

0.07 0 0.04 0.07 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere
© Latitude Geographics Group Ltd.

1:2,257

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Planning and Building Department

Application for Design Review by the County Coastside Design Review Committee

County Government Center ■ 455 County Center ■ Redwood City CA 94063
Mail Drop PLN 122 ■ 650 • 363 • 4161 ■ FAX 650 • 363 • 4849

Permit #: PLN 2015-00157

Other Permit #: _____

1. Basic Information

Applicant:

Name: Chris Ridgway
Address: 670 Poplar Street
Half Moon Bay Zip: 94019
Phone, W: 650.622.6301 H: _____
Email: crarchitected@coastside.net

Owner (if different from Applicant):

Name: Larry Baker
Address: 185 Orval Ave.
Was Beach Zip: 94038
Phone, W: _____ H: 650.728.1653
Email: Larry.baker@standfordalumni.org

Architect or Designer (if different from Applicant):

Name: AMC
Address: _____ Zip: _____
Phone, W: _____ H: _____ Email: _____

2. Project Site Information

Project location:

APN: 037-223-110
Address: 185 Orval Ave.
Was Beach Zip: 94038
Zoning: R1/S17/DR/GH/CD
Parcel/lot size: 6,400 sq. ft.

Site Description:

- Vacant Parcel
- Existing Development (Please describe):
Existing one story home & garage

3. Project Description

Project:

- New Single Family Residence: _____ sq. ft
- Addition to Residence: 1,004 sq. ft
- Other: _____

Additional Permits Required:

- Certificate of Compliance Type A or Type B
- Coastal Development Permit
- Fence Height Exception (not permitted on coast)
- Grading Permit or Exemption
- Home Improvement Exception
- Non-Conforming Use Permit
- Off-Street Parking Exception
- Variance

Describe Project:

Expanding the existing 1st floor and adding a 2nd story.

4. Materials and Finish of Proposed Buildings or Structures

Fill in Blanks:	Material	Color/Finish <small>(If different from existing, attach sample)</small>	Check if matches existing
a. Exterior walls	Stucco	See Color Bd	<input type="checkbox"/>
b. Trim			<input type="checkbox"/>
c. Windows	Wood		<input type="checkbox"/>
d. Doors	Wood		<input type="checkbox"/>
e. Roof	Tile		<input type="checkbox"/>
f. Chimneys	Stucco		<input type="checkbox"/>
g. Decks & railings	Tile		<input type="checkbox"/>
h. Stairs			<input type="checkbox"/>
i. Retaining walls	WA		<input type="checkbox"/>
j. Fences	Wood		<input type="checkbox"/>
k. Accessory buildings	WA		<input type="checkbox"/>
l. Garage/Carport			<input type="checkbox"/>

5. Required Findings

To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

- (optional) Applicant's Statement of project compliance with standards and guidelines (check if attached).

6. Signatures

I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.

Owner: Laurence M. Baker

Applicant: [Signature]

Date: 4/8/2015

Date: 4/7/15

Environmental Information Disclosure Form

Planning and Building Department

PLN 2015-00157
 BLD _____

Project Address:
185 Orval Ave
Mass Beach CA 94038

Name of Owner: Larry Baker
 Address: 185 Orval Ave
Mass Beach 94038 Phone: 650.728.1653
 Name of Applicant: Chvr, Ridgway Architect Inc
 Address: 670 Poplar St
HMB CA 94019 Phone: 650.622.6301

Assessor's Parcel No.: _____
037-223-110
 Zoning District: R1/S17/DR/CH/CD

Existing Site Conditions

Parcel size: 6,400 sq ft
 Describe the extent and type of all existing development and uses on the project parcel, including the existence and purpose of any easements on the parcel, and a description of any natural features on the project parcel (i.e. steep terrain, creeks, vegetation).
Its a single family home on a flat sloping lot.

Environmental Review Checklist

1. California Environmental Quality Act (CEQA) Review

Yes	No	Will this project involve:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. Construction of a new multi-family residential structure having 5 or more units?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	c. Construction of a commercial structure > 2,500 sq.ft?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	d. Removal of mature tree(s) (≥ 6" d.b.h. in Emerald Lake Hills area or ≥ 12" d.b.h. in any residential zoning district)? If yes, how many trees to be removed? _____
<input type="checkbox"/>	<input type="checkbox"/>	e. Land clearing or grading? If yes, please state amount in cubic yards (c.y.): Excavation : _____ c.y. Fill: _____ c.y.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	f. Subdivision of land into 5 or more parcels?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	g. Construction within a State or County scenic corridor?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	h. Construction within a sensitive habitat?
<input checked="" type="checkbox"/>	<input type="checkbox"/>	i. Construction within a hazard area (i.e. seismic fault, landslide, flood)?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	j. Construction on a hazardous waste site (check with Co. Env. Health Division)?

Please explain all "Yes" answers:
A: Adding 1,004 sq ft of floor area to an existing 1,926 sq ft home
I: See Report

Signature required on reverse →

2. National Marine Fisheries Rule 4(d) Review

Yes	No	Will the project involve:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	a. Construction outside of the footprint of an existing, legal structure?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. Exterior construction within 100-feet of a stream?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	c. Construction, maintenance or use of a road, bridge, or trail on a stream bank or unstable hill slope?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	d. Land-use within a riparian area?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	e. Timber harvesting, mining, grazing or grading?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	f. Any work inside of a stream, riparian corridor, or shoreline?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	g. Release or capture of fish or commerce dealing with fish?

Please explain any "Yes" answers:

A: Addition on the 1st floor perimeter will be 153 sq ft.

3. National Pollutant Discharge Elimination System (NPDES) Review

Yes	No	Will the project involve:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	a. <u>A subdivision or Commercial / Industrial Development that will result in the addition or replacement of 10,000 sq. ft. or more of impervious surface?</u> If yes, Property Owner may be required to implement appropriate source control and site design measures and to design and implement stormwater treatment measures, to reduce the discharge of stormwater pollutants. Please consult the Current Planning Section for necessary forms and both construction and post-construction requirements.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. <u>Land disturbance of 1 acre or more of area?</u> If yes, Property Owner must file a Notice of Intent (NOI) to be covered under the statewide General Construction Activities Storm Water Permit (General Permit) prior to the commencement of construction activity. Proof of coverage under State permit must be demonstrated prior to the issuance of a building permit.

Certification

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and the facts, statements and information presented are true and correct to the best of my knowledge and belief. **If any of the facts represented here change, it is my responsibility to inform the County.**

Signed:



(Applicant may sign)

Date:

4/7/15

455 County Center, 2nd Floor, Redwood City, CA 94063
Mail Drop: PLN 122 • TEL (650) 363-4161 • FAX (650) 363-4849

Application for a Zoning Nonconformity Use Permit

Applicant's Name : Lawrence M. Baker

Primary Permit #: PLN2015-00157

Companion Page

1. Instructions

Please fill out the general Planning Permit Application Form and this form when applying for a Zoning Nonconformity Use Permit. You must also submit all items indicated on the checklist found on the reverse side of the Planning Permit Application Form, and, if applicable, a copy of a building permit or Assessor's records indicating that your nonconforming structure was built legally.

2. Project Information

This application is for:

- Expansion of a legal, nonconforming structure on a standard-sized parcel.
- Expansion of a legal, nonconforming structure on a substandard parcel.
- New nonconforming structure on a substandard parcel.
- New conforming structure on a substandard parcel per Zoning Regulations Section 6133.3(b).

