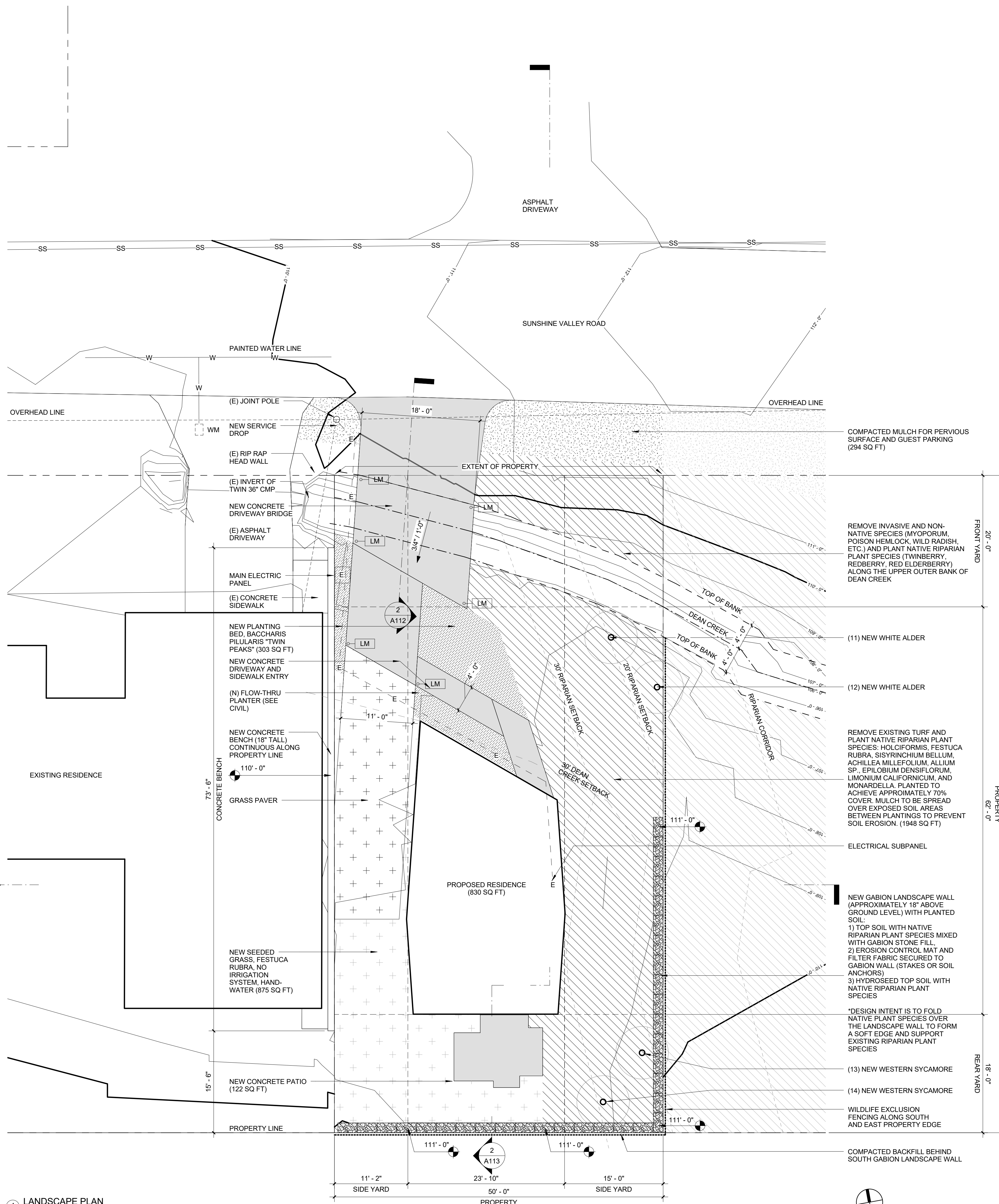
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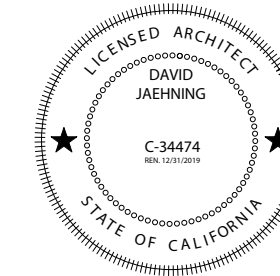
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1 LANDSCAPE PLAN
1/8" = 1'-0"

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CLIENT:

Elle and Ivan Li
1855 Sunshine Valley Road, Moss Beach, California 94038

PROJECT NO: PROJECT NAME:

1802 Sunshine Valley Residence

PROJECT ADDRESS: APN 037156130, Sunshine Valley Road
Moss Beach, California 94038

PROJECT PHASE: **Construction Documents**

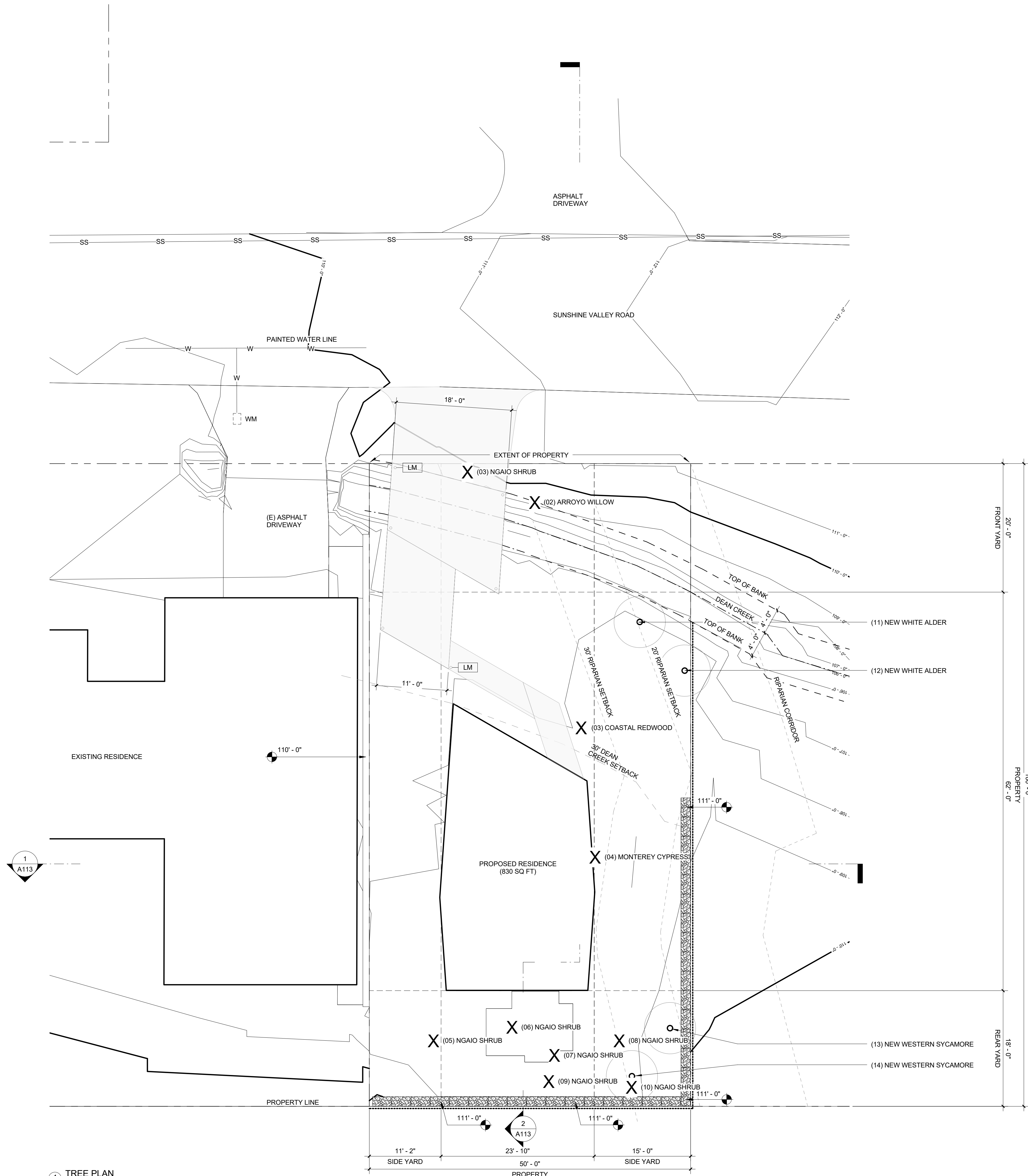
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ISSUE DATE: 5/14/2019 1:24:26 PM

DRAWING TITLE: **TREE LOCATION**

DRAWING NO: **L002**

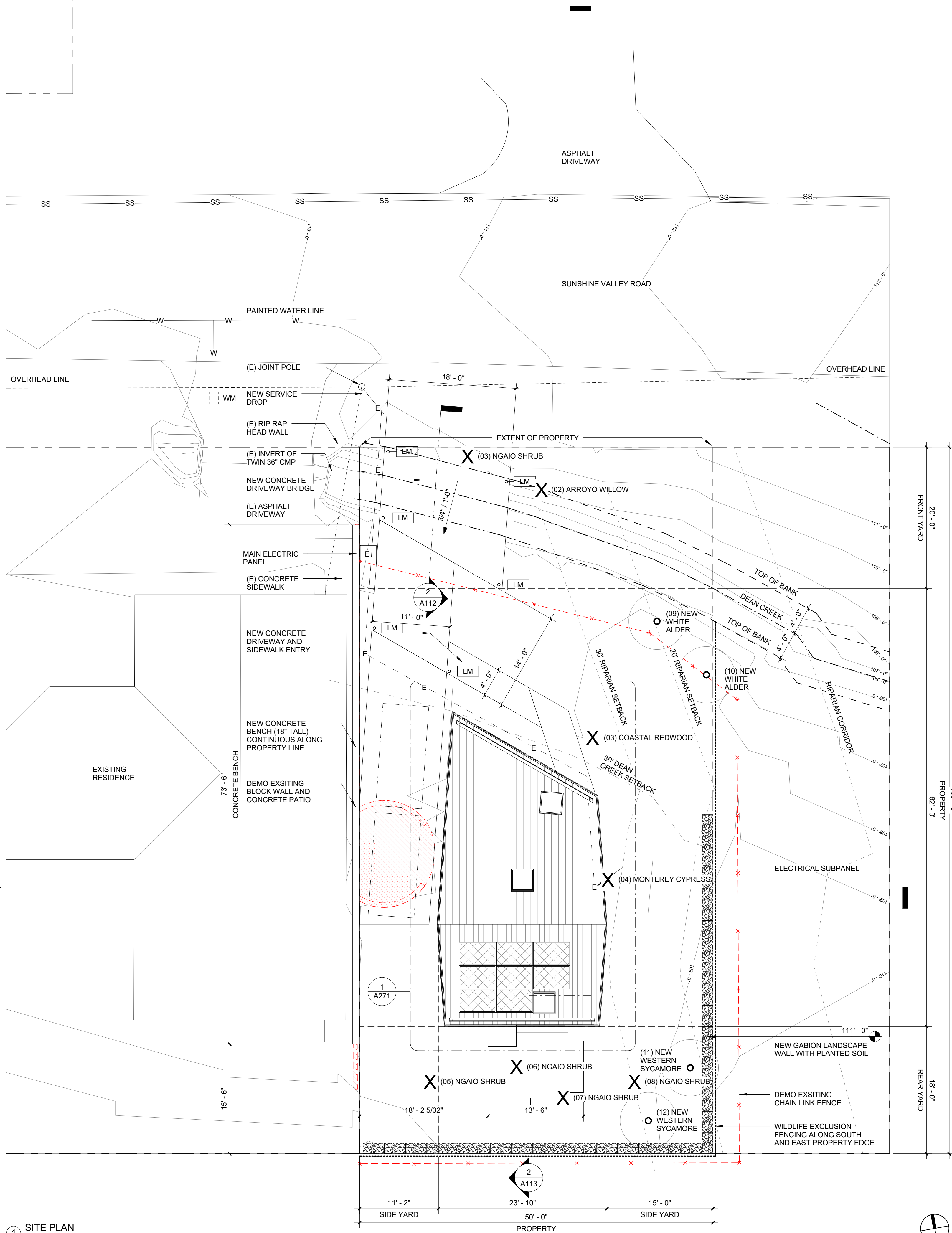
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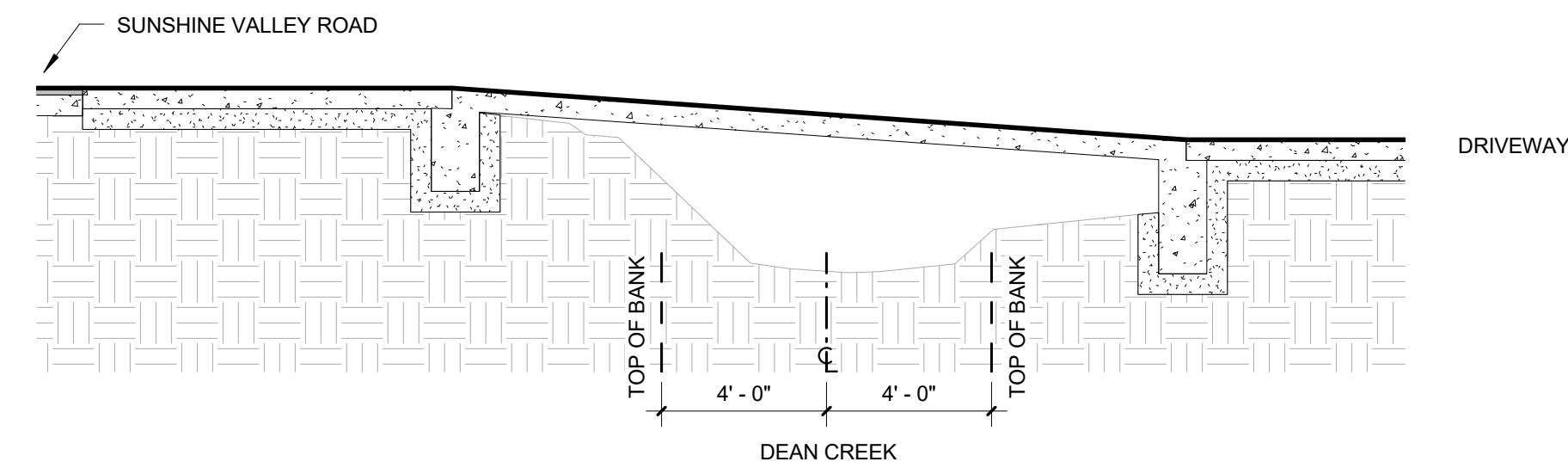
NO.	EXIST/NEW	DBH	GENUS SPECIES	COMMON NAME
01	EXISTING	7"	MYOPORUM LAETUM	NGAIO (SHRUB)
02	EXISTING	12"	SALIX LASIOLEPIS	ARROYO WILLOW
03	EXISTING	26"	SEQUOIA SEMPERVIRENS	COASTAL REDWOOD
04	EXISTING	26"	HESPEROCYPARIS MACROCARPA	MONTEREY CYPRESS
05	EXISTING	6"	MYOPORUM LAETUM	NGAIO (SHRUB)
06	EXISTING	16"	MYOPORUM LAETUM	NGAIO (SHRUB)
07	EXISTING	14"	MYOPORUM LAETUM	NGAIO (SHRUB)
08	EXISTING	12"	MYOPORUM LAETUM	NGAIO (SHRUB)
09	EXISTING	14"	MYOPORUM LAETUM	NGAIO (SHRUB)
10	EXISTING	12"	MYOPORUM LAETUM	NGAIO (SHRUB)
11	NEW	6"	ALNUS RHOMBIFOLIA	WHITE ALDER
12	NEW	6"	ALNUS RHOMBIFOLIA	WHITE ALDER
13	NEW	6"	PLATANUS RACEMOSA	WESTERN SYCAMORE
14	NEW	6"	PLATANUS RACEMOSA	WESTERN SYCAMORE

*SEE ARBORIST REPORT FOR DETAILED INFORMATION

1 TREE PLAN
1/8" = 1'-0"



1 SITE PLAN
1/8" = 1'-0"

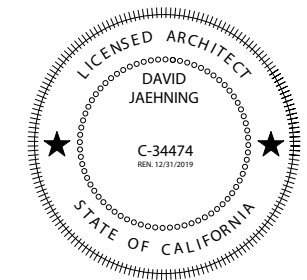


2 SITE SECTION - ENTRY DRIVE LOOKING EAST
1/4" = 1'-0" REF 1 - A112

SEE CIVIL DRAWING C1 FOR DRIVEWAY PROFILE

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STAMP:



ARCHITECT:

David Jaehning Architect

25 Forest Side Avenue, San Francisco, California 94127

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ARBORIST:

Trees 360 Degrees, Straun Edwards: WE5612-A
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BIOLOGICAL:

SWCA Environmental Consultants: Half Moon Bay, California

CIVIL:

Sigma Prime Geosciences, Inc.: Half Moon Bay, California

STRUCTURAL:

Alex Lau Engineering: C 75773, San Francisco, California

CLIENT:

Elle and Ivan Li

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PROJECT NO: PROJECT NAME:

**1802 Sunshine Valley
Residence**

PROJECT ADDRESS: APN 037156130, Sunshine Valley Road
Moss Beach, California 94038

PROJECT PHASE: **Construction Documents**

DRAWN: Author CHECKED: Checker

ISSUE DATE: 5/14/2019 1:24:03 PM

DRAWING TITLE: **ARCHITECTURAL SITE PLAN**

DRAWING NO: **A112**

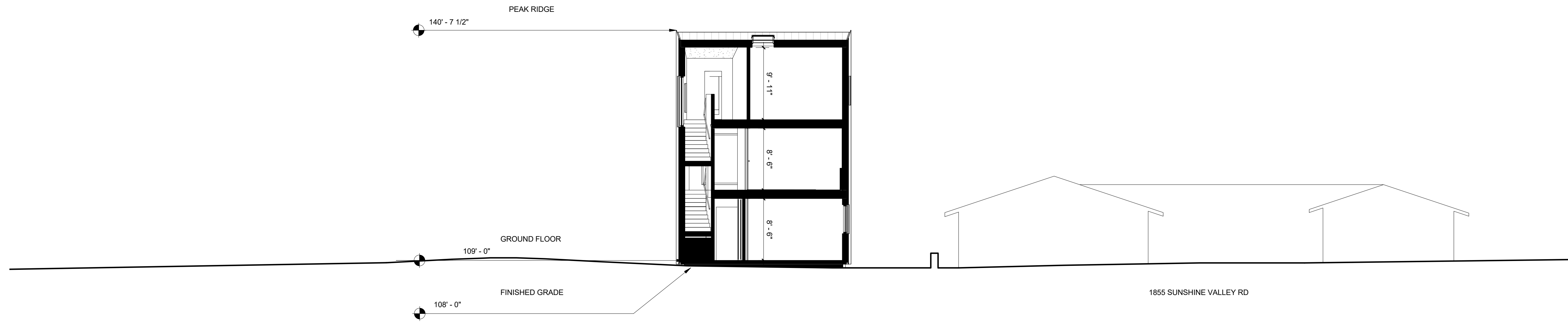
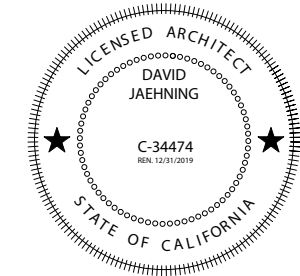
EXTERIOR LIGHTING SCHEDULE:

- LM - LIGMAN LIGHT LINEAR PT BOLLARD UL1-10021, 3500K
- LL - NEMALUX GS, 3500K

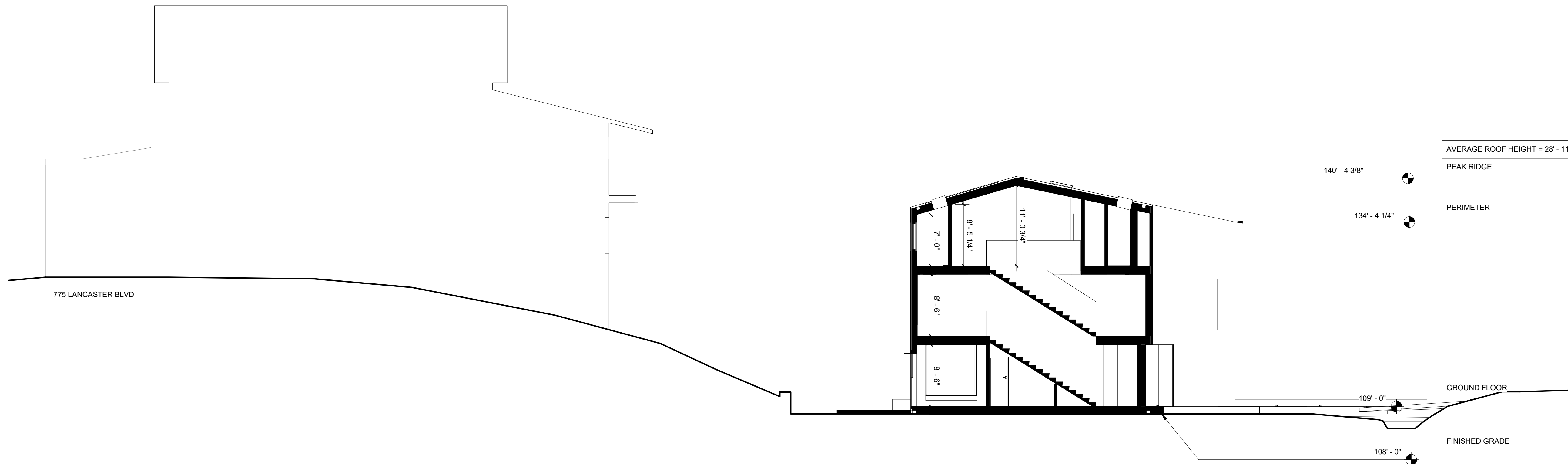
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① SITE SECTION WEST-EAST
1/8" = 1'-0" REF 1 - A112