Zoning: RI-517-DR-GH-C1D Existing nonconformity: Over setback in rear. See letter attached
 (Examples: 3 ft. side setback, 40% lot coverage)

Parcel size: 6400 Proposed nonconformity: _____

3. Required Findings

To approve this application, the County must determine that this project complies with all applicable regulations including the following specifically required finding:

1. That the establishment, maintenance and/or conducting of the use will not, under the circumstances of the particular case, be detrimental to the public welfare or injurious to property or improvements in the neighborhood. - See attached letter

The County must make four additional findings for projects involving substandard parcels:

- | | |
|--|---|
| <p>2. The proposed development is proportioned to the size of the parcel on which it is being built. <u>Yes, see letter</u></p> <p>3. All opportunities to acquire additional contiguous land have been investigated. <u>Yes</u></p> | <p>4. The proposed development is as nearly in conformance with the zoning regulations currently in effect as is reasonably possible. <u>Yes</u></p> <p>5. Use permit approval does not constitute a granting of special privileges. <u>It does not</u></p> |
|--|---|

Write a brief statement in which you present evidence to support the required findings.

See letter.

Application for a Coastal Development Permit

Companion Page (staff level)

Applicant's Name: _____

Primary Permit #: PLN 2015-00157

1. Instructions

Please fill out the general Planning Permit Application Form and this form when applying for a Coastal Development Permit. You must also submit all items indicated on the checklist found on the reverse side of the Planning Permit Application Form.

2. Basic Information

Does the owner or applicant own any adjacent property not listed?

Yes No

If yes, list Assessor's Parcel Number(s):

Have you or anyone else previously applied to either the County of San Mateo or the California Coastal Commission for a Coastal Development Permit for this or a similar project at this location?

Yes No

If yes, explain (include date and application file numbers).

3. Materials and Finish of Proposed Buildings or Structures

Note: By completing this section you do not need to file a separate application for Design Review Approval.

Fill in Blanks:

a. Exterior Walls

Material: Stucco

Color/Finish: See color pd

Check if matches existing

b. Trim

Material: No trim

c. Roof

Material: tile

d. Chimneys

Material: stucco

e. Accessory Buildings

Material: n/a

f. Decks/Stairs

Material: tile

g. Retaining Walls

Material: n/a

h. Fences

Material: bead

i. Storage Tanks

Material: n/a

4. Project Information

Does this project, the parcel on which it is located or the immediate vicinity involve or include:

- | | Yes | No |
|--|-------------------------------------|-------------------------------------|
| a. Demolition of existing housing units?
(If yes, give value of owner-occupied units or current monthly rent of rental units in explanation below.) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b. Creeks, streams, lakes or ponds? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| c. Wetlands (marshes, swamps, mudflats)? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| d. Beaches? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| e. Sand Dunes? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| f. Sea cliff, coastal bluffs or blufftops? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| g. Ridgetops? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| h. Pampas Grass, invasive brooms or Weedy Thistle? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| i. Removal of trees or vegetation? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| j. Grading or alteration of landforms? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| k. Landscaping? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| l. Signs? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| m. Phone or utility line extensions or connections, either above or below ground (explain which)? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| n. Areas subject to flooding? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| o. Development on slopes 30% or steeper? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

- | | | |
|--|--------------------------|-------------------------------------|
| p. Between the sea and the nearest public road? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| q. Existing or proposed provisions for public access to the shoreline? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| r. Public or commercial recreation facilities? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| s. Visitor-serving facilities? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| t. Existing or proposed public trail easements? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Explain all Yes answers below. Indicate whether the item applies to the project itself, the parcel on which it is located, or the immediate vicinity (attach additional sheets if necessary):

I: Only 1 shrub removed

m: The project is 25% of the (E) floor area & 50% of the assessed valuation of the building

5. Staff Use Only

California Coastal Commission Jurisdiction

A. Does the Proposed Project Involve:

- A subdivision, Certificate of Compliance Type B, Use Permit, or Planned Agricultural District Permit?
 Yes No
- Construction or grading within 100 feet of a stream or wetland?
 Yes No
- A parcel located between the sea and the first public through road paralleling the sea; 300 feet from the inland extent of any beach or mean high tide line if there is no beach; or within 300 feet of the top of the seaward face of a coastal bluff?
 Yes No

Yes to any one of the above means that the Coastal Development Permit is appealable to the Coastal

Commission; a public hearing is always required.

B. Does the proposed project involve lands below the mean high tide line and lands where the public trust may exist? (See "Post CCP Certification Permit and Appeal Jurisdiction Map).

Yes No

Yes to above means that the California Coastal Commission retains permit jurisdiction over all or part of the proposed project. A Coastal Development Permit from that agency is required.

Reviewed by: _____



ROOF TILE
 MCA OLD SANTA BARBARA OR
 U6 TILE EL CAMINO BLEND



B330-R Old Santa Barbara
 Blend

WALLS
 STUCCO PLASTER - KELLY MOORE:
 KM3490-1 "FRENCH SONNET"



KM3490-1 French Sonnet

FRONT DOOR & WOOD WINDOWS
 BENJAMIN MOORE: HC-137
 "MILL SPRING BLUE"



mill springs blue HC-137

GARAGE DOOR
 KELLY MOORE: KM3492-2 "PALE POLLEN"



KM3492-2 Pale Pollen

COURTYARD TILE
 CDM TILES - "ARCO6 (CLARO-NATURAL)
 SMOOTH"



Arco6 (Claro Natural) Smooth

DRIVEWAY
 TAN COLORED CONC WITH
 SQUARE TILES TO MATCH
 COURTYARD TILES



potter's clay 1221

VERANDA POSTS, RAILS & WOOD TRIM
 SANDBLASTED DOUGLAS FIR PAINTED WITH
 BENJAMIN MOORE: 1221 "POTTER'S CLAY"

COLOR BOARD

CHRIS RIDGWAY ARCHITECT, INC.
PROJECT: BAKER
4-1-15



PLN 2015-00157



LightingDirect.com
A Build.com Network Site

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Home Ceiling Lights Wall Lights Outdoor Lights Ceiling Fans Lamps Home Decor Brands Sales Shop Style



Bathroom Lights



Chandeliers



Pendant Lights



Wall Lights



Ceiling Lights



Ceiling Fans



Lamps



Outdoor Lights

You are Home > Outdoor Lights > All Outdoor Lighting > Troy Lighting BFIH6910

Back to Search Results Print Page

Troy Lighting BFIH6910OB Oil Rubbed Bronze Highland Park 1 Light CFL Energy Star Dark Sky Outdoor Wall Sconce

Item #: BCI1598303



View the entire Highland Park Collection

\$378.00 - \$424.00

Originally \$472.50 - \$530.00. You Save 20%

Be the first to review this product



Ships to Canada



Compare

Shipping: Free Shipping! See Details

Finish: Oil Rubbed Bronze - \$378.00

Tech Specs

Backordered

Ships in 3 to 4 weeks

Qty

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Product Videos



Do It Yourself: Installing an Outdoor Wall Sconce

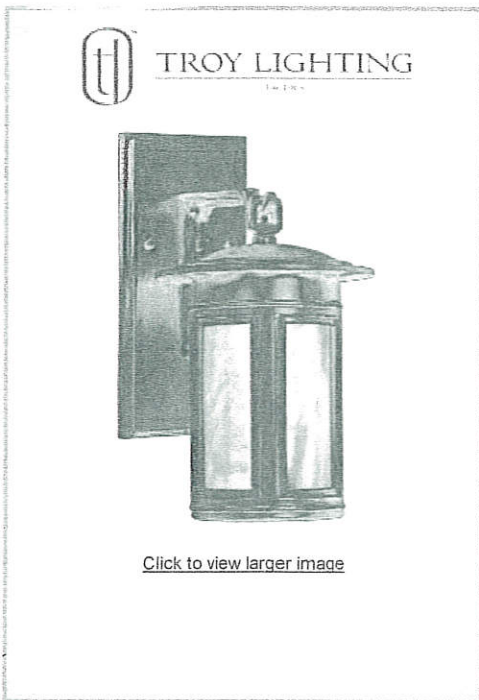
Product Details for the Troy Lighting BFIH6910OB in Oil Rubbed Bronze

Features:

- Durable brass material
- Bulb included: Yes
- Rated for wet locations

Dimensions:

- Height: 12.75"
- Width: 8"



Click to view larger image

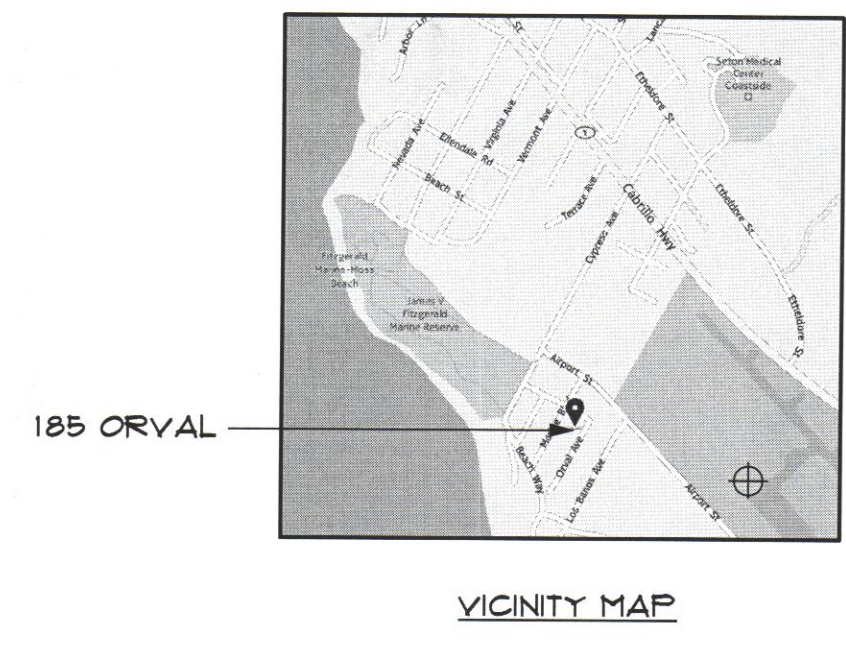
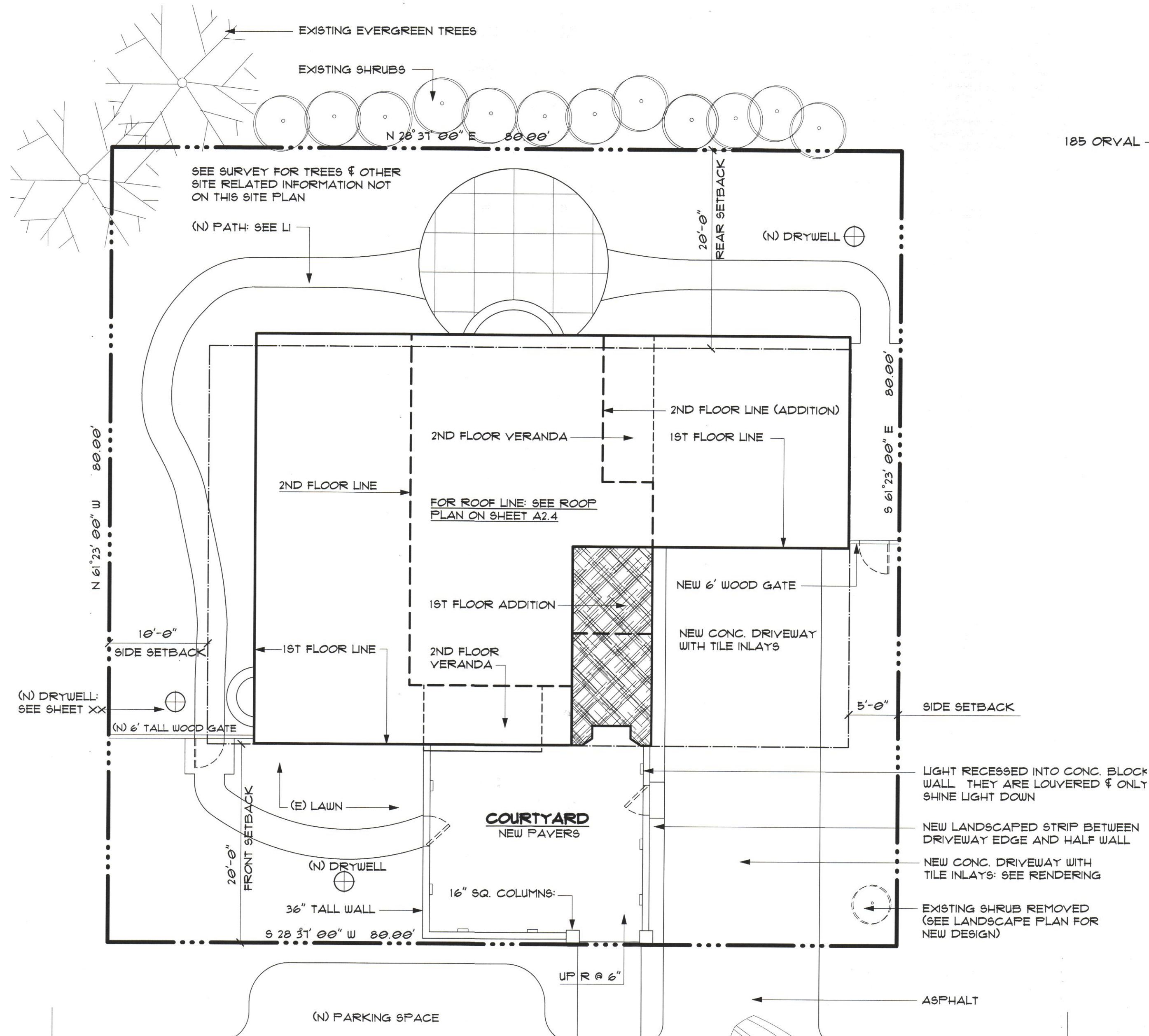
Related Items



Troy Lighting FF6913
Highland Park 1 Light CFL
Outdoor Lantern Pendant
\$402.00

Troy Lighting BFIH6910 Technical Specs

Base Color	Bronze, Nickel
Bulb Base	GU24
Bulb Included	Yes
Bulb Type	Compact Fluorescent
CUL Listed	Yes
Collection	Highland Park



ALL CONSTRUCTION SHALL CONFORM TO:
 2013 CALIFORNIA RESIDENTIAL CODE
 2013 CALIFORNIA BUILDING CODE
 2013 CALIFORNIA MECHANICAL CODE
 2013 CALIFORNIA PLUMBING CODE
 2013 CALIFORNIA FIRE CODE
 2013 CALIFORNIA ELECTRICAL CODE
 2013 CALIFORNIA ENERGY CODE
 2013 CALGREEN BUILDING CODE STANDARDS

OCCUPANCY GROUP: R3-U
 TYPE OF CONSTRUCTION: TYPE V-B
 SCOPE OF WORK: EXPANDING THE 1ST FLOOR AND ADDING A 2ND STORY

THE COUNTY OF SAN MATEO HAS PASSED AN ORDINANCE THAT NEW CONSTRUCTION AND MAJOR ADDITIONS AND REMODELS (50% OR MORE IN VALUATION WILL REQUIRE THE "BUILD IT GREEN" ENVIRONMENTAL SYSTEM. SEE SHEET A1.4

REMODEL WILL REQUIRE AN AUTOMATIC FIRE SPRINKLER SYSTEM. CONTRACTOR MUST HAVE A C-16 LICENSE TO INSTALL DESIGN. FIRE HYDRANT COMPLIANCE MUST BE CHECKED

LIST OF DRAWINGS
FOR DESIGN REVIEW

A1.1	SITE PLAN
LI	LANDSCAPE PLAN
SU-1	SURVEY
A2.1	NEW FIRST FLOOR PLAN
A2.2	NEW SECOND FLOOR PLAN
A2.3	EXISTING FIRST FLOOR PLAN
A2.4	ROOF PLAN
A3.1	ELEVATIONS
A3.2	ELEVATIONS
A4.1	SECTION