② SITE SECTION NORTH-SOUTH
1/8" = 1'-0" REF 1 - A112

ARCHITECT:

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BIOLOGICAL:
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CIVIL:
Sigma Prime Geosciences, Inc.: Half Moon Bay, California

STRUCTURAL:
Alex Lau Engineering: C 75773, San Francisco, California

CLIENT:
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1855 Sunshine Valley Road, Moss Beach, California 94038

PROJECT NO: PROJECT NAME:
1802 Sunshine Valley Residence

PROJECT ADDRESS: APN 037156130, Sunshine Valley Road
Moss Beach, California 94038

PROJECT PHASE: **Construction Documents**

DRAWN: Author CHECKED: Checker

ISSUE DATE: 5/14/2019 1:24:04 PM

DRAWING TITLE: **ARCHITECTURAL SITE SECTION**

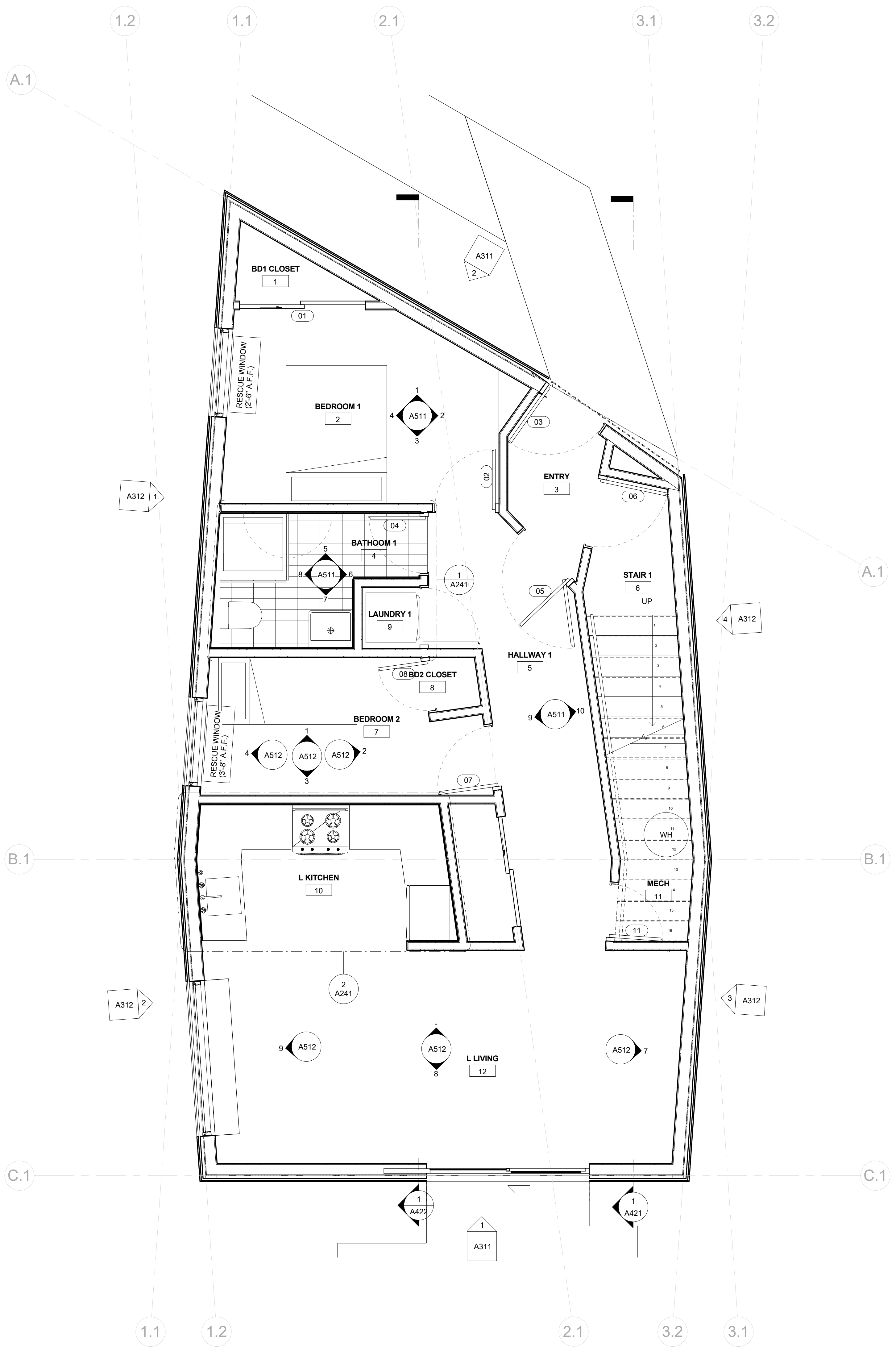
DRAWING NO: **A113**

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DOOR SCHEDULE - LEVEL 1											
#	DIMENSION		DOOR		DETAIL			FRAME			
	WIDTH	HEIGHT	MATERIAL	FINISH	HEAD	JAMB	THRESHOLD	TYPE	DEPTH	MATERIAL	FINISH
01											
02	2'-8"	8'-6"	<By Category>					SINGLE BLIND		<By Category>	
03	3'-0"	8'-6"	<By Category>					SINGLE BLIND		<By Category>	
04	2'-6"	8'-6"	<By Category>					SINGLE BLIND		<By Category>	
05	3'-0"	8'-6"	<By Category>					SINGLE BLIND		<By Category>	
06	3'-0"	8'-6"	<By Category>					SINGLE BLIND		<By Category>	
07	2'-8"	8'-6"	<By Category>					SINGLE BLIND		<By Category>	
08	2'-2"	6'-8"	<By Category>					SINGLE BLIND		<By Category>	
11	2'-4"	6'-8"	<By Category>					SINGLE BLIND		<By Category>	
12											
32	2'-6"	8'-6"	<By Category>					SINGLE BLIND		<By Category>	
34											

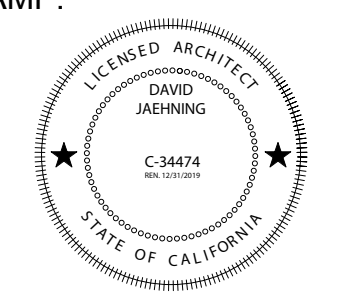
ROOM SCHEDULE - LEVEL 1						
#	NAME	FINISHES			PERIMETER	NET AREA
		FLOOR	BASE	WALL		
LEVEL 1						
1	BD1 CLOSET				17' - 5 1/8"	12 SF
2	BEDROOM 1				41' - 3 3/16"	103 SF
3	ENTRY				20' - 6 1/4"	24 SF
4	BATHROOM 1				30' - 3 3/32"	46 SF
5	HALLWAY 1				50' - 2 15/32"	94 SF
6	STAIR 1				29' - 4 1/16"	42 SF
7	BEDROOM 2				37' - 11 1/32"	71 SF
8	BD2 CLOSET				8' - 8 11/32"	5 SF
9	LAUNDRY 1				10' - 8 1/2"	7 SF
10	L KITCHEN				34' - 5 9/32"	73 SF
11	MECH				24' - 9 7/8"	30 SF
12	L LIVING				61' - 8 7/8"	203 SF
						709 SF

REVISION:



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CIVIL:
Sigma Prime Geosciences, Inc.: Half Moon Bay, California

STRUCTURAL:
Alex Lau Engineering: C 75773, San Francisco, California

CLIENT:

Elle and Ivan Li
1855 Sunshine Valley Road, Moss Beach, California 94038

PROJECT NO: PROJECT NAME:

1802 Sunshine Valley Residence

PROJECT ADDRESS: APN 037156130, Sunshine Valley Road Moss Beach, California 94038

PROJECT PHASE: **Construction Documents**

DRAWN: Author CHECKED: Checker

ISSUE DATE: 5/14/2019 1:24:05 PM

DRAWING TITLE: **DIMENSION FLOOR PLAN - LEVEL 1**

DRAWING NO: **A211**

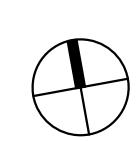
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ESCAPE OR RESUCE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET ALLOWED AT GRADE. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES. THE NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20 INCHES. FINISHED SILL HEIGHTS SHALL BE NOT MORE THAN 44 INCHES ABOVE THE FINISHED FLOOR.

SMOKE DETECTION: HARD-WIRED, INTERCONNECTED, AND BATTERY BACKUP PER CBC, STATE FIRE MARSHALL REGULATIONS, AND COASTSIDE FIRE DISTRICT ORDINANCE 2016-01. PLACED ONE PER BEDROOM AND ONE IN HALLWAY PER FLOOR

FIRE SUPPRESSION: BUILDING WILL BE PROTECTED BY AN AUTOMATIC FIRE SPRINKLER SYSTEM

1 FLOOR PLAN - LEVEL 1
3/8" = 1'-0"



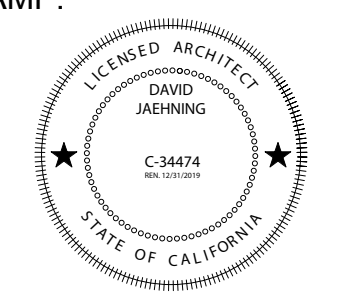
DOOR SCHEDULE - LEVEL 2											
#	DIMENSION		DOOR		DETAIL			FRAME			
	WIDTH	HEIGHT	MATERIAL	FINISH	HEAD	JAMB	THRESHOLD	TYPE	DEPTH	MATERIAL	FINISH
LEVEL 2											
13	2' - 8"	8' - 6"	<By Category>					SINGLE BLIND		<By Category>	
14											
14 A											
14 B											
15											
17	2' - 4"	8' - 6"	<By Category>					SINGLE BLIND		<By Category>	

ROOM SCHEDULE - LEVEL 2							
#	NAME	FINISHES			PERIMETER	NET AREA	
		FLOOR	BASE	WALL			CEILING
LEVEL 2							
13	BEDROOM 3				53' - 4 11/16"	168 SF	
14	BR CLOSET 3A				16' - 8 3/16"	13 SF	
15	HW CLOSET 2				19' - 2 13/32"	15 SF	
16	HALLWAY 2				57' - 10 1/16"	107 SF	
17	BATHROOM 2				37' - 5 5/8"	77 SF	
18	STAIR 2				36' - 11 9/16"	53 SF	
19	U KITCHEN				40' - 2 1/4"	90 SF	
20	U LIVING				62' - 10 15/16"	203 SF	
32	BR CLOSET 3B				16' - 0 29/32"	13 SF	
						738 SF	

REVISION:

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David Jaehning Architect
25 Forest Side Avenue, San Francisco, California 94127

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SWCA Environmental Consultants: Half Moon Bay, California

CIVIL:
Sigma Prime Geosciences, Inc.: Half Moon Bay, California

STRUCTURAL:
Alex Lau Engineering: C 75773, San Francisco, California

CLIENT:

Elle and Ivan Li
1855 Sunshine Valley Road, Moss Beach, California 94038

PROJECT NO: PROJECT NAME:

1802 Sunshine Valley Residence

PROJECT ADDRESS: APN 037156130, Sunshine Valley Road Moss Beach, California 94038

PROJECT PHASE: **Construction Documents**

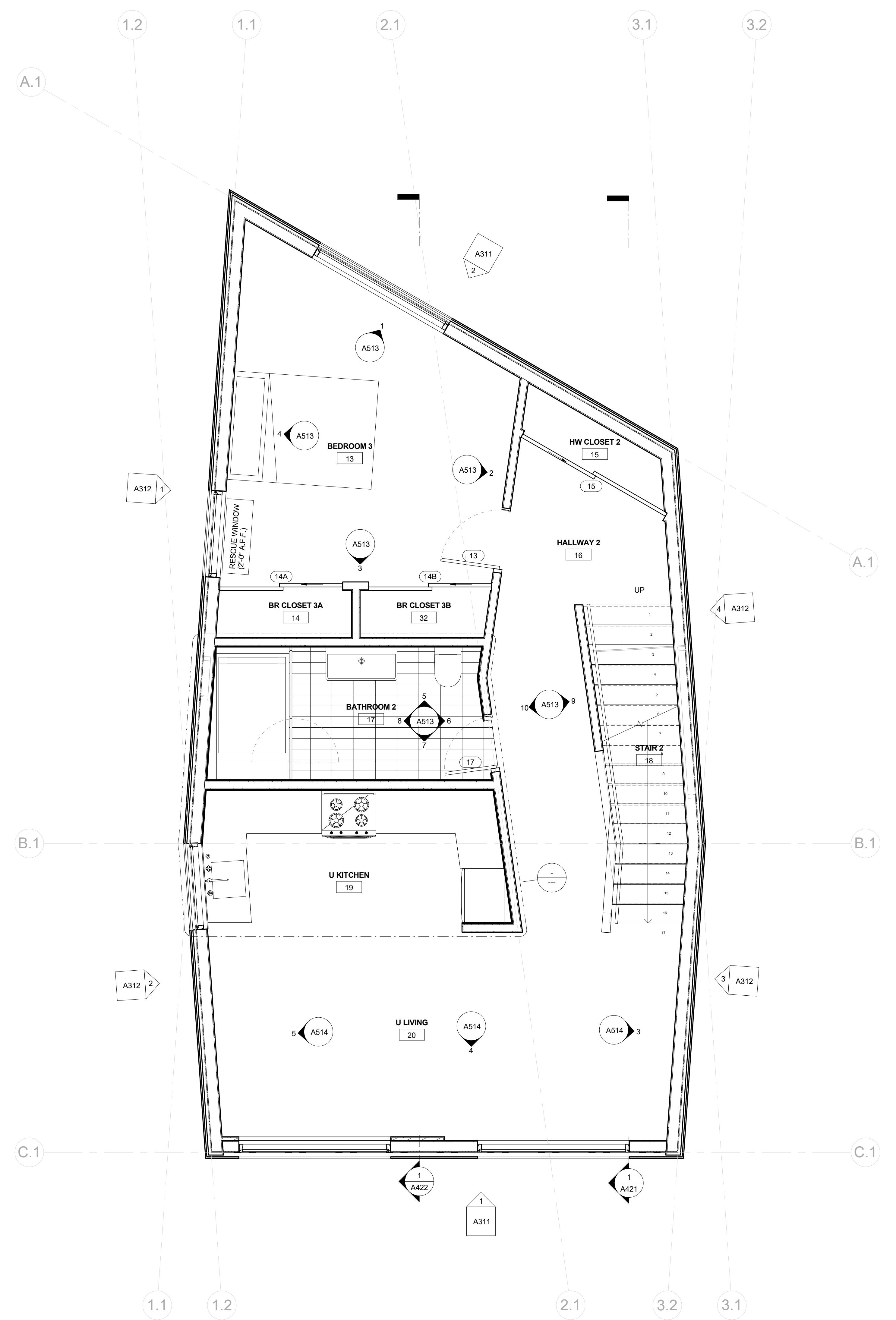
DRAWN: Author CHECKED: Checker

ISSUE DATE: 5/14/2019 1:24:06 PM

DRAWING TITLE: **DIMENSION FLOOR PLAN - LEVEL 2**

DRAWING NO: **A212**

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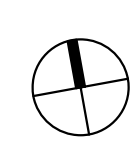


1 FLOOR PLAN - LEVEL 2
3/8" = 1'-0"

ESCAPE OR RESUCE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET ALLOWED AT GRADE. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES. THE NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20 INCHES. FINISHED SILL HEIGHTS SHALL BE NOT MORE THAN 44 INCHES ABOVE THE FINISHED FLOOR.

SMOKE DETECTION: HARD-WIRED, INTERCONNECTED, AND BATTERY BACKUP PER CBC, STATE FIRE MARSHALL REGULATIONS, AND COASTSIDE FIRE DISTRICT ORDINANCE 2016-01. PLACED ONE PER BEDROOM AND ONE IN HALLWAY PER FLOOR

FIRE SUPPRESSION: BUILDING WILL BE PROTECTED BY AN AUTOMATIC FIRE SPRINKLER SYSTEM



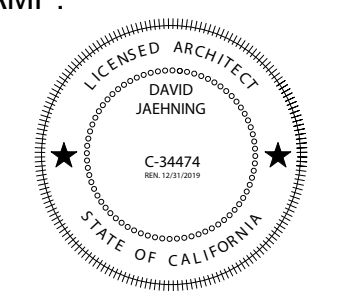
DOOR SCHEDULE - LEVEL 3											
#	DIMENSION		DOOR		DETAIL			FRAME			
	WIDTH	HEIGHT	MATERIAL	FINISH	HEAD	JAMB	THRESHOLD	TYPE	DEPTH	MATERIAL	FINISH
21											
21 A											
21 B											
22	2' - 8"	7' - 0"	<By Category>					SINGLE BLIND		<By Category>	
23	2' - 6"	7' - 0"	<By Category>					SINGLE BLIND		<By Category>	
24	2' - 6"	7' - 0"	<By Category>					SINGLE BLIND		<By Category>	
25	2' - 8"	7' - 0"	<By Category>					SINGLE BLIND		<By Category>	
26											
29											
30	2' - 8"	7' - 0"	<By Category>					SINGLE BLIND		<By Category>	
31											

ROOM SCHEDULE - LEVEL 3						
#	NAME	FINISHES			PERIMETER	NET AREA
		FLOOR	BASE	WALL		
21	BD CLOSET 4				28' - 7 1/2"	26 SF
22	BEDROOM 4				46' - 9 5/32"	136 SF
23	BATHROOM 3				27' - 2 1/32"	43 SF
24	LAUNDRY 2				13' - 7 19/32"	11 SF
25	BEDROOM 5				44' - 7 11/16"	121 SF
26	BD5 CLOSET				17' - 7 27/32"	14 SF
27	HALLWAY 3				55' - 3 3/16"	100 SF
28	STAIR 3				33' - 4 13/16"	46 SF
29	BD6 CLOSET				17' - 8 1/32"	14 SF
30	BEDROOM 6				46' - 7 11/16"	118 SF
31	BATHROOM 4				26' - 4 11/32"	38 SF
						667 SF

REVISION:

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ARCHITECT:

David Jaehning Architect
25 Forest Side Avenue, San Francisco, California 94127

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Trees 360 Degrees, Straun Edwards: WE5612-A
Saratoga, California

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SWCA Environmental Consultants: Half Moon Bay, California

CIVIL:
Sigma Prime Geosciences, Inc.: Half Moon Bay, California

STRUCTURAL:
Alex Lau Engineering: C 75773, San Francisco, California

CLIENT:

Elle and Ivan Li
1855 Sunshine Valley Road, Moss Beach, California 94038

PROJECT NO: PROJECT NAME:

1802 Sunshine Valley Residence

PROJECT ADDRESS: APN 037156130, Sunshine Valley Road
Moss Beach, California 94038

PROJECT PHASE: **Construction Documents**

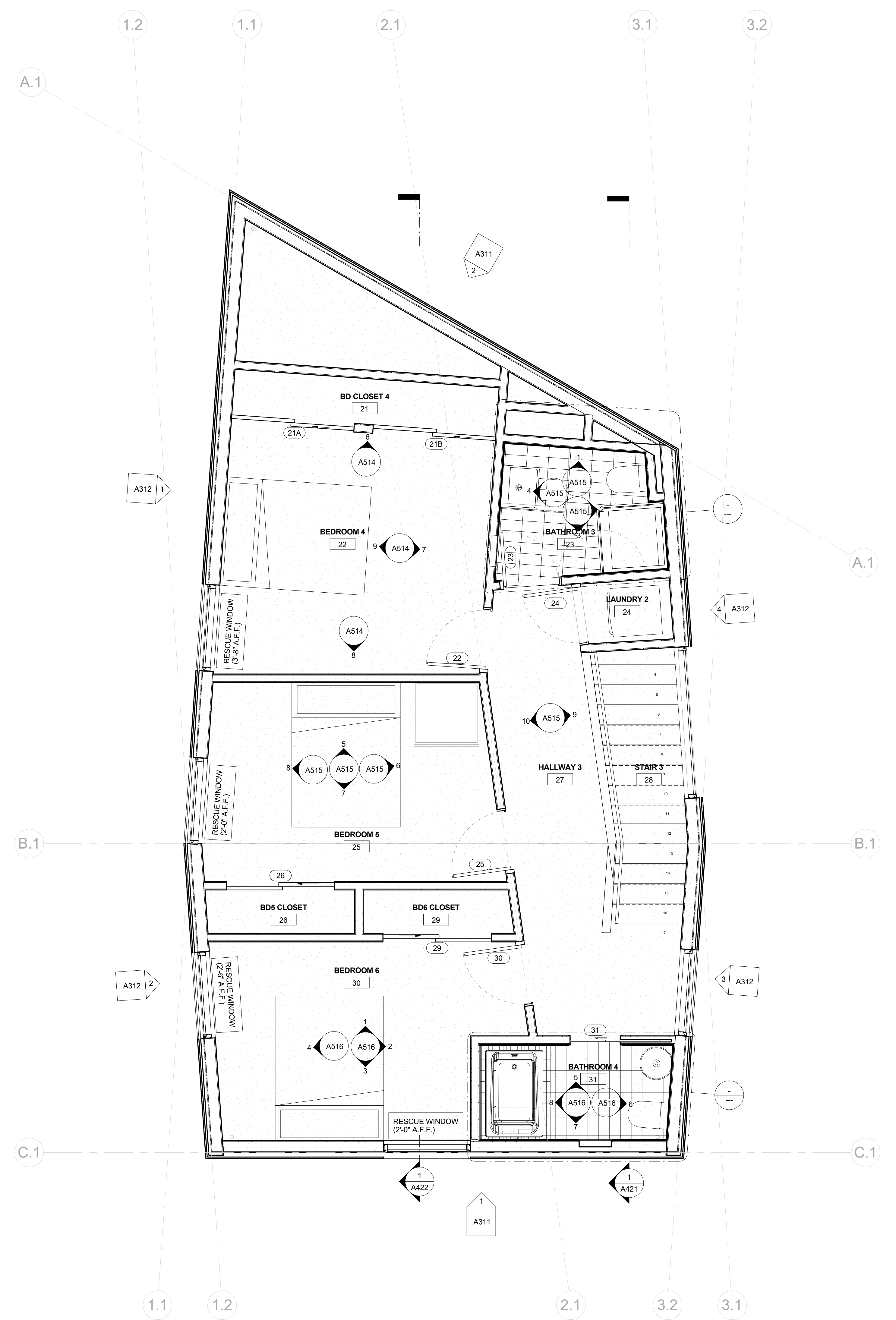
DRAWN: Author CHECKED: Checker

ISSUE DATE: 5/14/2019 1:24:09 PM

DRAWING TITLE: **DIMENSION FLOOR PLAN - LEVEL 3**

DRAWING NO: **A213**

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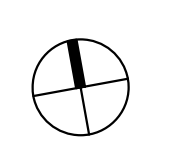


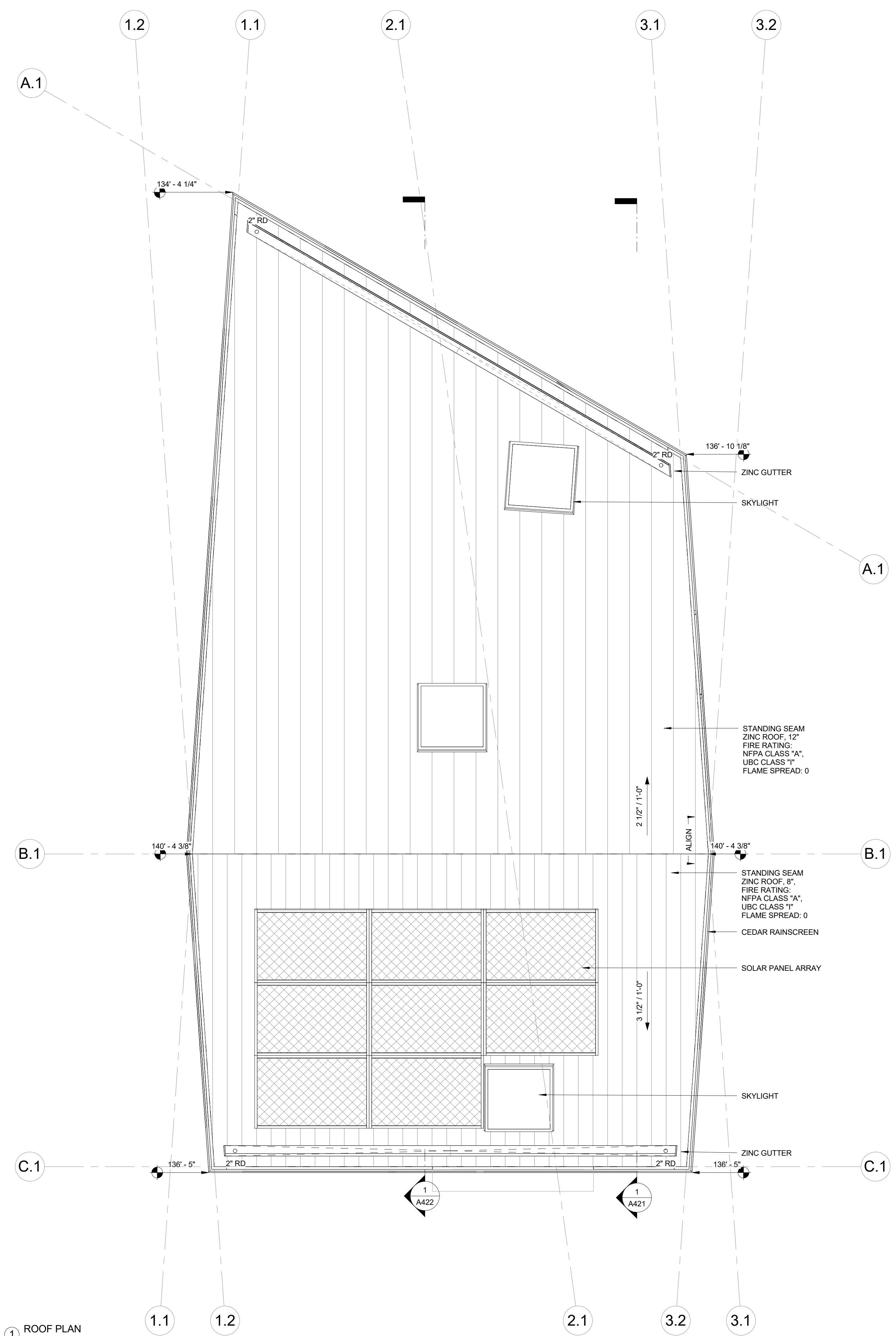
1 FLOOR PLAN - LEVEL 3
3/8" = 1'-0"

ESCAPE OR RESUCE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET ALLOWED AT GRADE. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES. THE NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20 INCHES. FINISHED SILL HEIGHTS SHALL BE NOT MORE THAN 44 INCHES ABOVE THE FINISHED FLOOR.

SMOKE DETECTION: HARD-WIRED, INTERCONNECTED, AND BATTERY BACKUP PER CBC, STATE FIRE MARSHALL REGULATIONS, AND COASTSIDE FIRE DISTRICT ORDINANCE 2016-01. PLACED ONE PER BEDROOM AND ONE IN HALLWAY PER FLOOR

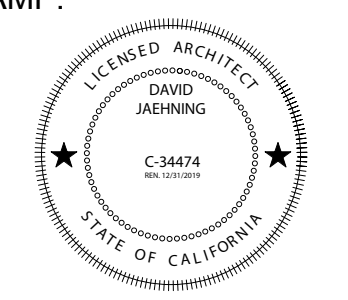
FIRE SUPPRESSION: BUILDING WILL BE PROTECTED BY AN AUTOMATIC FIRE SPRINKLER SYSTEM





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Alex Lau Engineering: C 75773, San Francisco, California

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PROJECT NO: PROJECT NAME:

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PROJECT ADDRESS: APN 037156130, Sunshine Valley Road Moss Beach, California 94038

PROJECT PHASE: **Construction Documents**

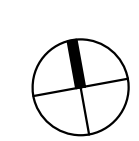
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ISSUE DATE: 5/14/2019 1:24:10 PM

DRAWING TITLE: **ROOF PLAN**

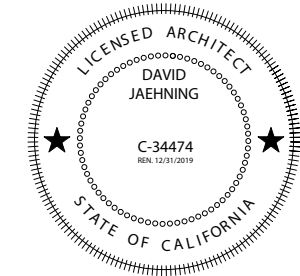
DRAWING NO: **A271**

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ARCHITECT:

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BIOLOGICAL:
SWCA Environmental Consultants: Half Moon Bay, California

CIVIL:
Sigma Prime Geosciences, Inc.: Half Moon Bay, California

STRUCTURAL:
Alex Lau Engineering: C 75773, San Francisco, California

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PROJECT ADDRESS: APN 037156130, Sunshine Valley Road
Moss Beach, California 94038

PROJECT PHASE: **Construction Documents**

DRAWN: Author CHECKED: Checker

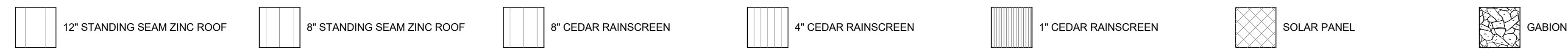
ISSUE DATE: 5/14/2019 1:24:11 PM

DRAWING TITLE: **ELEVATIONS**

DRAWING NO: **A311**

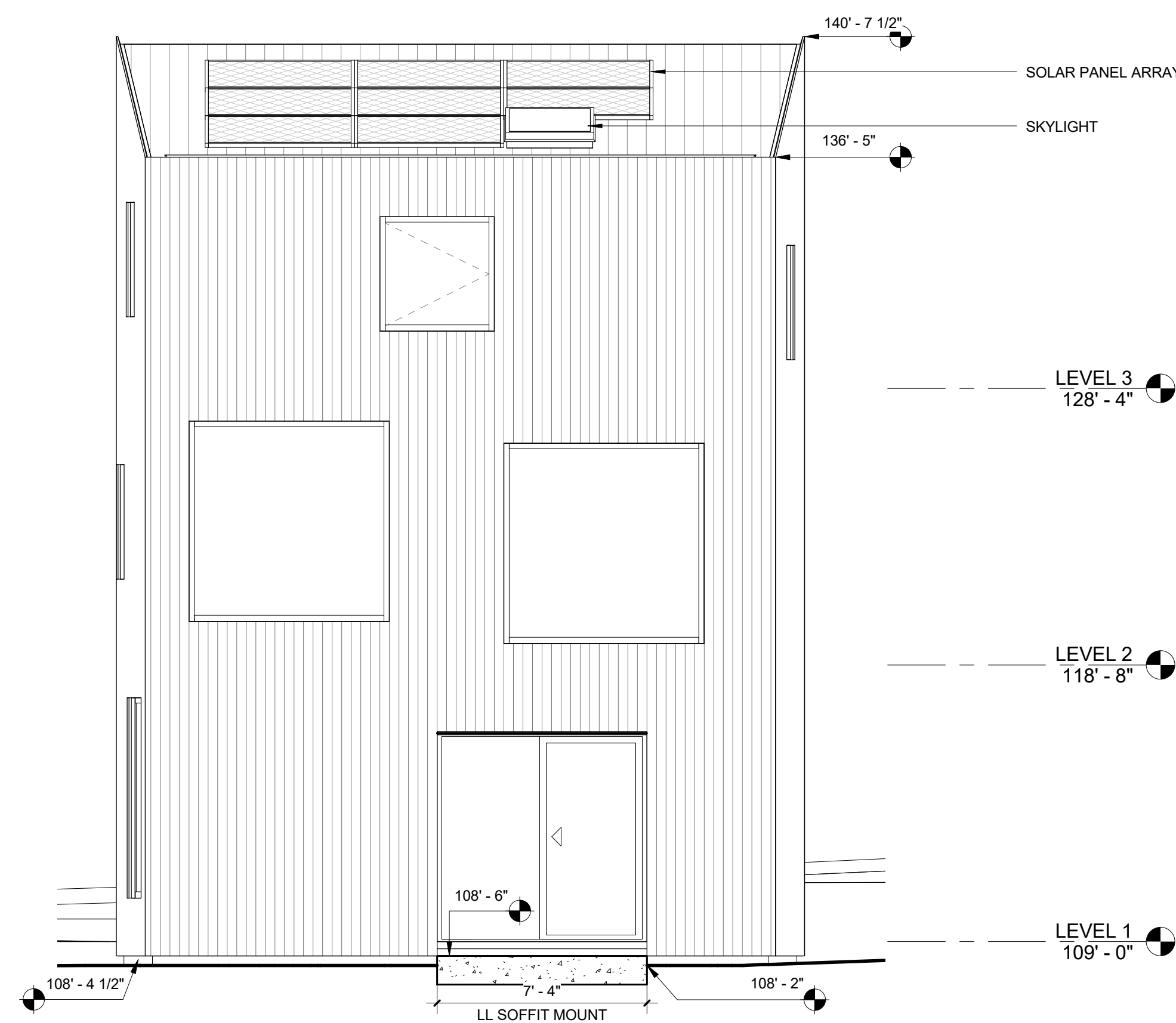
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EXTERIOR MATERIAL SYMBOLS

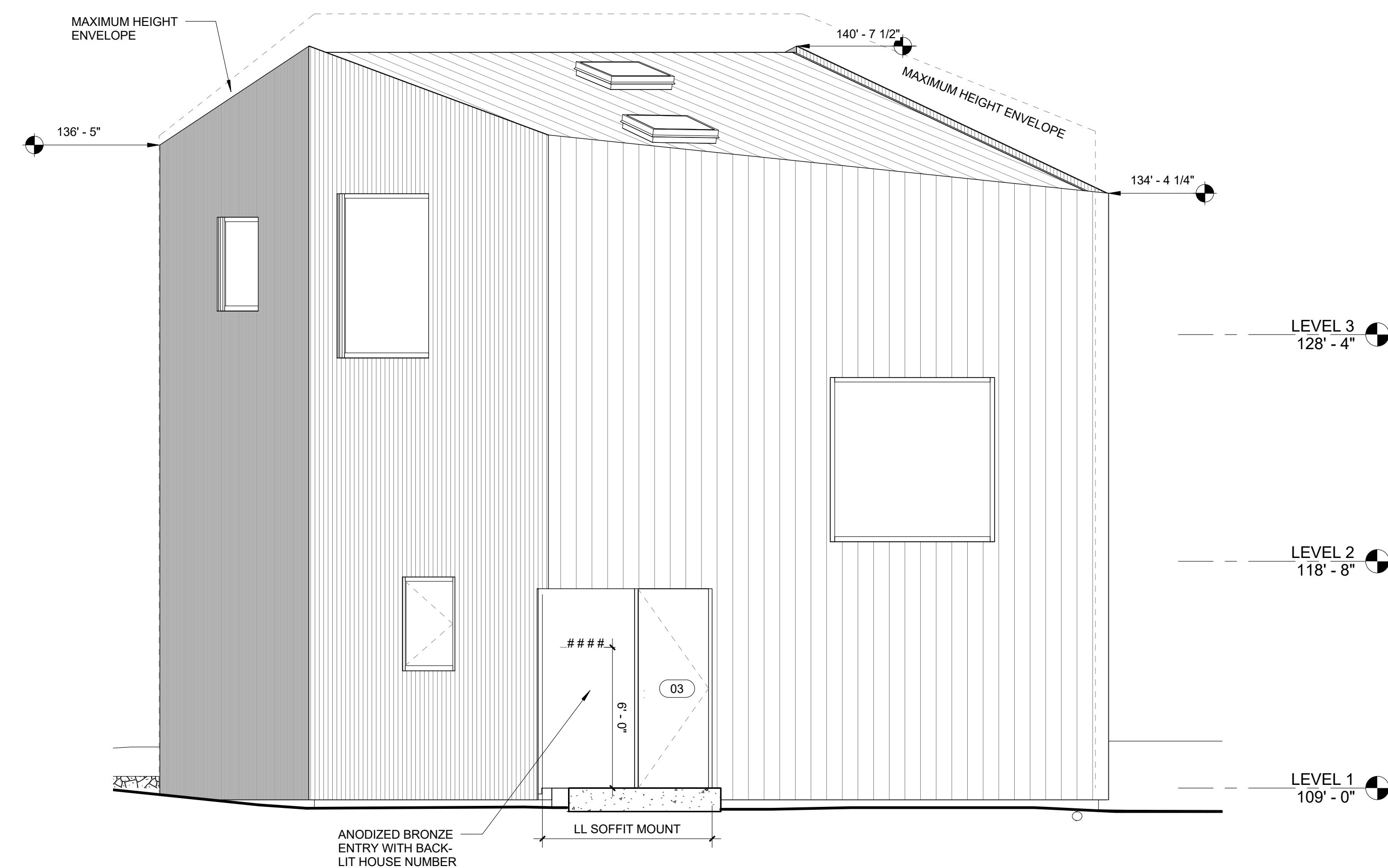


EXTERIOR LIGHTING SCHEDULE:

LM - LIGMAN LIGHT LINEAR PT BOLLARD UL1-10021, 3500K
LL - NEMALUX GS, 3500K



① ELEVATION - SOUTH
1/4" = 1'-0"

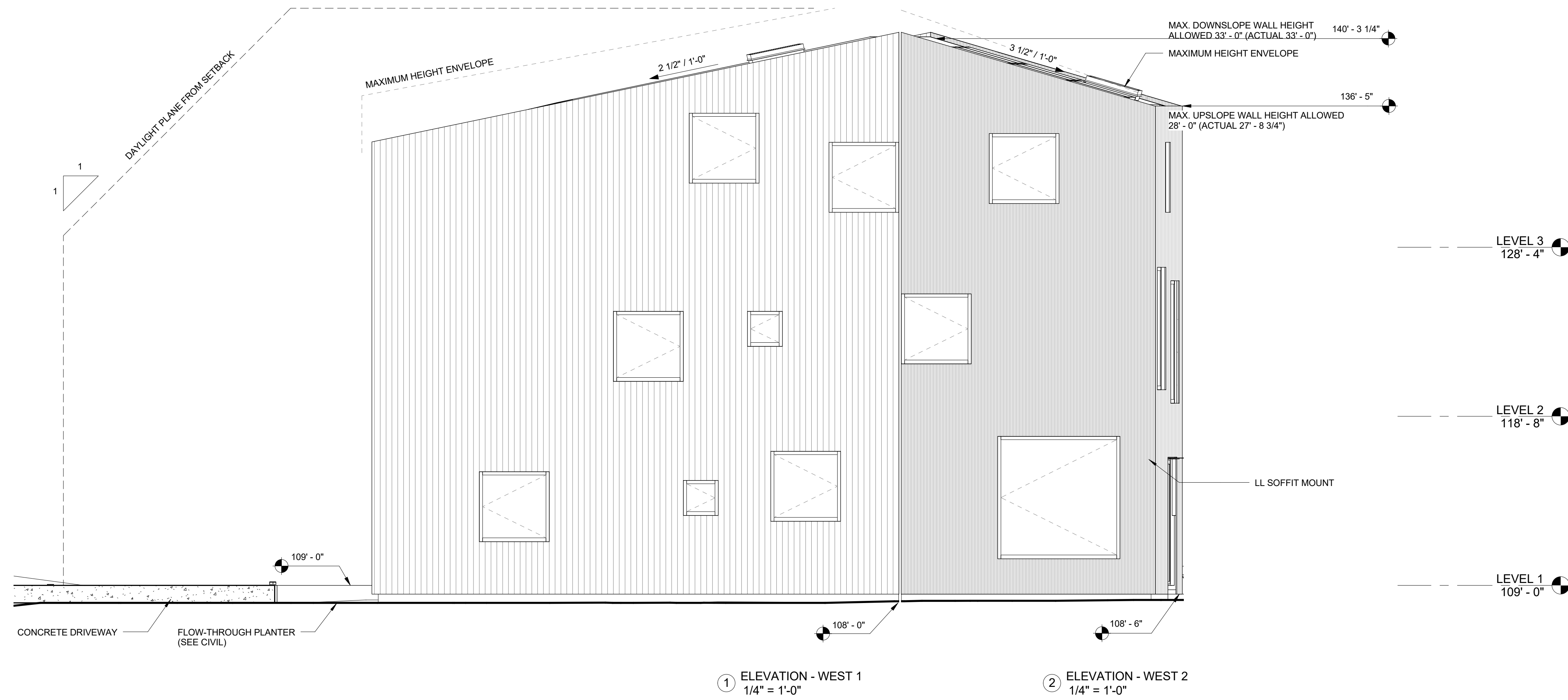


② ELEVATION - NORTH
1/4" = 1'-0"