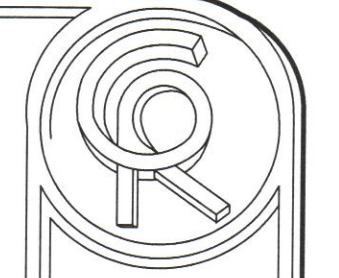
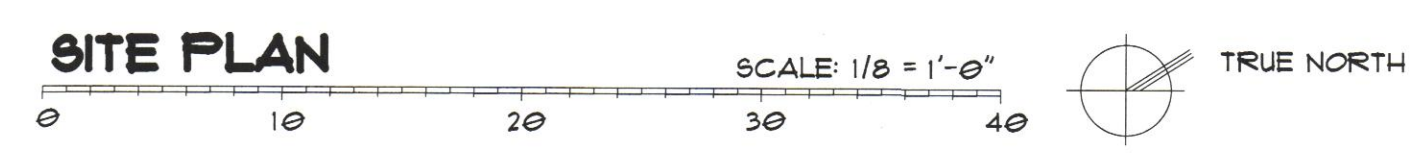
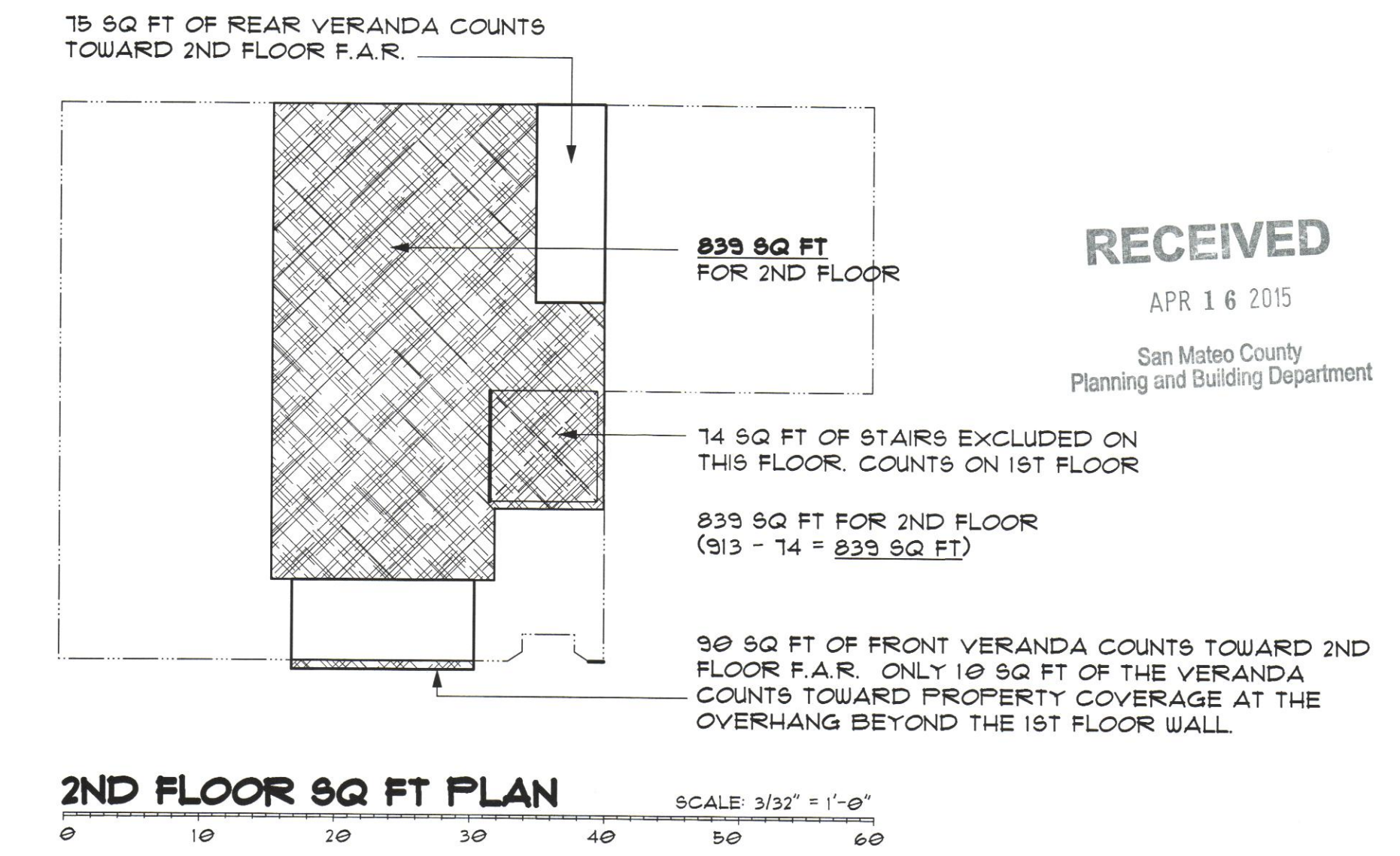
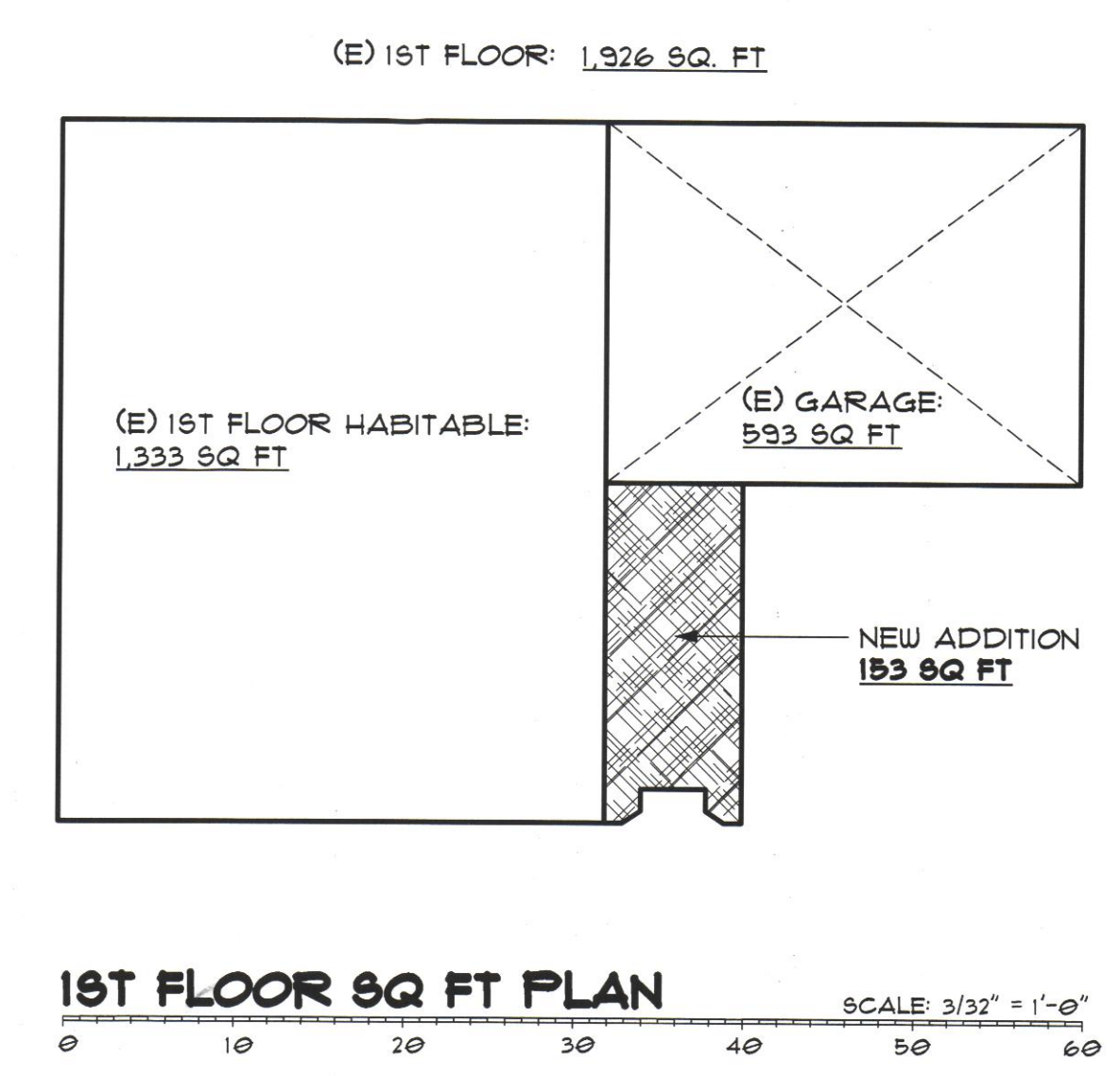
SITE COVERAGE	AREA INCLUDED		SQUARE FOOTAGE	PLANNING DEPARTMENT: COUNTY OF SAN MATEO PLANNER WHO GAVE THE INFORMATION: CAMILLE LEUNG ZONING: R-1/S-11/DR/GH/CD A.P.N. #: 037-223-110 ASSOCIATE WHO CHECKED THE REGULATIONS: CCR & LRG
	FLOOR AREA	N		
X	X	1,333	EXISTING 1ST FLOOR (EXCLUDING GARAGE)	
X	X	593	EXISTING GARAGE	
X	X	1,926	TOTAL EXISTING 1ST FLOOR	
X	X	153	NEW 1ST FLOOR ADDITION	
X		833	NEW 2ND FLOOR ADDITION (INCLUDING VERANDAS)	
		932	NEW PROPOSED TOTAL ADDITION	
X		2,918	PROPOSED TOTAL FLOOR AREA (1,926 + 992)	