REVISION:

EXTERIOR LIGHTING SCHEDULE:

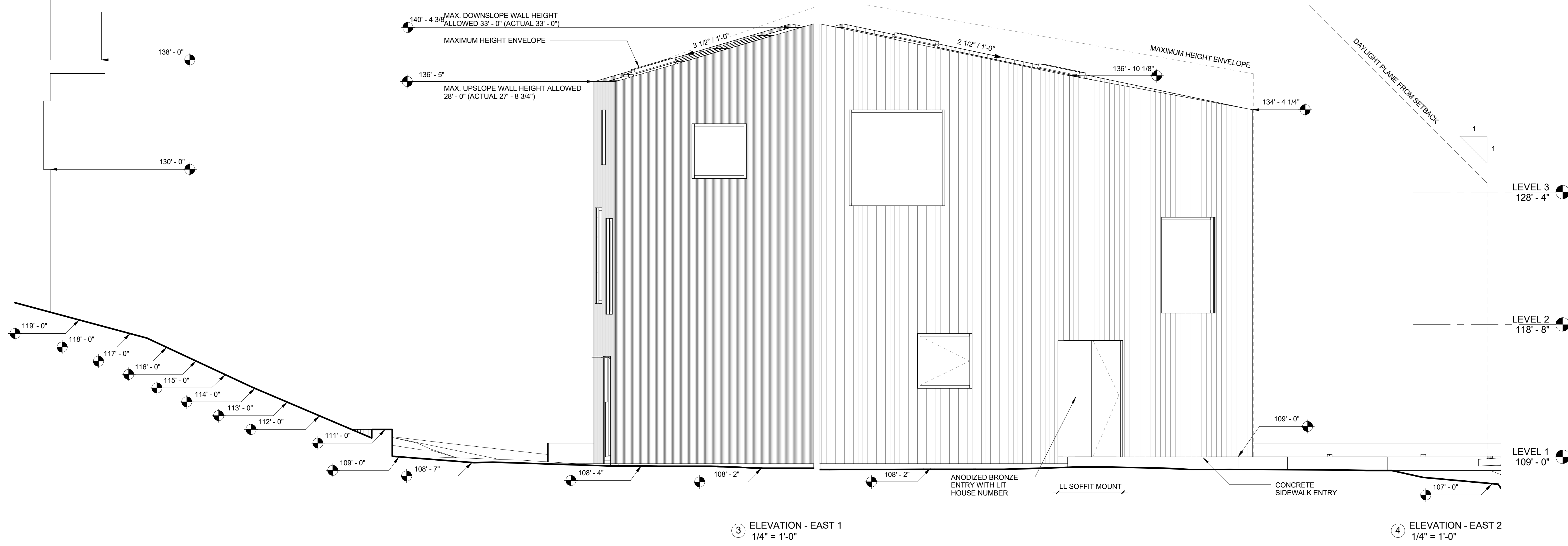
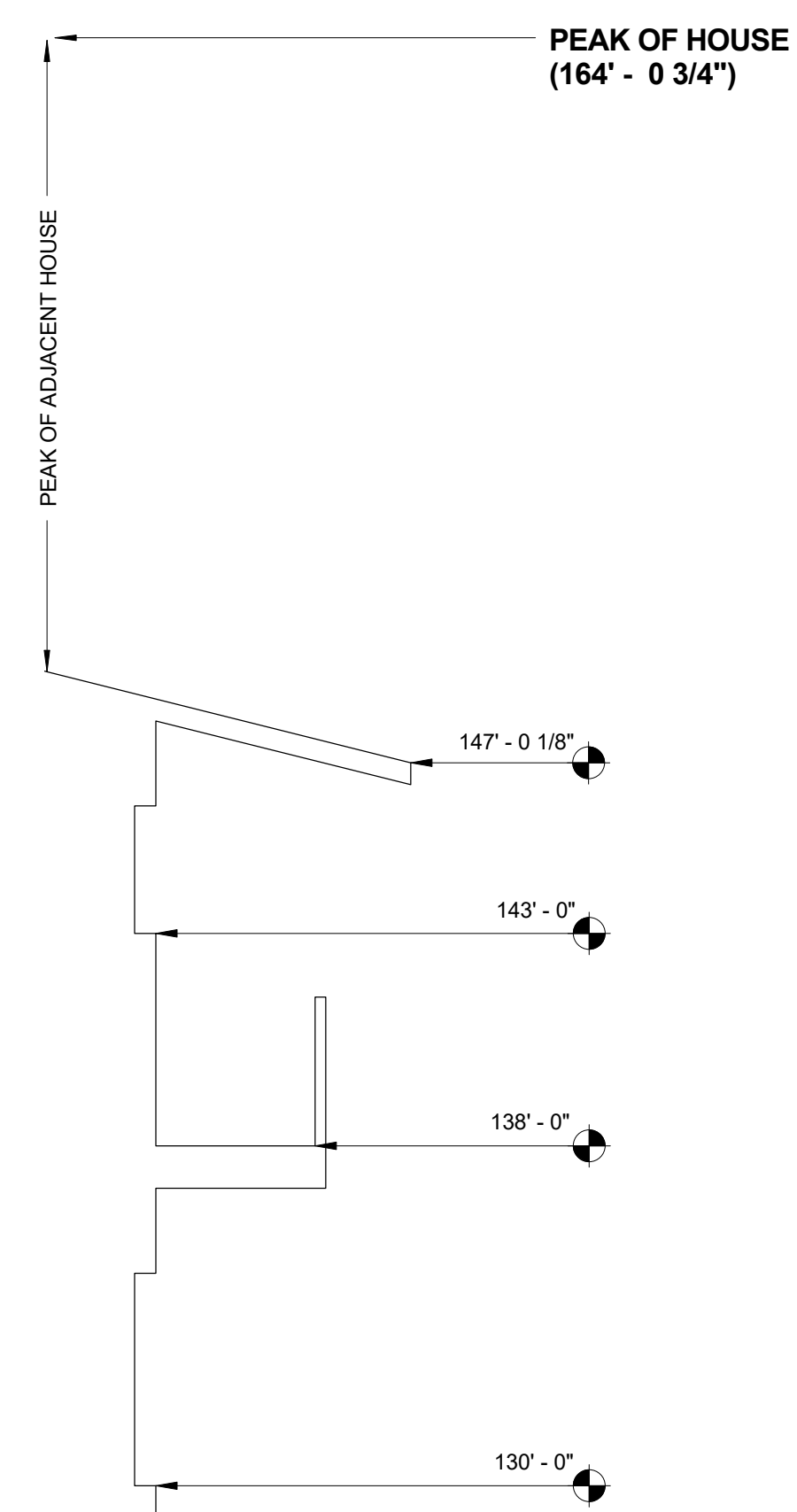
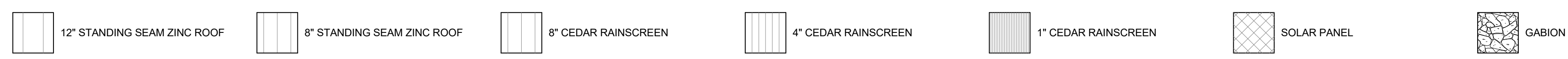
LM - LIGMAN LIGHT LINEAR PT BOLLARD UL1-10021, 3500K
 LL - NEMALUX GS, 3500K



① ELEVATION - WEST 1
1/4" = 1'-0"

② ELEVATION - WEST 2
1/4" = 1'-0"

EXTERIOR MATERIAL SYMBOLS

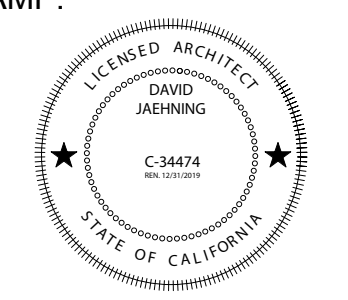


③ ELEVATION - EAST 1
1/4" = 1'-0"

④ ELEVATION - EAST 2
1/4" = 1'-0"

**FOR REVIEW & FILING
NOT FOR CONSTRUCTION**

STAMP:



ARCHITECT:

David Jaehning Architect
25 Forest Side Avenue, San Francisco, California 94127

CONSULTANT TEAM:

ARBORIST:
Trees 360 Degrees, Straun Edwards: WE5612-A
Saratoga, California

BIOLOGICAL:
SWCA Environmental Consultants: Half Moon Bay, California

CIVIL:
Sigma Prime Geosciences, Inc.: Half Moon Bay, California

STRUCTURAL:
Alex Lau Engineering: C 75773, San Francisco, California

CLIENT:

Elle and Ivan Li
1855 Sunshine Valley Road, Moss Beach, California 94038

PROJECT NO: PROJECT NAME:
1802 Sunshine Valley Residence

PROJECT ADDRESS: APN 037156130, Sunshine Valley Road
Moss Beach, California 94038

PROJECT PHASE: **Construction Documents**

DRAWN: Author CHECKED: Checker

ISSUE DATE: 5/14/2019 1:24:12 PM

DRAWING TITLE: **ELEVATIONS**

DRAWING NO: **A312**

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Design review hearing application

APN 037156130
Sunshine Valley Residence
Moss Beach CA 94038

Response to Planning Comments PLN 2018-00458

May 13 2019



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INTRODUCTION

On November 21, 2018 our design team submitted a Design Review Hearing application for a new residence on Sunshine Valley Road in Moss Beach, California, APN: 037156130, on behalf of Fuli Li and Weiguang Xie. On December 21 we received planning comments from Laura Richstone, and on December 26 geotechnical and stormwater/drainage comments from Sherry.

This document is in response to these planning comments in order to deem our application complete. Please refer to the table of contents, as it has been organized in order of the comments received from the County of San Mateo Planning & Building Department. Each response begins with the question or comment posed, then with a response in the form of diagram, photograph, drawing, or reference to another document too large to include within these pages.

David Jaehning
per David Jaehning Architect
Tele: (415) 272-9444
Email: djaehning@davidjaehning.com

PROPOSED CERTIFICATE OF COMPLIANCE

Questions/comments:

- a. Grant deeds provided are incomplete. They mostly speak to lots 10, 11, 12 and only go back to 1979.
- b. The grant deeds should focus on lots 13 and 14 and go back as far as possible (preferably to the creation of the subdivision in 1907).
- c. In order to process a COC Type A, the County needs to see that lots 13 and 14 were conveyed separately from all of the adjacent lots prior to 1945.
- d. I would recommend getting a Title Report from a title company.

Response:

Please refer to the attached document. "CLTA Chain of Title Guar Form 6 6-6-92-N" is a Chain of Title Guarantee prepared by First American Title Company. Schedule A lists Lots 13 and 14 separate from the other lots under Tract Two (037-156-130); JPN: 037-015-156-13A APN: 037-156-050 and 037-156-130.

"The Following Matters Affect TRACT TWO: (037-156-130):" begins on page 6. It begins with chain of title documents recorded beginning on December 12, 1927 up to the current Client of the proposed residence.

Other documents included for reference are "GUARANTEE DOCUMENTS_01" and "GUARANTEE DOCUMENTS_02".

SCHEDULE A

CHAIN OF TITLE GUARANTEE

The assurances referred to on the face page hereof are:

That, according to those public records which, under the recording laws, impart constructive notice of matters relating to the interest, if any, which was (acquired) (reserved) by:

WEIGUANG XIE AND FULLI LI, HUSBAND AND WIFE AND ZHENING HU AND XIAOYONG LI, WIFE AND HUSBAND, ALL AS JOINT TENANTS

pursuant to a GRANT DEED in and to the real property in the unincorporated area of the County of San Mateo, State of California, described as follows:

TRACT ONE: (037-156-050)

PARCEL I:

LOTS 10, 11 AND 12 IN BLOCK 4, AS SHOWN ON THAT CERTAIN MAP ENTITLED "MAP OF RESUBDIVISION OF MARINE VIEW TERRACE TRACT, SAN MATEO COUNTY, CALIFORNIA", FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN MATEO COUNTY, STATE OF CALIFORNIA, ON OCTOBER 30, 1907 IN BOOK 5 OF MAPS AT PAGE(S) 39.

PARCEL II:

EASEMENT FOR WATER LINE REPAIR AND MAINTENANCE ACROSS LOT 23 FOR THE SOLE BENEFIT OF LOTS 10, 11 AND 12, ALL IN BLOCK 4, "RESUBDIVISION OF MARINE VIEW TERRACE TRACT", AS SHOWN ON THAT MAP FILED IN VOLUME 5 OF MAPS AT PAGE 39, RECORDS OF SAN MATEO COUNTY, STATE OF CALIFORNIA, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE COMMON FRONT PROPERTY CORNER OF LOTS 22 AND 23 OF SAID BLOCK 4; THENCE NORTH 85° 15' WEST, ALONG THE NORTHERLY RIGHT OF WAY LINE OF LANCASTER BOULEVARD 15.00 FEET TO THE POINT OF BEGINNING FOR SAID EASEMENT; THENCE NORTH 4° 45' EAST ALONG THE CENTERLINE OF THE 2' WIDE EASEMENT, MEASURED AT RIGHT ANGLE TO SAID CENTERLINE, A DISTANCE OF 100.00 FEET TO THE MOST NORTHERLY LINE OF SAID LOT 23.

JPN: 037-015-156-05A

TRACT TWO: (037-156-130)

LOTS 13 AND 14 IN BLOCK 4, AS SHOWN ON THAT CERTAIN MAP ENTITLED "MAP OF RESUBDIVISION OF MARINE VIEW TERRACE TRACT, SAN MATEO CO., CAL.", FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN MATEO COUNTY, STATE OF CALIFORNIA, ON OCTOBER 30, 1907 IN BOOK 5 OF MAPS AT PAGE(S) 39.

JPN: 037-015-156-13A

APN: 037-156-050 and 037-156-130

only the following matters appear in such records subsequent to JANUARY 01, 1908.

First American Title Company

22. A document recorded August 13, 1992 as INSTRUMENT NO. 1992-130476 of Official Records.

From: GERALD P. FREIDIN AND PAULINE B. FREIDIN, HUSBAND AND WIFE, AS THEIR COMMUNITY PROPERTY
To: GERALD P. FREIDIN AND PAULINE B. FREIDIN, HUSBAND AND WIFE, TRUSTEES UNDER TRUST AGREEMENT DATED JULY 22, 1992

23. A document recorded April 25, 1996 as INSTRUMENT NO. 1996-50137 of Official Records.

From: GERALD P. FREIDIN AND PAULINE B. FREIDIN, HUSBAND AND WIFE, TRUSTEES UNDER TRUST AGREEMENT DATED JULY 22, 1992
To: PAUL REPLICON AND JEAN REPLICON, HUSBAND AND WIFE AS JOINT TENANTS

24. A document recorded March 13, 2014 as INSTRUMENT NO. 2014-21048 of Official Records.

From: PAUL REPLICON AND JEAN REPLICON, HUSBAND AND WIFE
To: WEIGUANG XIE AND FULLI LI, HUSBAND AND WIFE AS JOINT TENANTS

25. A document recorded May 07, 2014 as INSTRUMENT NO. 2014-39082 of Official Records.

From: WEIGUANG XIE AND FULLI LI, HUSBAND AND WIFE
To: WEIGUANG XIE AND FULLI LI, HUSBAND AND WIFE AND ZHENING HU AND XIAOYONG LI, WIFE AND HUSBAND, ALL AS JOINT TENANTS

The Following Matters Affect TRACT TWO: (037-156-130):

26. A document recorded December 12, 1927 as BOOK/REEL 325, PAGE/IMAGE 415 of Official Records.

From: IN THE MATTER OF THE ESTATE OF MARIE BERGITTE SPUUR, ALSO KNOWN AS MARY B. SPUUR, DECEASED IN THE SUPERIOR COURT OF THE STATE OF CALIFORNIA, IN AND FOR THE CITY AND COUNTY OF SAN FRANCISCO
To: 1/3 THEREOF TO SAID ALFRED J. SPUUR, 2/15 THEREOF TO SAID LAWRENCE SPUUR, 2/15 THEREOF TO SAID CARL SPUUR, 2/15 THEREOF TO SAID EVA SPUUR, 2/15 THEREOF TO SAID MARY SPUUR, AND 2/15 THEREOF TO SAID HENRY SPUUR

27. A document recorded August 25, 1932 as BOOK/REEL 599, PAGE/IMAGE 62 of Official Records.

From: A. MCSWEENEY, TAX COLLECTOR OF THE COUNTY OF SAN MATEO STATE OF CALIFORNIA
To: THE STATE OF CALIFORNIA

28. A document recorded May 27, 1955 as BOOK/REEL 2806, PAGE/IMAGE 286 of Official Records.

From: RALPH C. MAC ARTHUR TAX COLLECTOR OF THE COUNTY OF SAN MATEO STATE OF CALIFORNIA
To: CALIFORNIA PACIFIC TITLE INSURANCE COMPANY

First American Title Company

(Above) Excerpts from the Chain of Title Guarantee prepared by First American Title Company. See "CLTA Chain of Title Guar Form 6 6-6-92-N" for a full description.

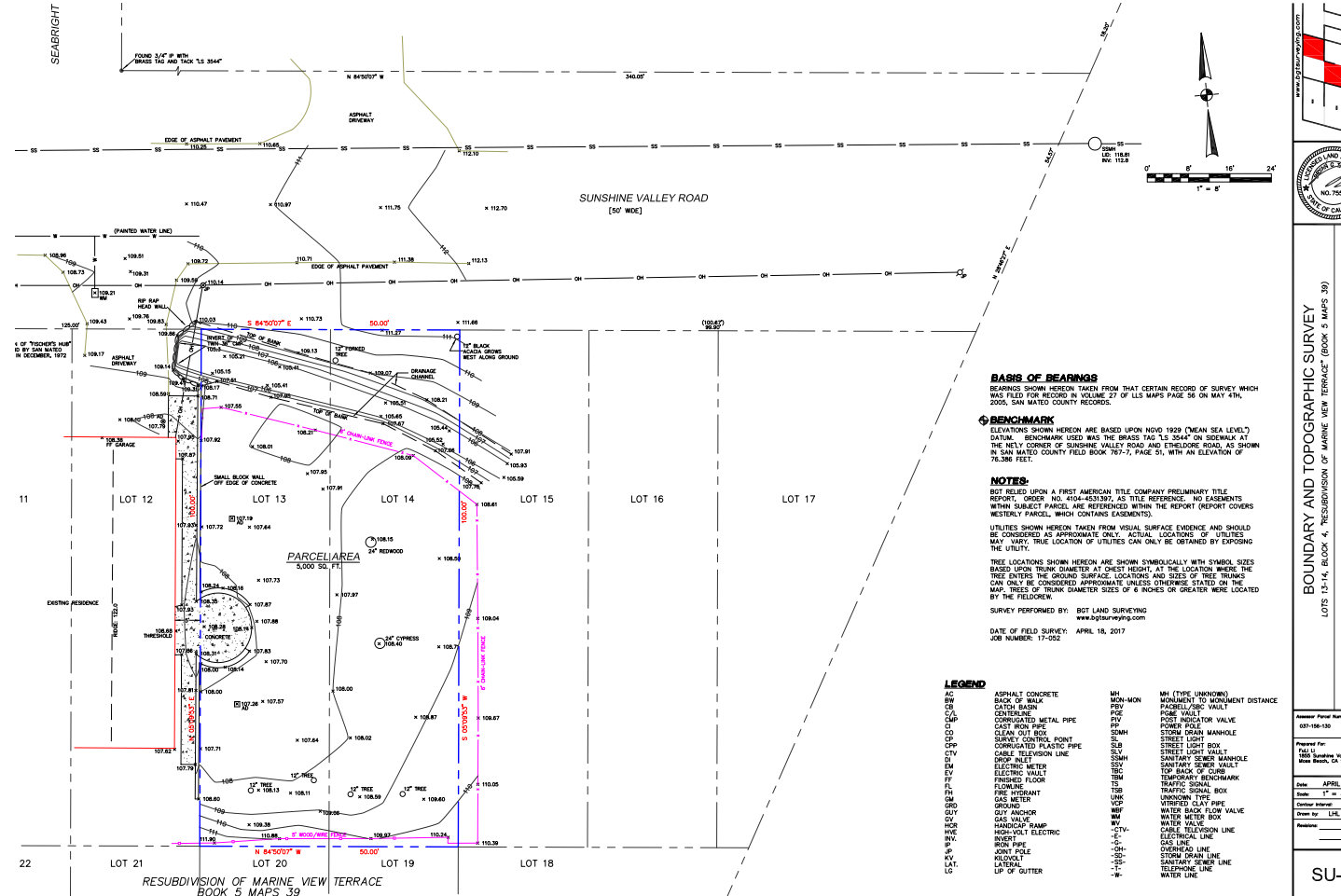
SURVEY

Questions/comments:

- Must be stamped and signed by a licensed surveyor
- It is a little busy, please bold or specifically call out the property lines (especially the front property line).
- See comment 9.a below

Response:

The survey is prepared and signed by a licensed surveyor, BGT Land Surveying. In making it scaled to fit my drawings, I did not include BGT's title bar with their stamp. Attached is the file for reference. This is now included in full as part of the 24x36 drawing set. Property lines have been further highlighted and noted for clarity. Top of Bank has been established and is noted on the Archtiectural Site Plan.