2,918	OUR FLOOR AREA
53%	PERCENTAGE OF FLOOR AREA ALLOWED
6,400	LOT SIZE
3,392	MAXIMUM F.A.R. ALLOWED
474	REMAINING F.A.R. AVAILABLE

SQUARE FEET AREA FOR PROPERTY COVERAGE			
X		2,019	PROPOSED TOTAL 1ST FLOOR (INCLUDING GARAGE)
X		10	NEW 2ND STORY VERANDA: SEE DIAGRAM
		2,029	PROPOSED TOTAL PROPERTY COVERAGE

2,029	OUR SITE COVERAGE
35%	PERCENTAGE OF SITE COVERAGE
6,400	LOT SIZE
2,240	MAXIMUM SITE COVERAGE ALLOWED
151	REMAINING LOT COVERAGE AVAILABLE

THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) STATES THAT IF THE ADDITION IS EQUAL TO OR LESS THAN THE EXISTING FLOOR AREA, WE DON'T NEED A NEGATIVE DECLARATION. THE EXISTING HOUSE AND GARAGE EQUALS 1,926 SQ. FT. THE NEW ADDITION INCLUDING VERANDAS EQUAL 1,024 SQ. FT. WE ARE UNDER 50%; THEREFORE, A NEGATIVE DECLARATION IS NOT REQUIRED



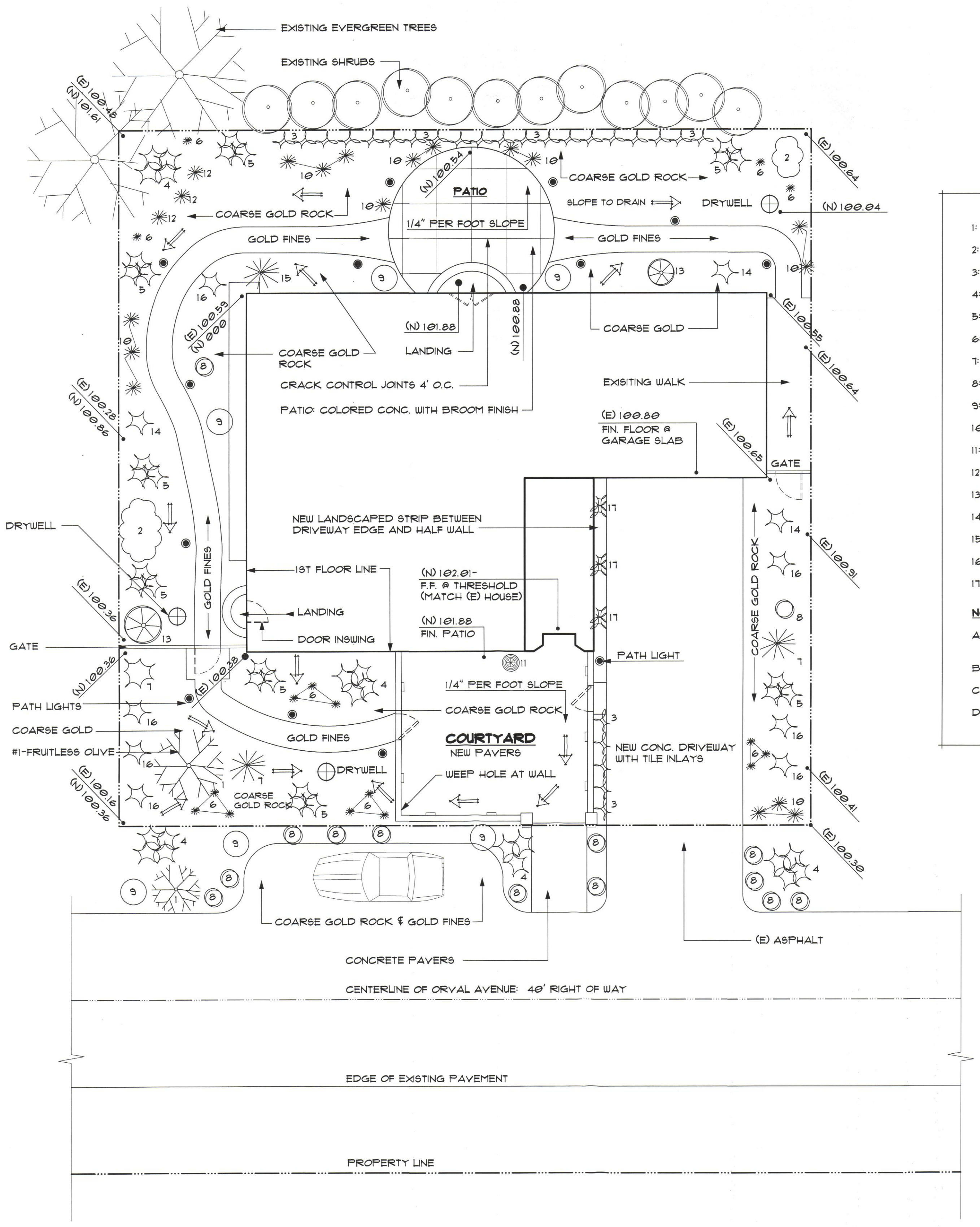
CHRIS RIDGWAY ARCHITECT, INC.
 616 POPLAR STREET, HALF MOON BAY, CA. 94019
 PH: 650.672.6301 WEB SITE: CRARCHITECT.NET
 EMAIL: CRARCHITECT@COASTSIDE.NET