(Above) Survey by BGT Land Surveying.

BGT LAND SURVEYING
 BOUNDARY AND TOPOGRAPHIC SURVEY
 RESUBDIVISION OF MARINE VIEW TERRACE (BOOK 5 MAPS 39)
 LOT 13-14, BLOCK 4, RESUBDIVISION OF MARINE VIEW TERRACE (BOOK 5 MAPS 39)
 VACANT, SUNSHINE VALLEY ROAD
 No. 7501
 APRIL 2017
 1" = 8'
 Scale bar
 Drawn by: L.L.E.
 SU-1

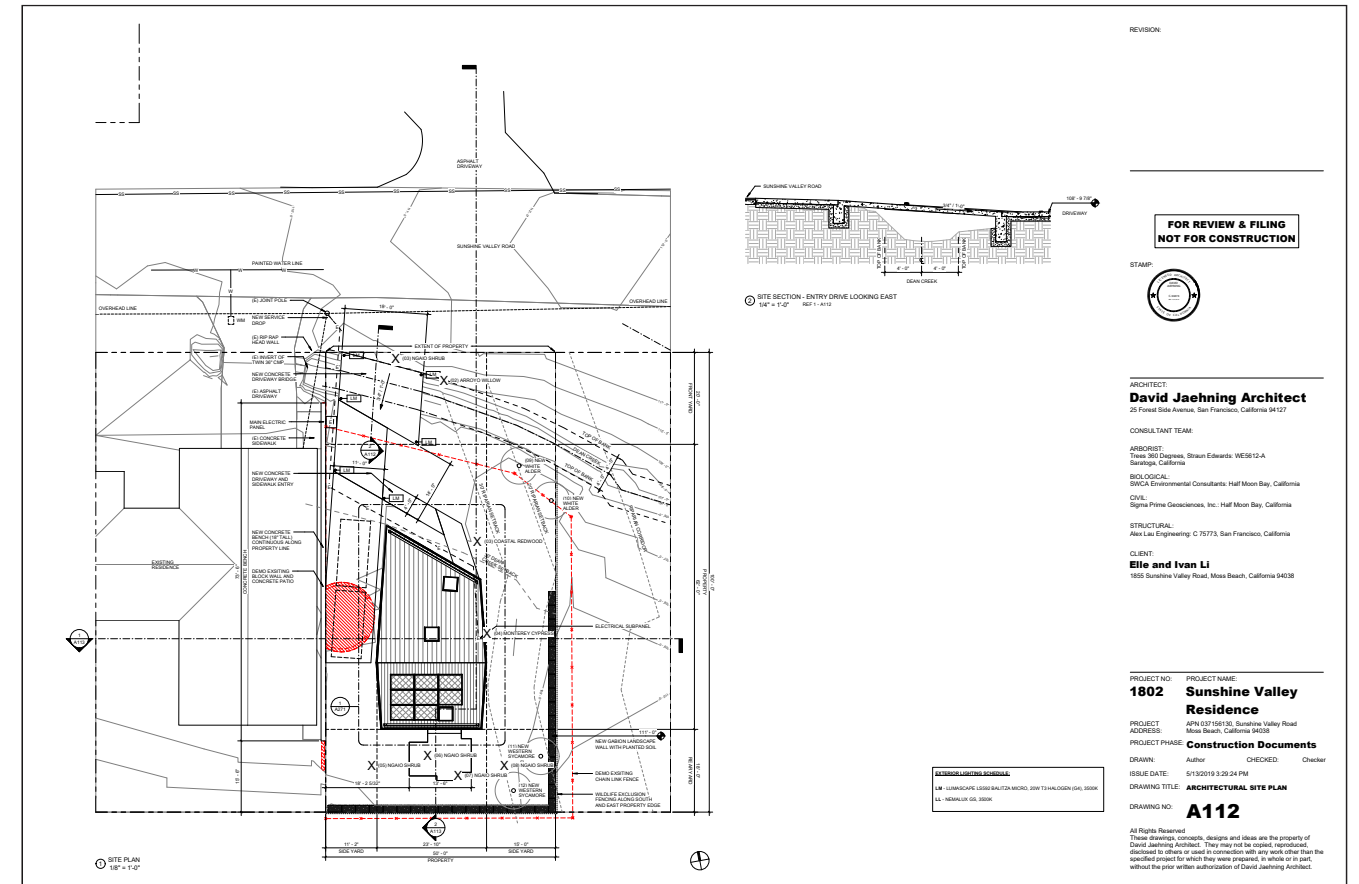
SETBACKS

Questions/comments:

- a. Only a combined 15' side yard setback is required with a minimum setback on either side of 5' feet.
- i. i.e. you can have a setback of 5' on one side and 10' on another or 7.5' on both sides etc. This is pertinent to 4.a and 5.c below.

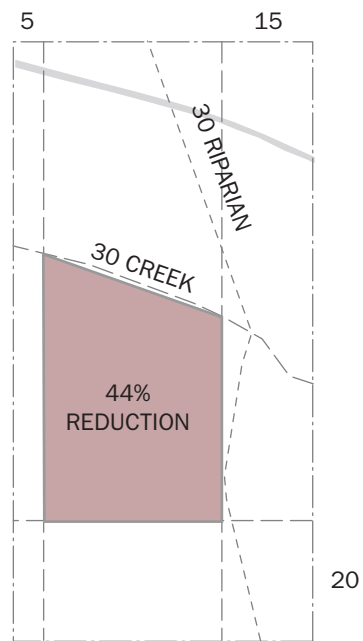
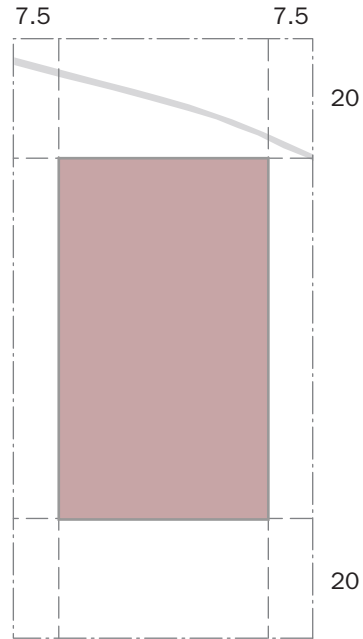
Response:

The proposed residence has been adjusted. See A112 - Architectural Site Plan for the updated setbacks: west side yard 11' - 2", east side yard 15' - 0", and rear yard 18' - 0" (covered under variance request). The Dean Creek setback does not allow us to take advantage of the full front yard setback, and when considering the allowable built area, pushed this residence to a three-story proposal. This segways into the next set of questions/comments on height.



(Above) A112 Architectural Site Plan

HEIGHT



Questions/comments:

a. The increase in height of 33' is only allowed for parcels with a 30% slope or greater. In addition this height increase is only for the center 40% of the house. Because this lot does not have a significant slope the maximum height for a structure is 28'. Please reduce the height of the building.

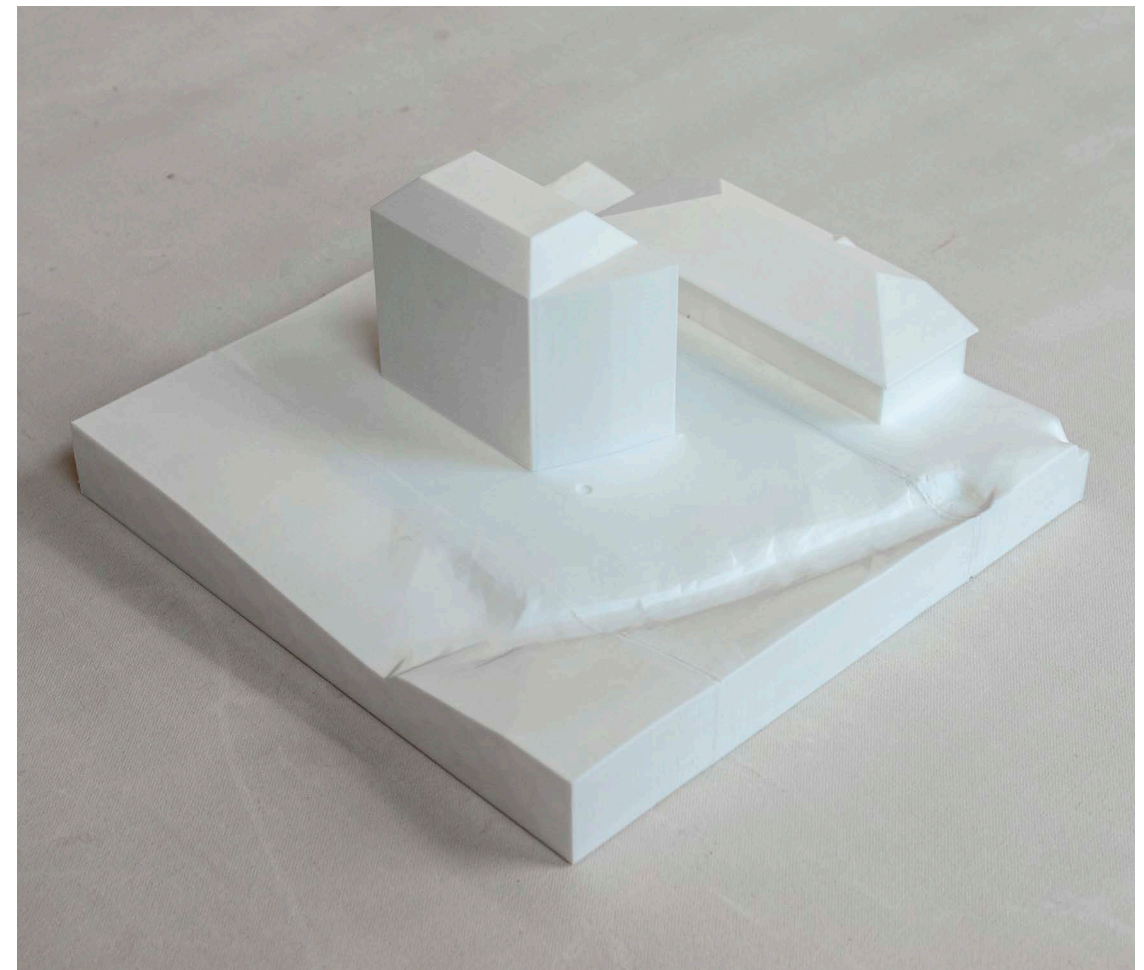
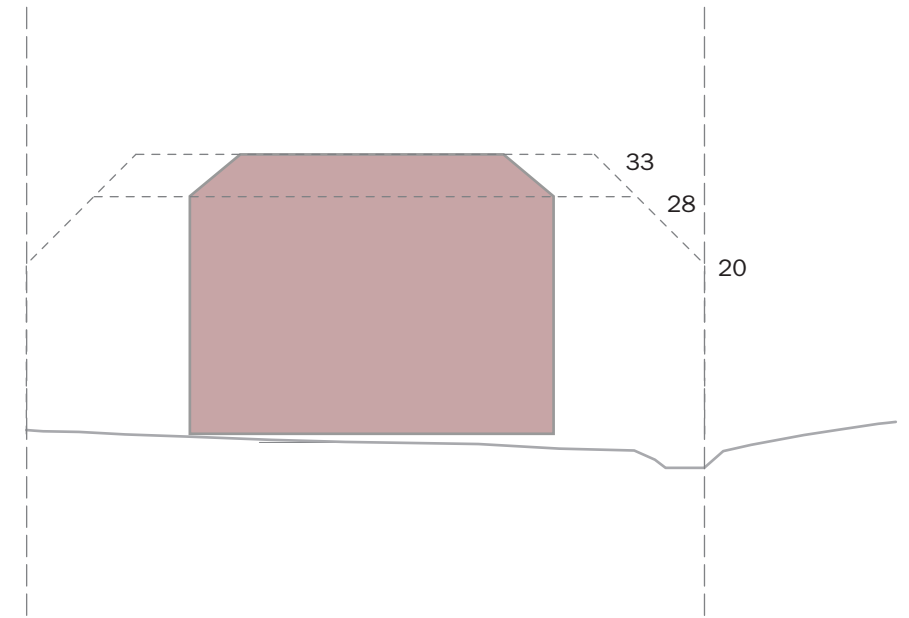
Response:

Our site analysis began with following the Section 6300.2 Regulations for "S-17" Combining District (Midcoast). The above diagram to the left follows the minimum setbacks of front (20-foot), sides (combined 15-feet), and rear (20-foot). This formula allowed for 2,100 square feet of parcel coverage. The below left diagram acknowledges a 30-foot setback required for Dean Creek, an intermittent stream. As an Arroyo Willow thicket is found to the east of the property, an additional 30-foot setback is required as a vegetation buffer. The resulting parcel coverage is 1,177 square feet, or a 44% reduction.

Our massing studies began by following the 28-foot maximum, but quickly realized a two-story option would not allow the project to reach either the allowed building floor area (0.53 of parcel size or 2,650 square feet) or the client's program requirements (next page) without a third level.

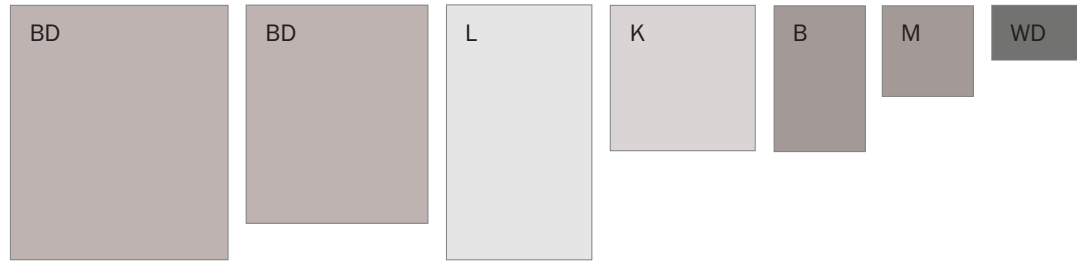
In order to minimize its bulk, the next step was to follow the daylight plane requirements. Shown in the diagram to the right, the plane is established on two opposite sides of the house, upward a vertical distance of 20-feet, and then inward at an angle of 45° until the maximum building height was reached.

The following page shows a series of massing options that pay careful attention minimizing the mass above 28-feet. During our pre-application meetings on September 27 with Carmelisa and Camille we agreed that the additional site constraints posed by Dean Creek could be relieved by allowing part of the house to hit the 33-foot mark, gaining a third level. We then shaped the house to minimize the bulk.



(Above) Allowable zoning per regulations for "S-17" Combining District, Midcoast
(Below) Allowable zoning with applied riparian corridors

(Above) Daylight plane diagram
(Below) Massing study that is the result of allowed parcel coverage and daylight planes



Ground floor

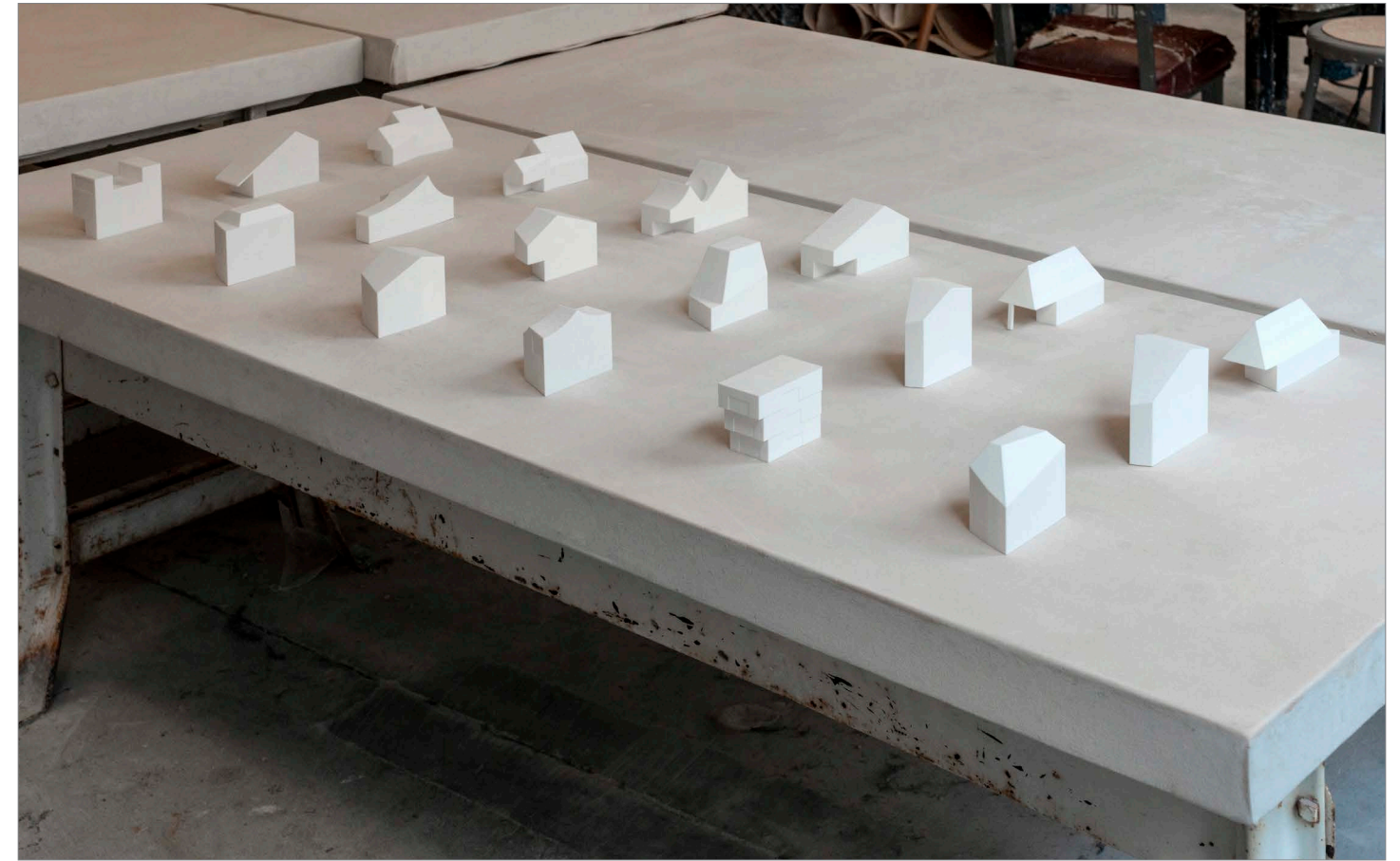
- BD – two bedrooms
- L – living room
- K – lower kitchen
- B – full bathroom
- M – mechanical
- WD – washer and dryer



Upper floors

- BD – four bedrooms
- L – living room
- K – upper kitchen
- B – two full bathrooms
- WD – washer and dryer

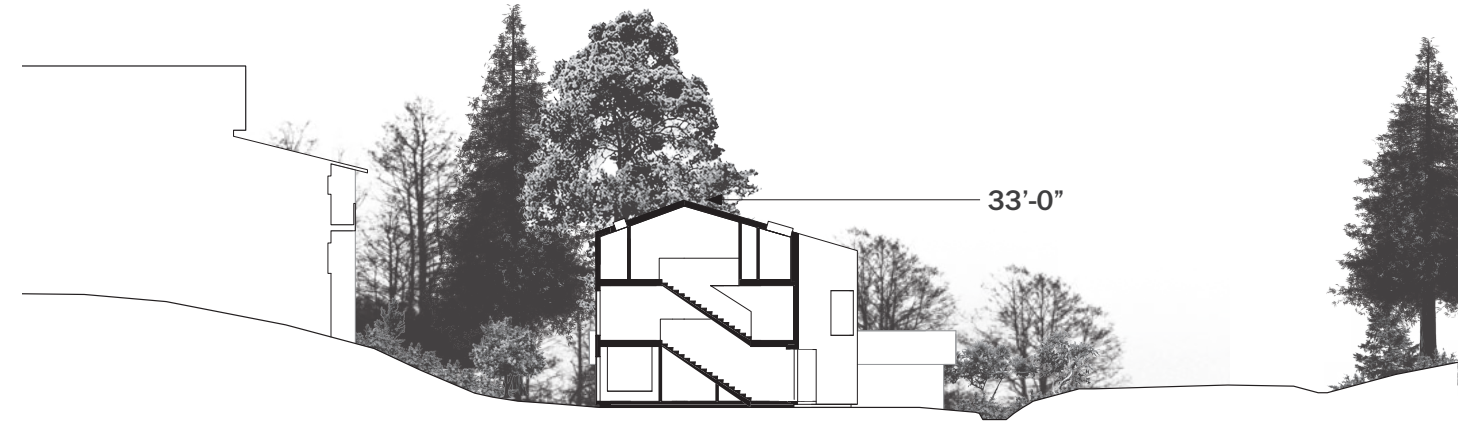
(Above) Program requirements



(Above) Massing studies at 3/32" = 1' - 0"