NEW REMODEL 2ND STORY ADDITION FOR:
LARRY BAKER
 185 ORVAL AVENUE, MOSS BEACH, CA. 94038

JOB # 1401
 SCALE AS NOTED
 DATE 04/01/15

SHEET
A1.1

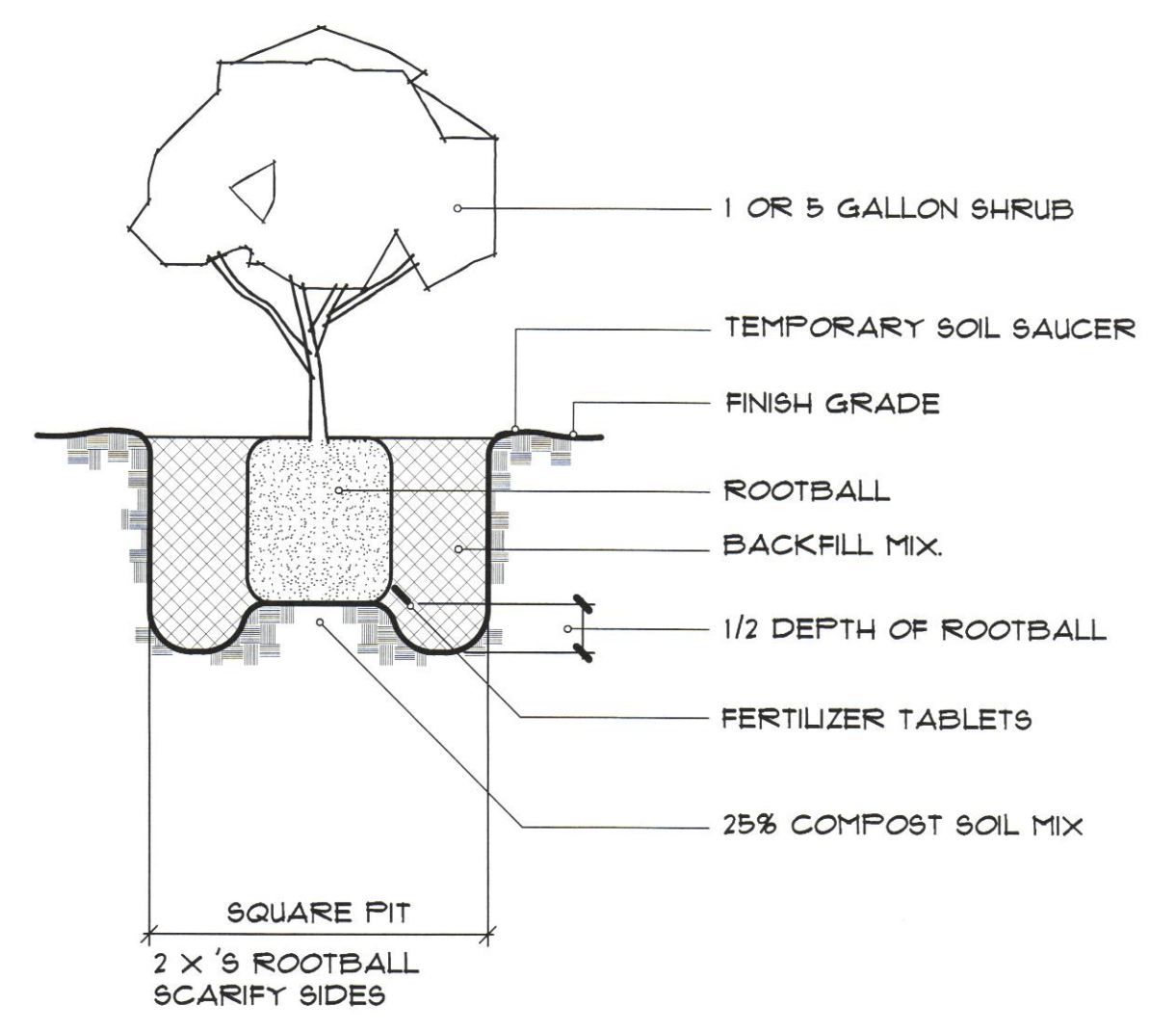
PLN 2015-00157



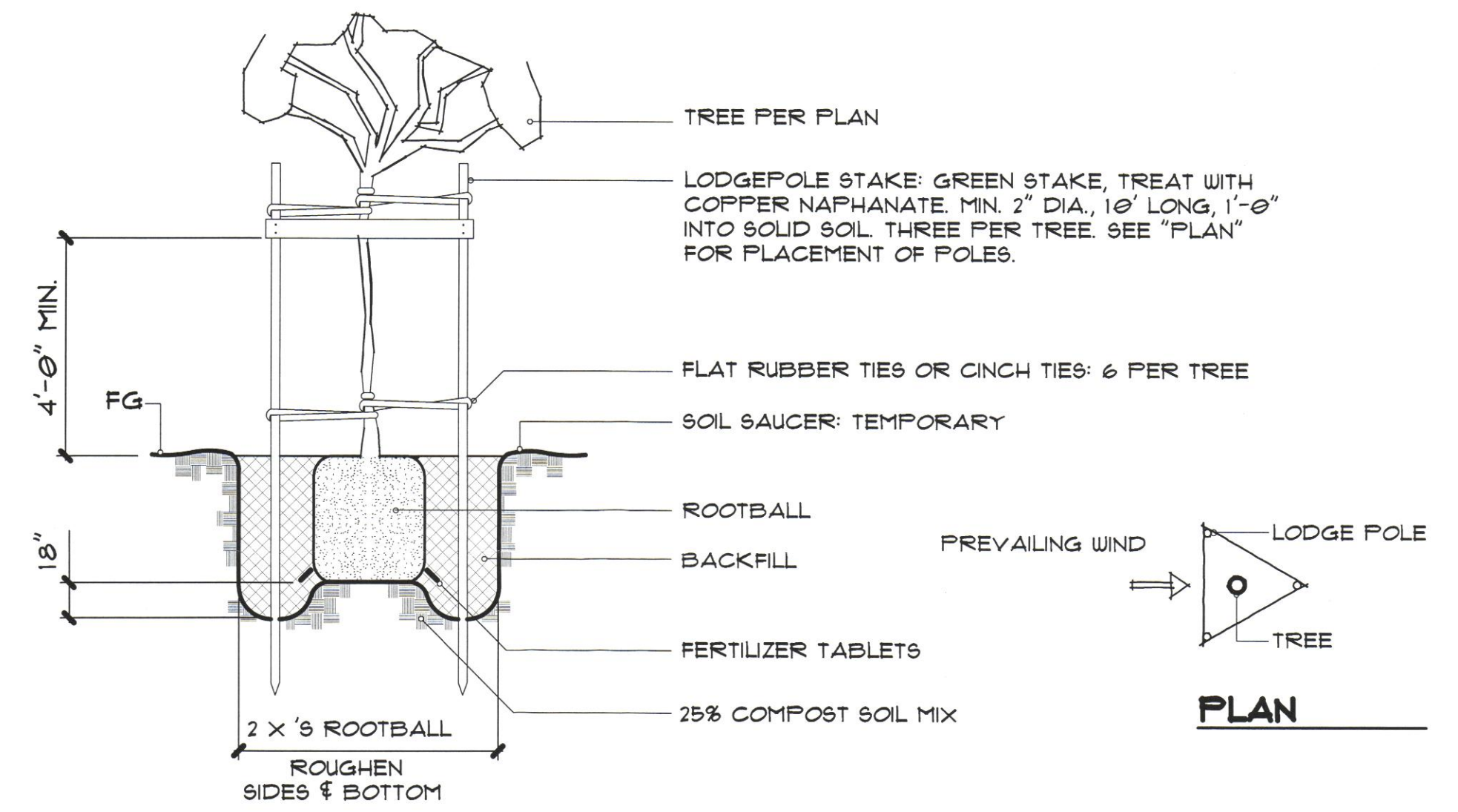
- LEGEND**
- 1: FRUITLESS OLIVE OLEA EUROPACA "MAJESTIC BEAUTY"
 - 2: MEYER LEMON
 - 3: STAR JASMINE (GROW ONTO TRELIS ON FENCE)
 - 4: ECHIU "PRIDE OF MADERA"
 - 5: CISTUS PURPUREA
 - 6: PHORMIUM "RAINBOW DWARF"
 - 7: COTONEASTER
 - 8: LAVENDER
 - 9: SALVIA LEUCANTHA
 - 10: ORNAMENTAL GRASS (STIPA)
 - 11: SPIRAL JUNIPER IN POT
 - 12: ECHEVERIA (CHICKEN HENS)
 - 13: CEANOTHUS "RAY HARTMAN"
 - 14: CAPE FUSCHIA
 - 15: ROSEMARY
 - 16: EUPHORBIA VARIAGATA (GOPHER PLANT)
 - 17: PODOCARPUS MACROPHYLLA
- NOTE:**
- A: COARSE GOLD IS GRAVEL FOR LAWN REPLACEMENT LIKE THAT ON DRIVEWAY ACROSS THE STREET
 - B: GOLD FINES IS PATHWAY GRAVEL
 - C: ALL LAWN REMOVED COVERED WITH WEED STOP
 - D: ALL PLANTING HOLES PREPARED WITH REDWOOD COMPOST 25%

FOR DRYWELL DETAIL AND INFORMATION, SEE EROSION CONTROL PLAN ON SHEET AXX

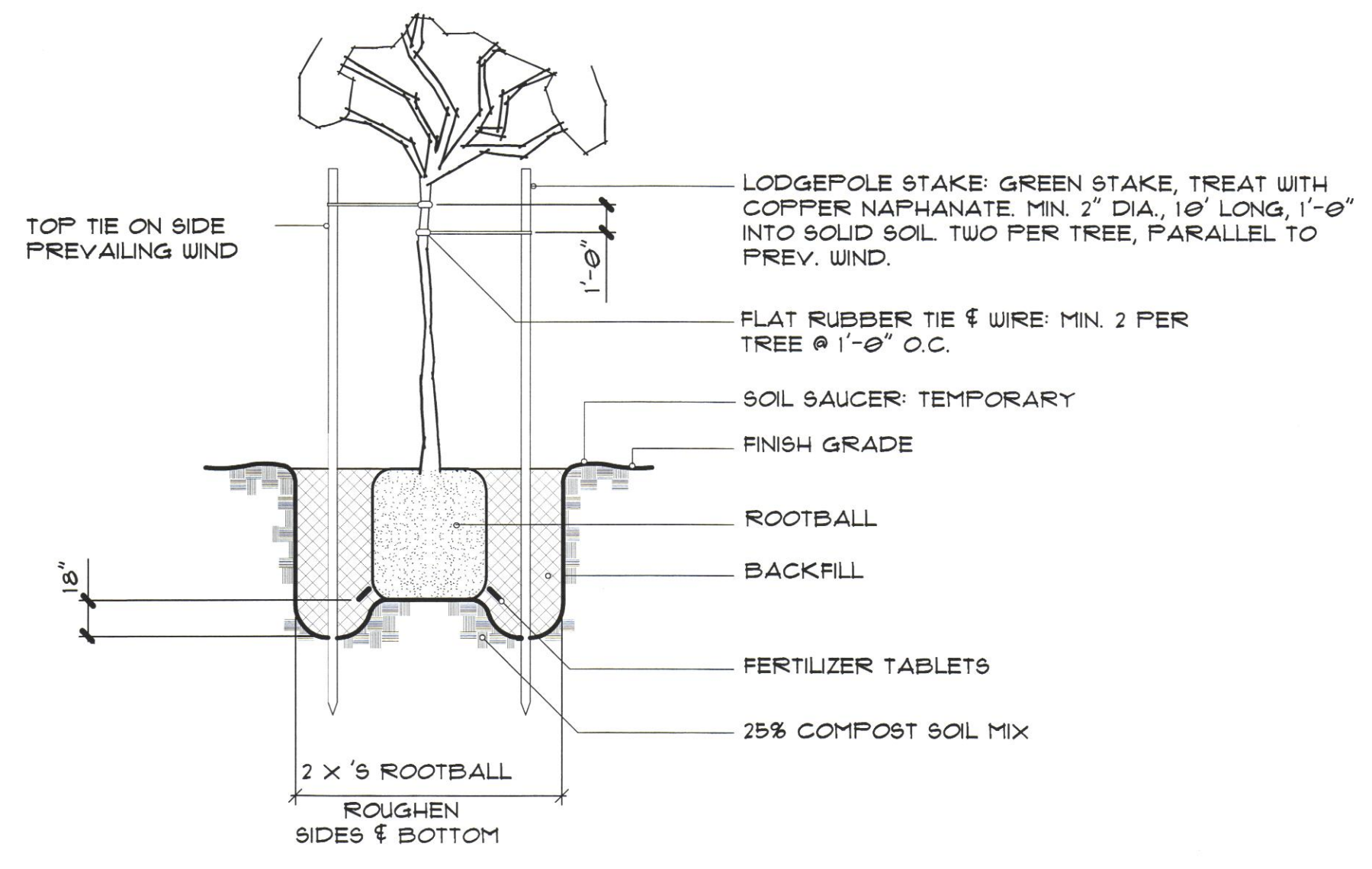
- LEGEND**
- LOW VOLTAGE PATH LIGHT
 - ⇒ SLOPE TO DRAIN
 - SPOT ELEVATION
 - ⊕ DRYWELL



SHRUB PLANTING DETAIL NOT TO SCALE



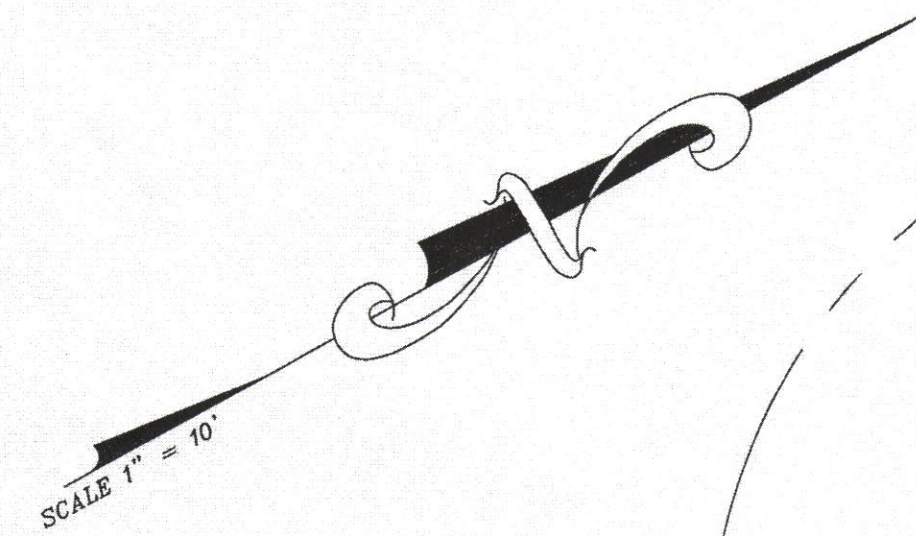
BOX TREE STAKING DETAIL NOT TO SCALE



TREE STAKING DETAIL NOT TO SCALE

LANDSCAPE PLAN SCALE: 1/8" = 1'-0"
 0 10 20 30 40 TRUE NORTH

MARINE BOULEVARD (40' R/W)



LOT 5 LOT 4 LOT 3 LOT 2 LOT 1

LOT 18 LOT 17 LOT 16 LOT 15 LOT 14

DOC. NO. 92207667 O.R.
AREA = 6,400 SQ. FT.