HEIGHT (CONTINUED)

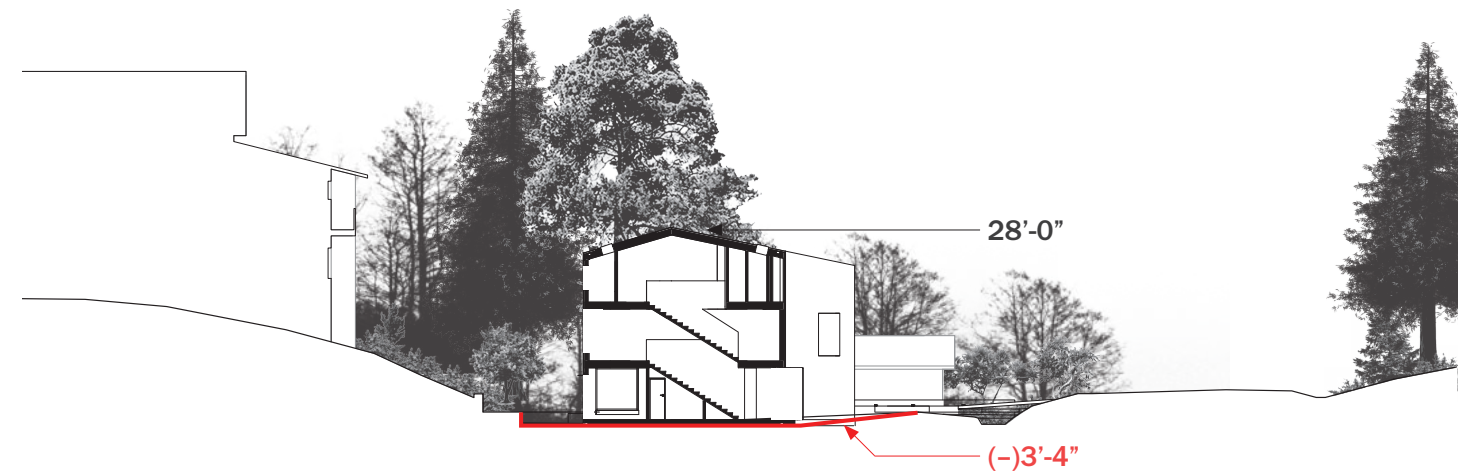
(Top right)
Longitudinal section as presented on November 21, 2018 in which only the peak of the house is at 33-feet. The perimeter elevation heights are between 28 and 26-feet.



(Middle right)
After receiving your comments, the house has been reduced as much as possible by: a) reducing the pitch of the roof without creating unliveable top floor rooms, b) reduced the first and second floor heights to 8'-6\", and 3) using a robust laminated veneer lumber joist system to minimize floor depth. Our position on the 8'-6\" height is based on a) lower would affect daylighting thus adding to artificial lighting loads, and b) the house provides radiant heat only, bypassing A/C cooling and any lower height would affect fresh air and bring the trapped heat at the ceiling closer to house occupants. This is the limit of our adjustment without hardship.



(Bottom right)
If the house were required to be reduced to 28-feet (at its peak only), this would cause the ground floor of the house to be carved (or sunken into) the ground plane. This is strongly ill-advised by our geotechnical engineer as it would require a constant sump pump system as well as expensive and robust water-proofing details.



(Above) Sequence of site section height studies.

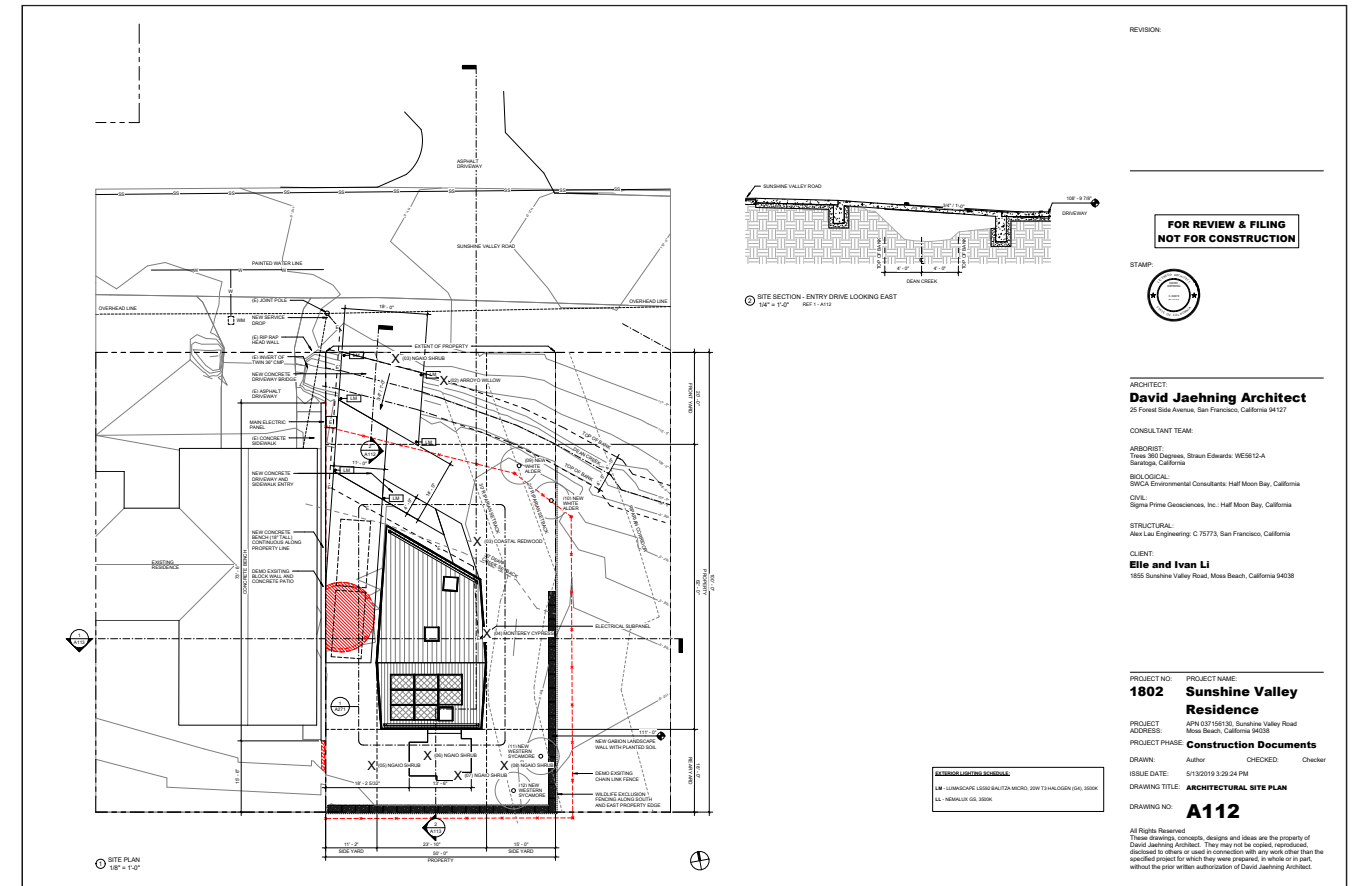
SITE PLAN

Questions/comments:

- a. It's hard to tell where the property lines are. Please either bold or specifically call out.
- b. The 30' Dean Creek setback does not scale out to 30'. Portions of the setback only scale to 28' and the house encroaches into the setback. Please move the house out of the creek setback. This will encroach into the rear yard setback but will be covered/ considered under the variance.
- c. Finish drawing the 30' Riparian buffer line.
- i. It looks like the house will encroach into this buffer area when the line is drawn. Move the house outside of the buffer area
- d. Show existing trees on the property and if they will be retained or removed
- i. "X" out trees proposed for removal
- ii. Number the trees per the arborist report
- e. Show location of uncovered parking spaces.

Response:

- a. Additional annotations have been added to call out the property lines, b. The previous version followed the setbacks from the (previous biology consultant), The proposed residence has been moved outside the Dean Creek setback, c. The proposed residence has been moved outside the riparian setbacks. d. See updated plan A112 and landscape plans. As per the arborist report, all existing trees to be removed. Trees have been "X" out and labeled per the arborist report, e. uncovered parking spaces are shown dashed on A112.



(Above) A112 Architectural Site Plan

ARBORIST REPORT

Questions/comments:

- Revise to include a description of all trees on the property including trees in the right-of-way directly in front of the property (size, health, species etc.) and include recommended tree protection measures for trees to be retained. The report should include a tree inventory.
- Incorporate tree protection measures into a separate tree protection sheet.
- Show recommended location of required tree replantings

Response:

Please refer to the documents attached to this document. "Sunshine Valley Residence Tree Report" is a narrative of all trees on site provided by Trees 360 Degrees. "Sunshine Valley Residence Tree Inventory" is a listing of all trees on site provided by Trees 360 Degrees. Recommended new tree planting locations have been provided on the architectural and landscape plans.

Sunshine Valley Residence
APN 037156130
Sunshine Valley Road
Moss Beach CA 94038

To whom it may concern:

Trees no. 1 & no. 2 are located at the front of the property, along the road side. The *Myoporum* is fairly insignificant and the *Salix* is a specimen that has previously failed and is currently growing along the ground. Trees no. 3 & no. 4 (*Sequoia* and *Hesperocyparis*) will require removal to allow for construction. Trees no. 5-10 (*Myoporum*) are old specimens that are located in close proximity to the property boundary lines. All of these trees have fallen and continue to grow along the ground. This growth pattern is typical for the species of older age.

It is my professional opinion that none of the *Myoporum* be classified as significant trees and recommendation that these trees be removed and replaced to create a similar canopy for vegetative screening purposes. Replacement trees could include same species or others such as *Melaleuca*, *Pittosporum*, *Lauris*, *Ceanothus*, or *Salix*. Final decision would depend on preference of the homeowner. In regard to the tree protection, at this time I do not deem it necessary to provide tree protection if all trees on site are to be removed. However, should any trees be retained and protection required, I recommend 6 ft. chain link fencing be installed at, or as close to, the drip lines of the canopies throughout all phases of construction. Should you have any questions regarding the above information please do not hesitate to call me at (408) 898-0625.

Thank you,

Straun Edwards
ISA Certified Arborist WE-5612A

P.O. Box 2280 • Saratoga, CA 95070-0280 • office 408.866.1010 • cell 408.898.0625 • www.trees360degrees.com

SUNSHINE VALLEY RESIDENCE TREE INVENTORY MOSS BEACH, CA

Tree No.	Scientific name	Common name	DBH (in.)	Health	Vigor	Structure	Comments
1	<i>Myoporum laetum</i>	Ngalo Tree	6 & 7	Fair	Fair	Poor	Large shrub, small tree. Old specimen, typical form and structure for species- not a significant tree.
2	<i>Salix lasiolepis</i>	Arroyo willow	12	Fair	Fair	Poor	Tree has previously failed, lying on the ground and regrown.
3	<i>Sequoia sempervirens</i>	coast redwood	26	Good	Good	Poor	Co-dominant structure at 15 ft. Large included bark area is visible. Tree will need to be removed to accommodate construction.
4	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	26	Good	Good	Fair	Young specimen with decent structure and health. Tree will need to be removed to accommodate construction.
5	<i>Myoporum laetum</i>	Ngalo Tree	6	Poor	Poor	Poor	Large shrub, small tree. Sprouted up from tree that was previously removed.
6	<i>Myoporum laetum</i>	Ngalo Tree	18	Poor	Poor	Poor	Older specimen. Large amount of deadwood, tree has previously failed and is lying on the ground. Tree is still alive and growing. Structure and form is typical for species.
7	<i>Myoporum laetum</i>	Ngalo Tree	14	Poor	Poor	Poor	Older specimen. Large amount of deadwood, tree has previously failed and is lying on the ground. Tree is still alive and growing. Structure and form is typical for species.
8	<i>Myoporum laetum</i>	Ngalo Tree	12	Poor	Poor	Poor	Older specimen. Large amount of deadwood, tree has previously failed and is lying on the ground. Tree is still alive and growing. Structure and form is typical for species.

Trees 360 Degrees
PO Box 2280 Saratoga, CA 95070

Inventory 2/18/2019

(Above) Excerpts from the documents provided by Trees 360 Degrees, the certified arborist for this project. Full descriptions are attached to this document.

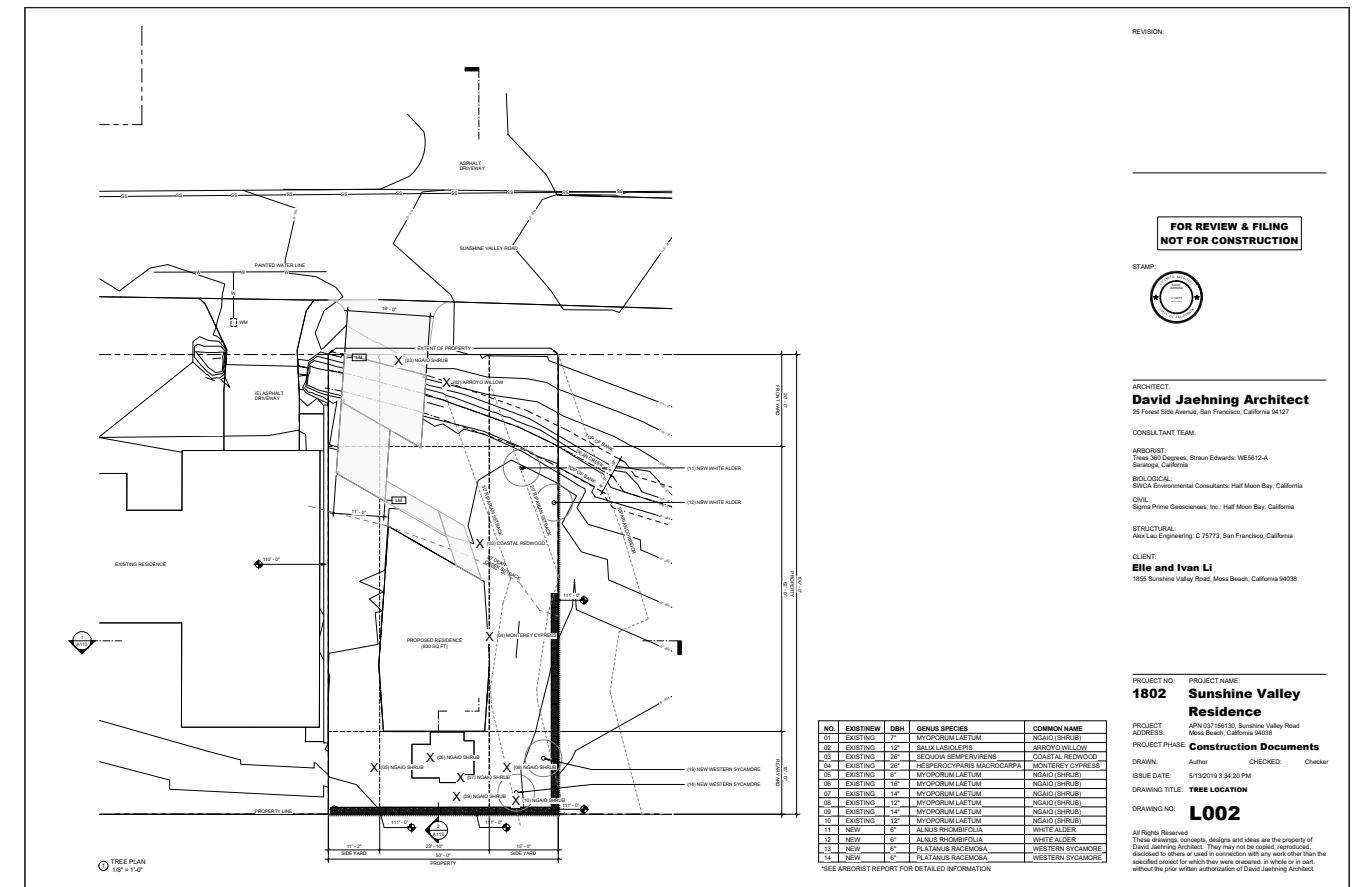
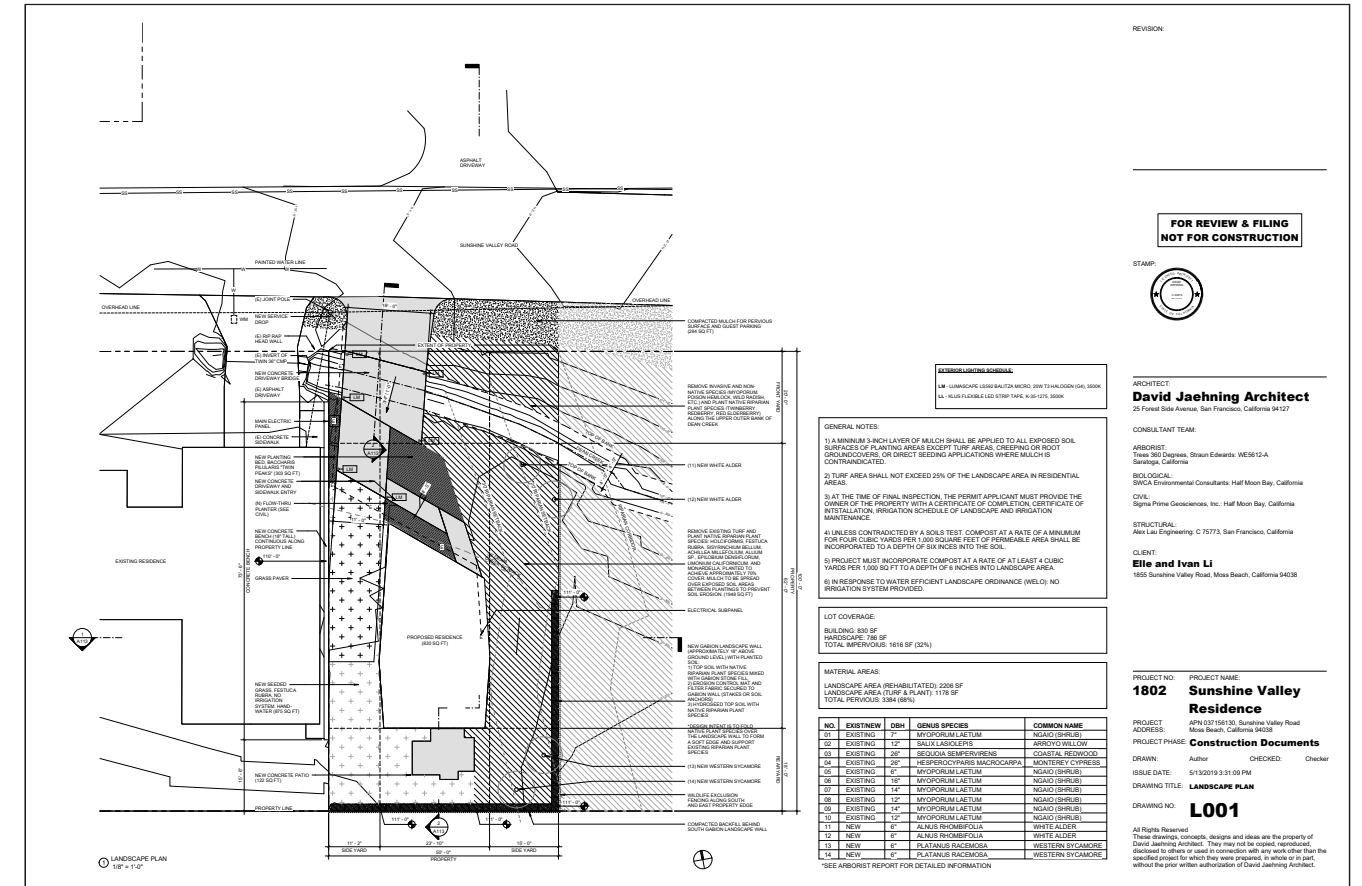
LANDSCAPING

Questions/comments:

- Do not show the trees proposed for removal on the landscaping plan
- Is the new turf native grasses? Or just regular turf? If is just regular grass how will it survive without irrigation?
- Specify the plants proposed for the planting beds and native riparian species (location, quantity, species)
- See Comment 9.c.iv below

Response:

- Trees proposed for removal have been taken off of the Landscape Plan (now named L001). A new sheet, L002 has been drawn per your request to show a Tree Location Plan, b. This is new seeded grass, *Pestuca Rubra*. This grass type is on the recommended list "San Mateo Countywide Stormwater Pollution Prevention Plan". It is recommended as a California native and is drought tolerant. This grass will be hand-watered with no irrigation system, c. The new planting beds will be *Baccharis Pilularis*. This plant type is on the recommended list "San Mateo Countywide Stormwater Pollution Prevention Plan". It is recommended for bioretention areas and flow through planters (see C001 Flow Through Planter), vegetated buffer strip, a California native and is drought tolerant, 303 square feet of full coverage, d. As the existing turf is proposed for removal being close to the riparian buffer, we propose replacement with native riparian plant species: *holciformis*, *festuca rubra*, *sisyrinchium bellum*, *achillea millefolium*, *allium sp.*, *Epilobium densiflorum*, *limonium californicum*, and *monardella*. Planted to achieve approximately 70% cover. Mulch to be spread over exposed soil areas between plantings to prevent soil erosion.



(Above) L001 Landscape Plan and L002 Tree Location Plan

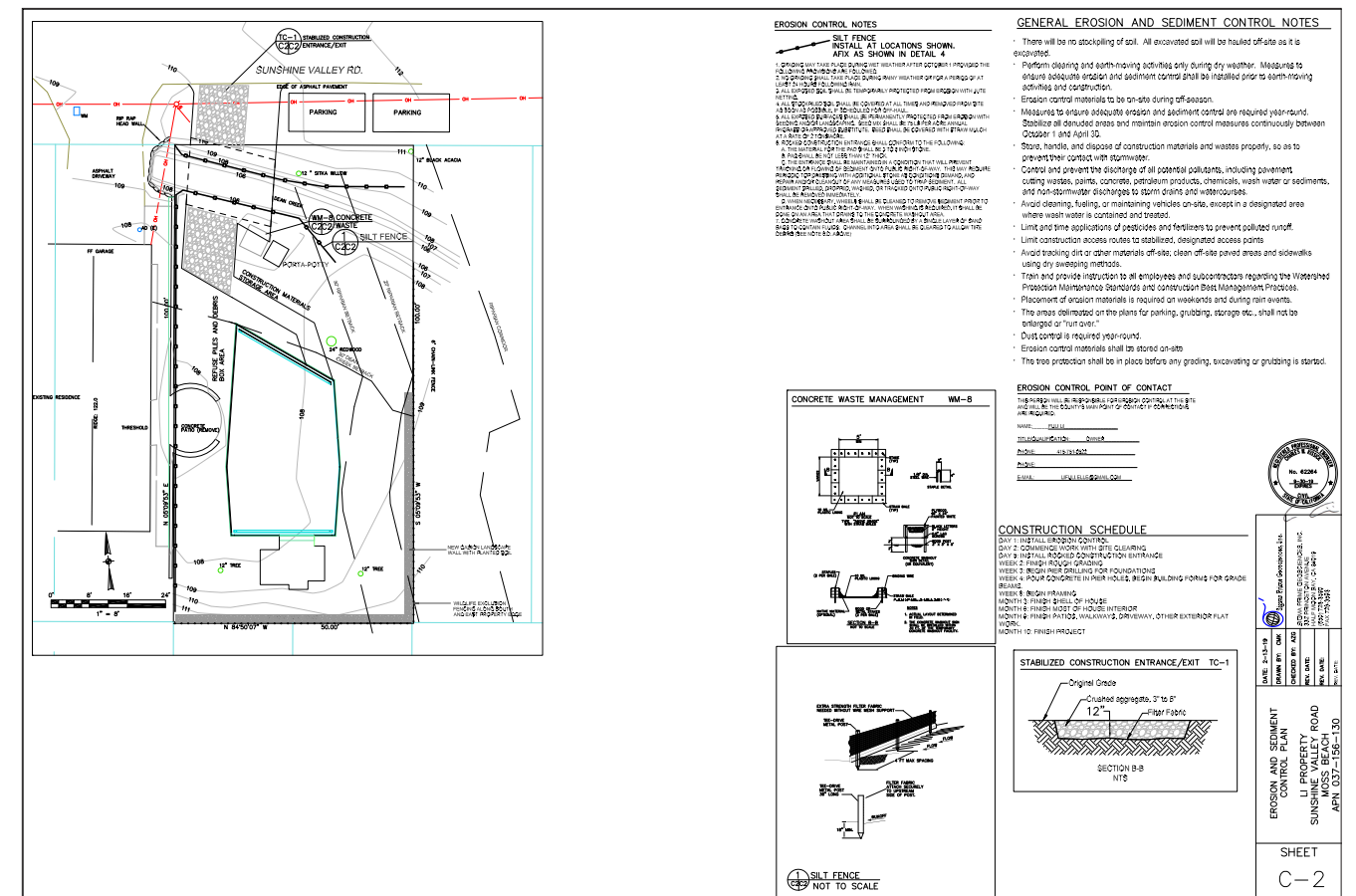
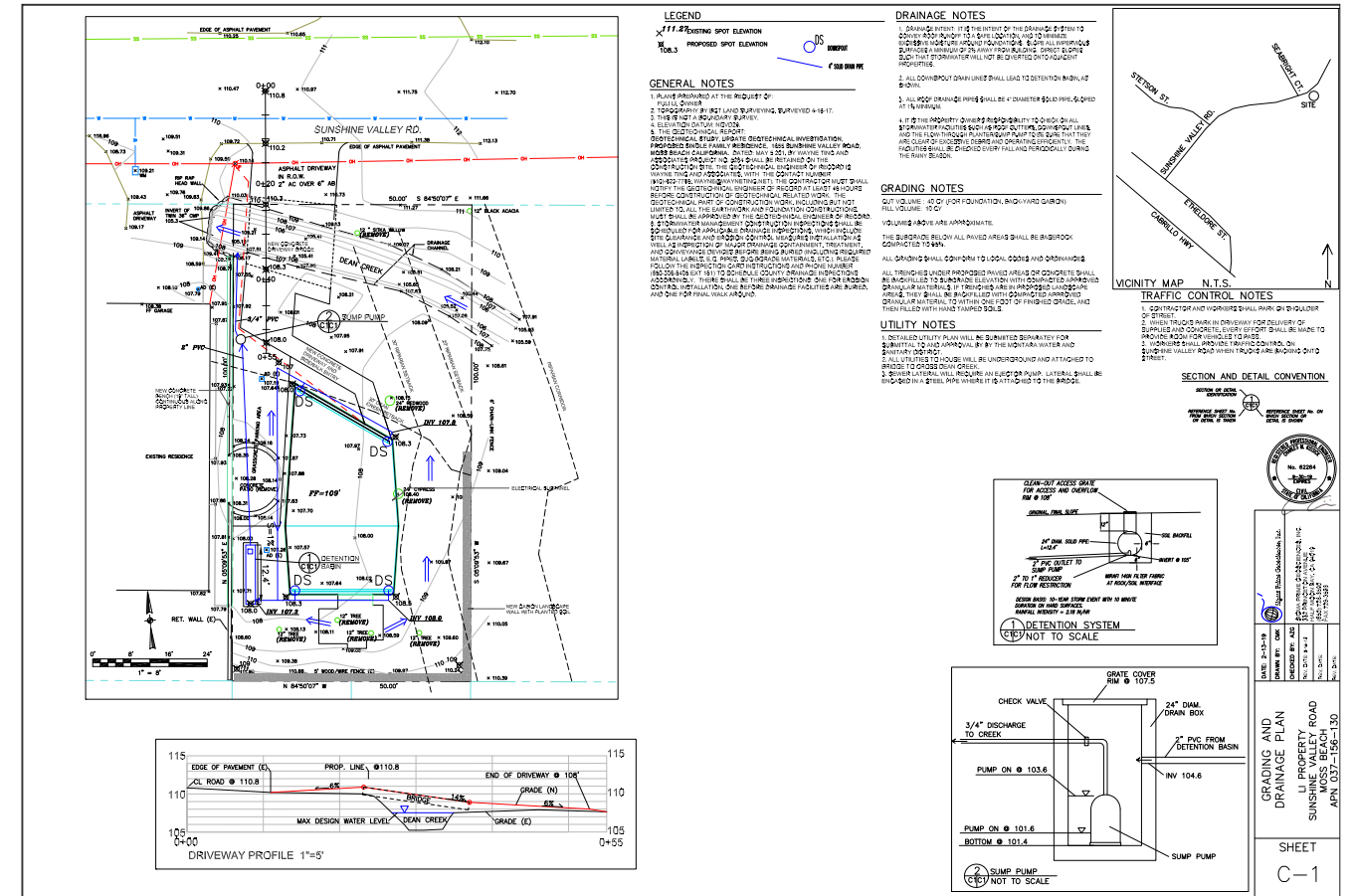
EROSION CONTROL PLAN

Questions/comments:

- Please provide an erosion control plan for the construction of the bridge and the house
- The EC plan should be a separate sheet from the grading plan.
 - Show location of equipment storage areas, ec measures, concrete washout etc.
 - The biologist should consult on the EC plan. See comment 9 below.

Response:

See the new Civil drawings. C002 address erosion and sediment control. C001 provides the locations requested. All have been confirmed with SWCA, our biological consultant.



(Above) C001 Grading and Drainage Plan and C002 Erosion and Sediment Plan.

BIOLOGY REPORT

Questions/comments:

- a. Biologist to establish top of bank (TOB). The TOB should then be mapped on the survey and shown on the site plan.
- b. Revise to include discussion about the construction of the bridge
 - i. What type of work is involved in the construction?
 1. What work is expected to occur in the creek or on the banks?
 2. Discuss the footings on the bank and exposed sewer line
 - ii. How long will it take? When is the best time for it to happen?
 - iii. What would the potential impacts be from the construction activities?
 - iv. Provide more specific erosion control measures
- c. Mitigation Measures Questions
 - i. Who installs the woodrat exclusion fencing?
 1. How long before construction begins should this fencing be installed?
 2. Is this the same type of fencing that you recommend for the SFGS and CRF?
 3. Can you provide picture examples of the fencing?
 4. Please provide a map of where each fencing type should be installed
 - ii. Provide mitigation measures for if a woodrat nest is found on the site.
 - iii. Will construction activities/noise interfere with the woodrats' breeding season?
 - iv. Please address all landscaping in the riparian buffer areas.
 1. The bio report should determine the appropriate mix of natives to be installed
 - a. What would be the establishment rate of the new plants?
 2. Address the proposed removal of the non-native species within the banks of Dean Creek (does that need biologist oversight?)
 - a. When should this removal happen?
 - b. Will the removal of the vegetation destabilize the bank?

Response:

See following pages and attached PDF "Response to Planning Comments_PLN2018-00458-FINAL"



MEMORANDUM

To: Fuli Li, Project Applicant

CC: David Jaehning, Owner, David Jaehning Architect

From: Kristen Outten, Project Manager, SWCA Environmental Consultants

Date: January 17, 2019

Re: Responses to County of San Mateo Planning Comments for 1855 Sunshine Valley Road, Moss Beach, California (PLN 2018-00458)

SWCA Environmental Consultants (SWCA) understands that Fuli Li (Applicant) submitted plans to the County of San Mateo (County) to construct a new single-family dwelling on 1855 Sunshine Valley Road in Moss Beach, California. The County provided comments regarding the project plans to the Applicant on December 21, 2018. This memorandum provides responses to the County's planning comments, specifically those that pertain to environmental resources.

Comment No. 5 – Site Plan

- (c) Refer to Drawing No. A112, Site Plan for a complete drawing of the 30-foot riparian buffer line.
 - (i) House has been relocated outside of the 30-foot buffer line.

Comment No. 8– Erosion Control Plan

- (a) Refer to Drawing No. C-2, Erosion Control Plan.
- (b) Refer to Drawing No. C-2, Erosion Control Plan.
 - (i) Location of equipment storage areas, erosion control measures, concrete washout, etc. are shown on the Erosion Control Plan.
 - (ii) SWCA biologist Kristen Outten assisted in preparation of the Erosion Control Plan. Ms. Outten is a Qualified SWPPP Practitioner (QSP) as well as Certified Erosion, Sediment, and Storm Water Inspector (CESSWI).

Comment No. 9 – Bio Report

- (a) Refer to Attachment 1, Wetland Buffer and Vegetation Map, as well as Drawing No. A112, Site Plan for the top of bank of Dean Creek.
- (b) The County is requesting a revised Biological Impact Form to address construction of the bridge. SWCA cannot revise the existing report since it is authored by Coast Ridge Ecology. The Applicant, however, in coordination with SWCA, is providing information regarding construction of the bridge in the response to the County planning comments.
 - (ii) Construction of the bridge will occur during the dry season when no water is present in Dean Creek.
 - (iii) Dean Creek could be temporarily impacted by fuel spills. Dean Creek could also be temporarily affected from fugitive dust or sediment. Such impacts will be reduced or

- avoided with the implementation of the Erosion Control Plan (refer to Drawing No. C-2).
- (iv) To prevent impacts associated with hazardous materials, fugitive dust, sediment, or other construction-related materials, erosion control best management practices (BMPs) will be installed and maintained throughout the duration of the project. BMPs will include, but are not limited to fiber rolls, stockpile protection, a stabilized construction entrance/exit, and concrete waste management. Refer to Drawing No. C-2, Erosion Control Plan, as well as cutsheets of specific erosion and sediment control BMPs.
- (c) (i) The construction contractor will install the woodrat exclusion fencing in accordance with Drawing No. A112, Site Plan.
- (1) Woodrat exclusion fencing will be installed prior to the start of construction, including equipment and materials staging.
 - (2) Woodrat exclusion fencing will be the same exclusion fencing that will be installed for California red-legged frog and San Francisco garter snake. The escape funnels provided for snakes and frogs shall have a small enough escape funnel (i.e., less than 3" x 3" exit) to prevent woodrats from passing through.
 - (3) The following link provides a photos and a description of the wildlife exclusion fence: <http://ertecsystems.com/resourcepdf.php?filename=5a5d31ef02701-ertec%20e-fence%20brochure%202018.pdf>
 - (4) Refer to Drawing No. A112, Site Plan for the location of the wildlife exclusionary fencing.
- (ii) If woodrat nests *with* young are observed within the project footprint, an exclusion fence will be erected around the nest site adequate to provide the woodrat enough foraging habitat at the discretion of the biologist. Site preparation (i.e., grubbing and grading) within the fenced area would be postponed or halted until young have left the nest. A biological monitor will be onsite during periods when disturbance activities occur near the active nests to ensure that no inadvertent impacts will occur to the nests. If woodrat nests are observed within the project footprint outside of the breeding period (February to July), the biologist will dismantle the nest (outside the breeding period), allowing individuals to relocate to suitable habitat within adjacent open space areas.
- (iii) Construction activities are not anticipated to impact woodrat breeding activities, given that the above-described woodrat mitigation measure and Mitigation Measure #2 in the Biological Impact Form are implemented.
- (iv) Existing turf within the 30-foot riparian buffer will be removed, and native grasses and herbaceous species will be planted in its place.
- (1) Native species that will be planted within the 30-foot riparian buffer include but are not limited to *Deschampsia cespitosa* ssp. *holciformis*, *Festuca rubra*, *Sisyrinchium bellum*, *Achillea millefolium*, *Allium* sp., *Epilobium densiflorum*, *Limonium californicum*, and *Monardella* sp.
 - a. New vegetation within the 30-foot riparian buffer area will be planted to achieve approximately 70% cover. Mulch will be spread over exposed soil areas between plantings to prevent soil erosion within the buffer area.
 - (2) To prevent potential erosion concerns within the bed and banks of Dean Creek, removal of invasive and non-native species will be limited to the area outside the banks of Dean Creek. No vegetation removal will occur within the bed or banks of the creek. Vegetation and debris resulting from vegetation removal will be placed outside of the creek channel and in a location where they cannot roll, wash,

or move back into the creek channel. A qualified biologist will be onsite to oversee removal of invasive and non-native species.

- a. Vegetation removal will occur during the dry season to minimize the potential for soil erosion.
- b. Removal of vegetation will occur during the dry season to prevent the risk of bank destabilization. In addition, native vegetation will be planted in disturbed soil areas to further reduce potential erosion concerns.

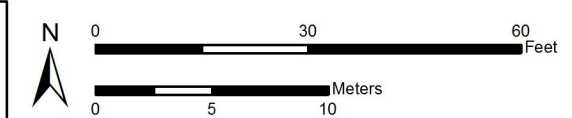
Comment No. 11 – General Comments/Questions

- (a) The bridge footings will be located outside the banks of Dean Creek, and construction activities are not anticipated to result in impacts to the bed or banks of Dean Creek. Furthermore, removal of invasive and non-native plants will occur outside of the bed and banks of Dean Creek. Therefore, a Streambed Alteration Agreement is not anticipated at this time. In the event there are changes to the project design and impacts to the bed or banks of Dean Creek will occur, the Applicant understands a Streambed Alteration Agreement issued by California Department of Fish and Wildlife would be required prior to building permit issuance.

ATTACHMENT 1
WETLAND BUFFER AND VEGETATION MAP



- Legend**
- ▭ Parcel
 - Dean Creek
 - - - Dean Creek Top of Bank
 - - - Dean Creek Buffer (30 feet from center)
 - - - Limits of Riparian vegetation
 - - - Riparian Vegetation Buffer (20 feet)
 - - - Riparian Vegetation Buffer (30 feet)
 - ▭ Landscaped Ruderal
 - ▭ Ruderal



Wetland Buffer and Vegetation Map

1:325
 ESRI World Imagery
 San Mateo County, CA
 NAD 1983 UTM Zone 10N
 1/8/2019

SWCA
 ENVIRONMENTAL CONSULTANTS
 60 Stone Pine Road, Suite 100
 Half Moon Bay, California 94019
 Phone: 650.440.4160
 Fax: 650.440.4165
 www.swca.com

SOFT COPY

Questions/comments:

- a. Please provide a soft copy of the proposed/revised plans

Response:

Noted.

- e. Driveway

i. Please consider replacing concrete with permeable pavers or permeable concrete

- f. Utilities

i. FYI, All utilities must be undergrounded.

- g. Page A113

i. On the North/South section, what is the smaller structure to the right of the building?

Response:

a. See response to Biology Report comments as no vegetation will be disturbed within the beds or banks of Dean Creek, b. the shed has been removed from the project as a result of addressing other setback concerns previously mentioned, c. yes, see site plan for site lighting bollards on driveway and entry walkway, and elevations for house lighting at entries. Cuts sheets have been provided with the original application, and also included here. Note that plans call out the fixtures to match with the cut sheet provided, d. See note on A311 for custom thermally insulated entry door (not a product off the shelf). Details in progress for 100% CD set, anodized bronze to match window frames, e. Both options are a maintenance issue for the Client, as they require weed control, irrigation, and fertilizer to keep green. Also, this is the primary means of vehicle parking. Finally, our permeable surfaces fall under the maximum allowances, f. note our "New Service Drop" on A112, g. the structure is the Client's existing residence, 1855 Sunshine Valley Road.

GENERAL COMMENTS/ QUESTIONS

Questions/comments:

a. Please note that a Streambed Alteration Permit issued by CA Fish and Wildlife will likely be required. If required this permit is needed prior to building permit issuance.

- b. Shed

i. Why is there a sewer line running to the shed? Does the shed house a washer and dryer?

ii. The shed must be located at least 3' away from the rear property line

- c. Lighting

i. Are you proposing any exterior lighting?

ii. Where?

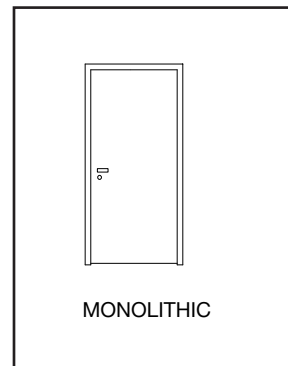
iii. If yes, provide a cut sheet of the lighting fixtures. Fixtures must be dark sky compliant

- d. Front Door

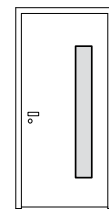
i. Provide a cut sheet of the front door.

ii. What color will it be?

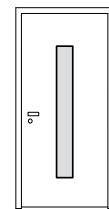
Door finish anodized bronze to match window frames. See note on A311 for custom thermally insulated entry door.



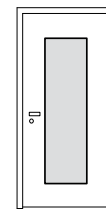
MONOLITHIC



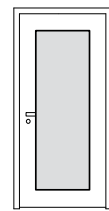
SIDESHOW



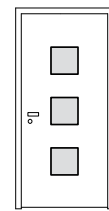
MERIDIAN



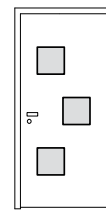
LUMEN



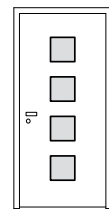
VISTEON



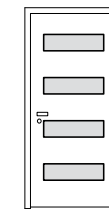
ACUITY



TRI-LITE



Q-PORTE



4-HORIZONS



ANSI Grade 1 heavy-duty, commercial-grade security mortised lockset with integrated deadbolt and latch for maximum security.



Our 2 1/4" thick doors are constructed with high-security, commercial-grade, 16 gauge door skins that are fully welded, ground smooth, and re-finished for uncompromised strength and beauty.

Safe and Sound

The security of your home and the safety of your family are second to none. Installing a Neoporte door system will give you peace of mind that your home is secure and your loved ones are protected.

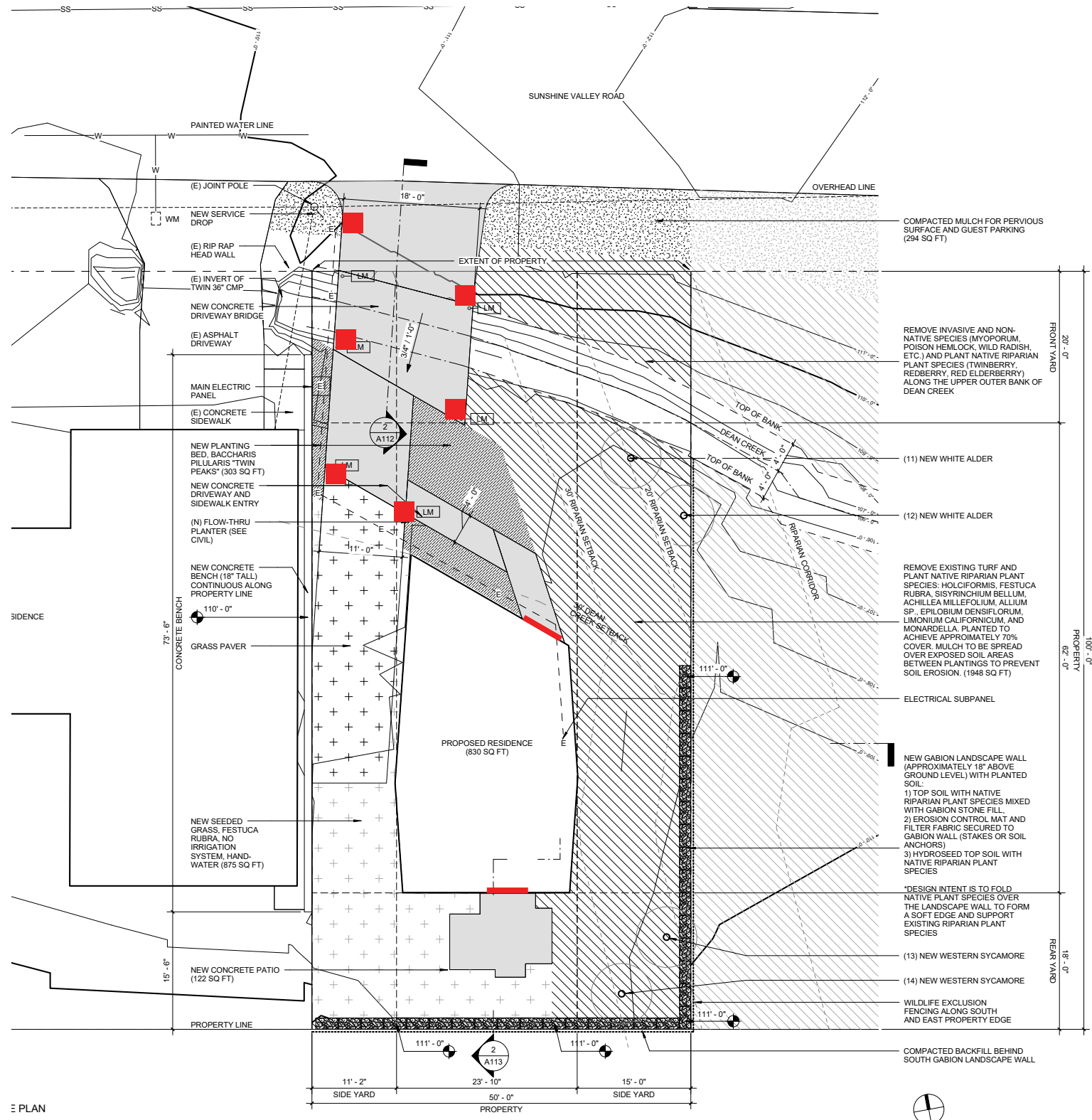
Trust Neoporte door systems to keep the unwanted out.

Security features include:

- 2 1/4" thick doors
- High-security, commercial-grade, 16 gauge door skins
- Heavy-duty, commercial-grade security mortised locksets
- High-density cores*
- Non-removable pin security hinges
- Security viewer (optional)
- Electronic access control hardware (optional)

*Neoporte door cores are 3x more dense than standard insulated commercial door cores.

Exterior lighting



- Nemalux Linear LED
- Ligman Bollard



GS
 AN EXTREMELY DURABLE,
 WATER-TIGHT,
 INDUSTRIAL LUMINAIRE

Applications

- Vehicle/equipment cabins
- Indoor building lighting
- Emergency lighting
- Solar/remote lighting
- Tunnel lighting
- Outdoor, harsh/rough usage environments

Features

- Extremely robust
- Thermally managed for longevity
- Easy field angle adjustment
- -40 to +65°C (AC) | -40 to +60°C (DC) operating range
- Sealed to IP66/67 Marine Outside type (Salt Water)

Output

- 559 to 2289 lumens
- 5000K standard (Additional colours & temperatures available)

Certifications

- Certified to UL 844, UL 1598, UL1 598A UL 2108, UL 8750
- CSA 22.2 No. 137, CSA 22.2 No. 250.0, CSA 22.2 No. 250.13
- Class I, Division 2, Groups ABCD
- Class II Division 2, Groups FG
- Class III
- Class I, Zone 2, Group IIC
- Zone 22

Warranty

- Five (5) year limited warranty



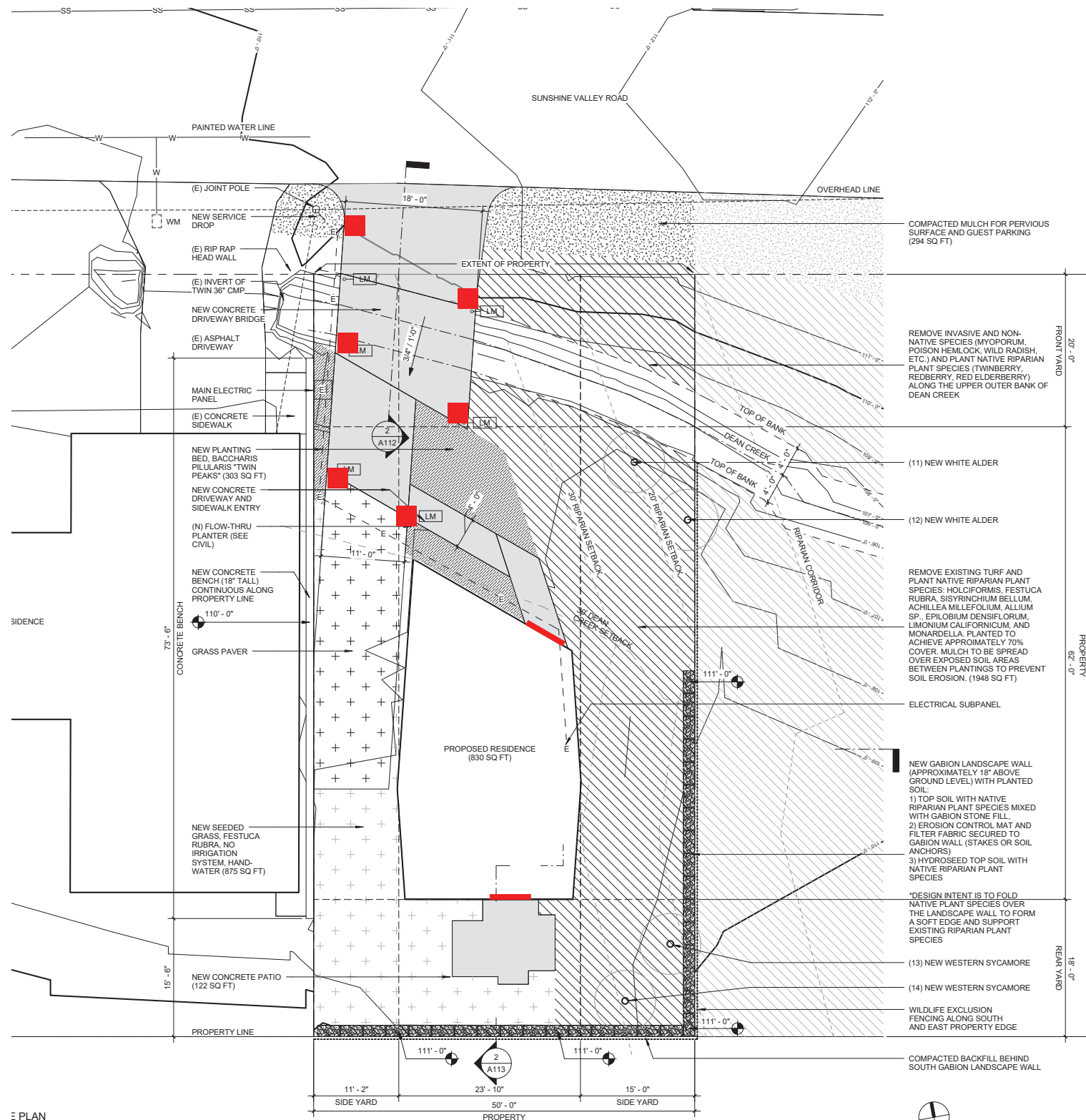
Extremely durable and water-tight, the GS Series of fixtures are able to withstand the most demanding environments. The GS was designed as a hazardous location, light weight linear strip luminaire with a projected lifespan of 100,000 hours. Multiple lengths, optics and mounts make the GS a long term solution to area lighting in mining applications. The GS is available in a general purpose or Class 1 Div. 2 for hazardous locations. With AC and DC options, the GS can easily be wired into existing facilities or used in remote solar lighting applications.

Using industry leading manufacturing practices, our engineers and industrial designers created a fixture that transfers heat away from the LEDs to the enclosure via the metal core PCB. This optimizes the operating temperature, maximizes efficiency, and increases the longevity of the components.

The GS comes with a field adjustable end bracket or may be flush mounted to surfaces or ceilings using carriage bolts. With wide or narrow beam profiles, multiple lengths and colour options, the GS provides a long term solution for linear strip lighting applications.

Nemalux
 INDUSTRIAL
 1018 72nd Avenue NE
 Calgary, AB, Canada
 T2E 8V9
 P: 403.242.7475
 F: 403.243.6190
 info@nemalux.com
 www.nemalux.com

Exterior lighting



PLAN

- Nematux Linear LED
- Ligman Bollard

ULI-10021

Light Linear PT 1 Single Head Bollard



Construction

Aluminum

Less than 0.1% copper content - Marine Grade 6060 extruded & LM6 Aluminum High Pressure die casting provides excellent mechanical strength, clean detailed product lines and excellent heat dissipation.

Pre paint

8 step degrease and phosphate process that includes deoxidizing and etching as well as a zinc and nickel phosphate process before product painting.

Memory Retentive -Silicon Gasket

Provided with special injection molded "fit for purpose" long life high temperature memory retentive silicon gaskets. Maintains the gaskets exact profile and seal over years of use and compression.

Thermal management

LM6 Aluminum is used for its excellent mechanical strength and thermal dissipation properties in low and high ambient temperatures. The superior thermal heat sink design by Ligman used in conjunction with the driver, controls thermals below critical temperature range to ensure maximum luminous flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.

Surge Suppression

Standard 10kv surge suppressor provided with all fixtures.

BUG Rating

B1 - U0 - G1

Finishing

All Ligman products go through an extensive finishing process that includes fettling to improve paint adherence.

Paint

UV Stabilized 4.9Mil thick powder coat paint and baked at 200 Deg C. This process ensures that Ligman products can withstand harsh environments. Rated for use in natatoriums.

Hardware

Provided Hardware is Marine grade 316 Stainless steel.

Anti Seize Screw Holes

Tapped holes are infused with a special anti seize compound designed to prevent seizure of threaded connections, due to electrolysis from heat, corrosive atmospheres and moisture.

Crystal Clear Low Iron Glass Lens

Provided with tempered, impact resistant crystal clear low iron glass ensuring no green glass tinge.

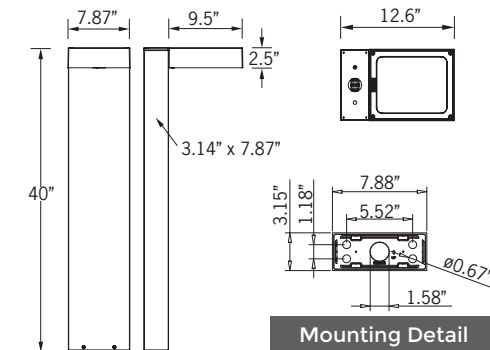
Optics & LED

Precise optic design provides exceptional light control and precise distribution of light. LED CRI > 80

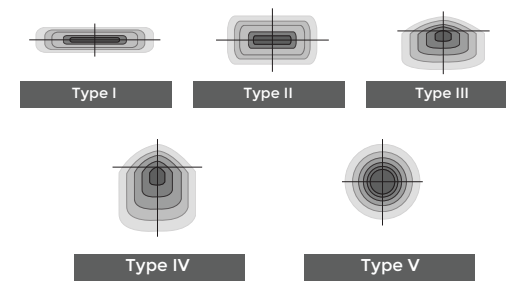
Lumen - Maintenance Life

L80 /B10 at 50,000 hours (This means that at least 90% of the LED still achieve 80% of their original flux)

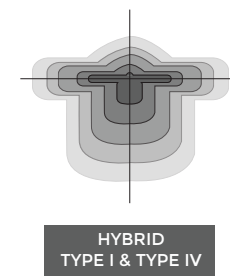
29w LED 2628 - 2656 Lumens
IP65 • Suitable For Wet Locations
IK07 • Impact Resistant (Vandal Resistant)
Weight 24.6 lbs



Ligman's micro Variable Optical System provides the ability to interchange, mix & rotate optics to provide specific light distributions for optimized spacing and uniformity.



The variable optic system allows for the designer to create hybrid distributions for precise lighting requirements.



Area distribution bollard-integrated projectors. Stylish but technically precise area lighting solutions as part of a large flexible family.

Light Linear PT Bollard is an elegant minimalist bollard that is suitable for both modern and classic architecture. Ideal for creating visual guidance with exceptional visual comfort. The dual sealed optical chamber with integrated heat sinks houses a range of field interchangeable optically controlled LED's, providing Type II, III, IV & V distribution, as well as variations of this for precise light distribution requirements. An example of this, is using a combination of Type II and Type IV distribution optics inside the same fixture. This product range is available in 29w and 55w options, as single & double head styles.

Customer specific wattages can be provided, contact the factory for more information. This luminaire complies to Dark Sky requirements. Bollards can be provided with GFCl boxes positioned to specific heights specified by the customer. Internal house side shields are available as an option.

Optional: Security Bollard:

The Light Linear Bollard is available as a traffic rated security bollard. This security bollard provides restraint of vehicular traffic in unauthorized areas. Impact calculations shows this bollard will stop a 5,500lb/2.75 tons vehicle, travelling at 30mph. For additional strength, the galvanized pole can be filled with concrete up to the waterproof driver housing to provide a solid concrete barrier.

Additional Options (Consult Factory For Pricing)



RGBW or Static Color Laser Cut Lettering, Logos & Designs (LLVT Bollard shown for visual reference)

Ligman can provide custom logos and signage in the Light Linear VT Bollard. The images above show this feature in the Light Linear VT Bollard

Ligman Lighting USA reserves the right to change specifications without prior notice, please contact factory for latest information. Due to the continual improvements in LED technology data and components may change without notice.

GEOTECHNICAL

Questions/comments:

December 26, 2018

Historical records retained in County indicated consistent high ground water table (drilled in June) and potentially liquefiable soils close to ground surface, contradicting some of the drilling records presented in the proposed geotechnical report. Moreover, the project geotechnical engineer is required to drill through the potentially liquefiable layer in order to provide reasonable liquefiable layer thickness and liquefaction settlement. Liquefaction analyses with settlement results shall be attached in the report. Drilling and analyses shall follow the instruction of SPECIAL PUBLICATION 117A by California Geological Survey. CEG license is required for this report.

February 25, 2019

Based on the report resubmittal, here is the follow-up review comments per County Geotechnical Section's peer review:

The provided estimates of liquefaction induced settlement warrants mitigation. The applicant's consultant shall provide recommendations for appropriate ground improvement that would mitigate the potential settlement, and other liquefaction induced hazards. The completed liquefaction analysis, including utilized parameters, that resulted in the 9 inch settlement value should be provided for supplemental review. The Consultant encountered very shallow (2-4' bgs) groundwater at the site and should consider the potential for ejecta during a seismic event. With shallow groundwater and shallow, potentially liquefiable, deposits, there is a high risk for ejecta, sand boils and loss of bearing, and a shallow foundation (rigid mat, slab, PT slab, etc) is not a suitable foundation unless the liquefiable soils are mitigated (densified, cemented, removed) to an acceptable level.

We recommend the Consultant advance additional subsurface boring(s) to evaluate the subsurface conditions that will need to be mitigated as part of site development. We find that the releveling of structures after a seismic event is not an acceptable form of liquefaction mitigation.

We also find that a shallow foundation design without any ground improvement is not within the standard of practice for sites impacted by over 5 inches of liquefaction induced settlement.

Response:

Additional borings have been completed to address the comments. Please see the attached report provided by Wayne Ing & Associates, Geotechnical Consultants.



Project No. 5264
5 May 2019

Ms. Fuli Li
1855 Sunshine Valley Road
Moss Beach, CA 94038

Subject: **UPDATE GEOTECHNICAL INVESTIGATION**
Proposed Single Family Structure
1855 Sunshine Valley Road
Moss Beach, California

- References:
1. Geotechnical Study
By Sigma Prime Geosciences, Inc, August 2018
 2. Guidelines for Evaluating and Mitigating Seismic Hazards in California
Special Publication 117A, Division of Mines and Geology, 2008
 3. Seismic Hazard Zone Report for the Montara Mountain 7.5-Minute
Quadrangle, San Mateo County, California, 2019
 4. Assessment of the Liquefaction Susceptibility of Fine-Grain Soils
By Jonathan D. Bray and Rodolfo B. Sancio, Journal of Geotechnical and
Geoenvironmental Engineering, ASCE, September 2006, pp.1165-1177
 5. Estimating Liquefaction-Induced Lateral Displacements Using the Standard
Penetration Test or Cone Penetration Test,
G. Zhang, P.K Robertson, M.ASCE, and R.W.I. Brachman

Dear Ms. Li:

In accordance with your authorization, **Wayne Ting & Associates, Inc. (WTAI)** has completed a geotechnical investigation for the proposed single family structure at the subject site. The purpose of this study was to investigate the subsurface conditions and obtain geotechnical data for use in the design and construction of the proposed single family structure. The scope of this investigation included the following:

- a. Review of Reference 1.
- b. A site and area reconnaissance by the Project Engineer.
- c. An excavation, logging and sampling of one exploratory boring.
- d. Laboratory testing of the selected soil samples.
- e. An engineering analysis of the data and information obtained.
- f. Preparation and writing of this report which presents our findings, conclusions, and recommendations.

CIVIL, DRAINAGE & STORMWATER

Questions/comments:

1. Survey Plan shall be stamped by California Registered Land Surveyor;
2. Drainage and Grading Plans shall be stamped by California Registered Civil Engineer;
3. Drainage plan shall show, in addition to the flow increase, the runoff volume increase the the location and size of the drainage device (pit, retention/detention, rain barrel, rain garden, etc.) that controls and stores the additional runoff, with at most a metered overflow to the street, away from the creek.

Response:

- 1: The survey is prepared and signed by a licensed surveyor, BGT Land Surveying. In making it scaled to fit my drawings, I did not include BGT's title bar with their stamp. Attached is the file for reference.
- 2 & 3: Please see new drawings, C-1 and C-2, and the Drainage Report provided by Sigma Prime, a California registered civil engineer.