PARK WAY (40' R/W)

B L O C K 2

B L O C K 6

BASIS OF ELEVATIONS:

ELEVATIONS ARE BASED UPON AN ASSUMED DATUM.
TBM: SET MAG NAIL & SHINER
ELEVATION = 100.00

BASIS OF BEARINGS:

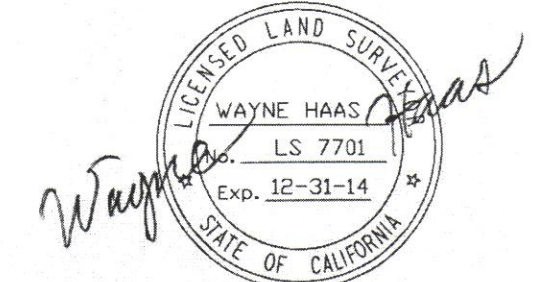
THE BEARING, S28°37'00"W OF ORVAL AVENUE AS SHOWN ON 6 MAPS 69 AND CORNER RECORD #1548 WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS SURVEY.

LEGEND:

- FOUND MONUMENT AS NOTED
- () RECORD DATA PER CORNER RECORD #1548
- A/C ASPHALTIC CONCRETE
- B/W BACK OF WALK
- CB CATCH BASIN
- CIP CAST IRON PIPE
- CMIP CORRUGATED METAL PIPE
- CONC CONCRETE
- CO CLEAN-OUT
- DI DROP INLET
- EM ELECTRIC METER
- FF FINISHED FLOOR
- FL FLOW LINE
- FLH FIRE HYDRANT
- GA GUY ANCHOR
- GM GAS METER
- GRD GROUND
- HCR HANDICAP RAMP
- INV. INVERT
- IP IRON PIPE
- LAT. LATERAL
- LO LIP OF GUTTER
- O/H OVERHEAD
- P.U.E. PUBLIC UTILITIES EASEMENT
- RCP REINFORCED CONCRETE PIPE
- R/WALL RETAINING WALL
- R/W RIGHT OF WAY
- SSCO SANITARY SEWER CLEAN-OUT
- SSMH SANITARY SEWER MANHOLE
- SDMH STORM DRAIN MANHOLE
- TBC TOP BACK OF CURB
- T/W TOP OF WALL
- U/G UNDERGROUND
- VCP VITRIFIED CLAY PIPE
- WV WATER VALVE
- WM WATER METER BOX
- C- CABLE TELEVISION LINE
- E- ELECTRICAL LINE
- G- GAS LINE
- SS- SANITARY SEWER LINE
- SD- STORM DRAIN LINE
- T- TELEPHONE LINE
- W- WATER LINE

UTILITY NOTE:

THE UTILITIES EXISTING ON THE SURFACE AND SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. ALL UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE FROM RECORDS OF THE VARIOUS UTILITY COMPANIES AND THE SURVEYOR DOES NOT ASSUME RESPONSIBILITY FOR THEIR COMPLETENESS, INDICATED LOCATION, OR SIZE. RECORD UTILITY LOCATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.



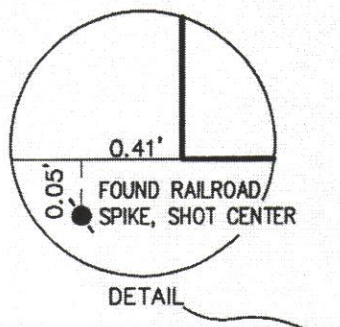
EXISTING HOUSE LOCATION SURVEY

DOC. NO. 92207667 O.R.
BEING LOT 15 & 16, BLOCK 5
"MARINE VIEW BEACH"
VOLUME 6 OF MAPS AT PAGE 69
ASSESSOR'S PARCEL NUMBER: 037-223-110
(185 ORVAL AVE.)

MOSS BEACH SAN MATEO COUNTY CALIFORNIA
SCALE: 1" = 10' MARCH, 2014

B & H SURVEYING, INC.
PROFESSIONAL LAND SURVEYING
901 WALTERMIRE ST.
BELMONT, CA 94002
OFFICE (850) 637-1590
FAX (850) 637-1059

FOUND 3/4" IP WITH PLASTIC PLUG & TACK (LS 5304) PER CR #1548



+ 100.28
SET MAG NAIL AND SHINER

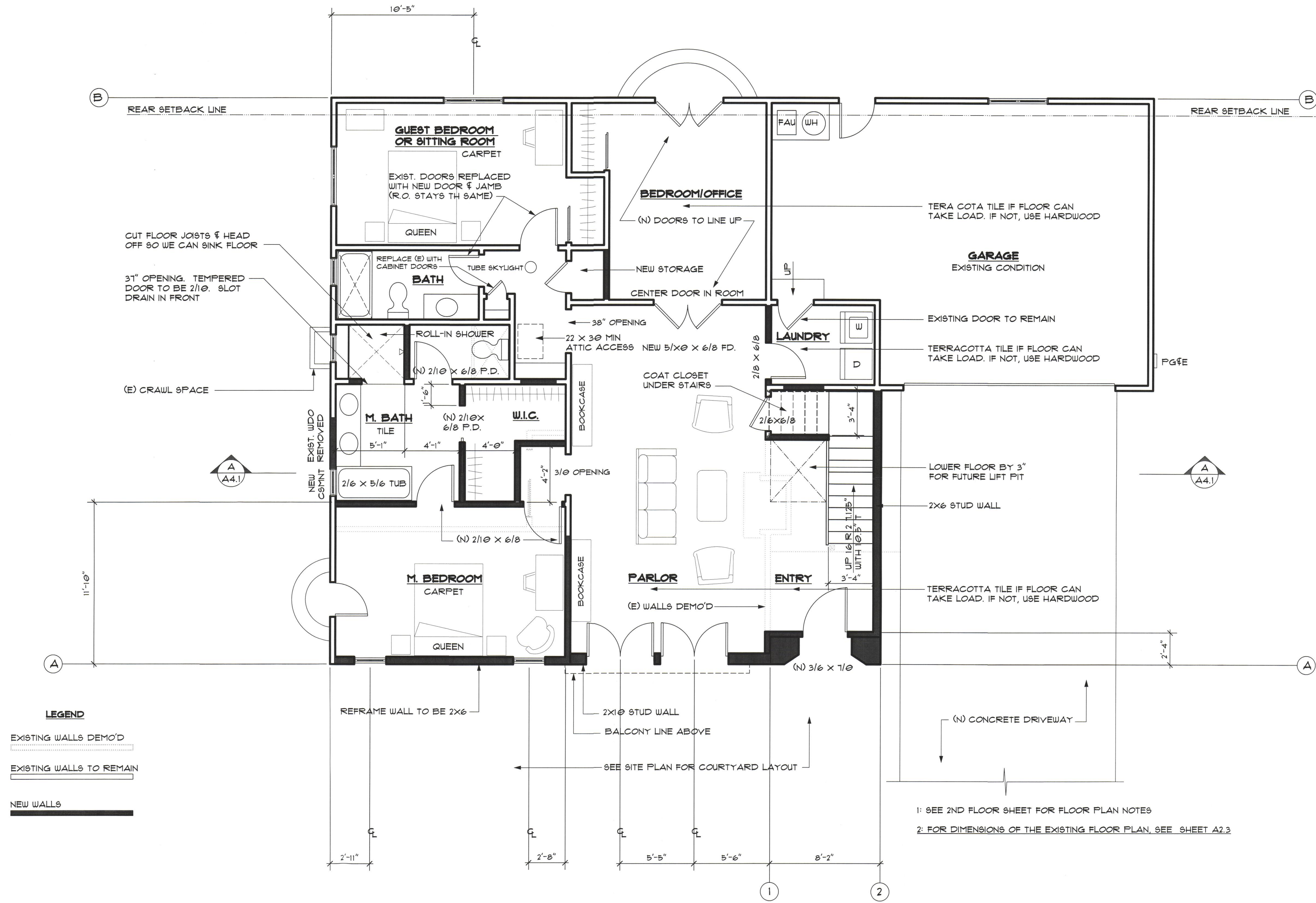
TBM
100.00
SET MAG NAIL AND SHINER

FOUND 3/4" IP WITH PLASTIC PLUG, NO TACK SHOT CENTER (LS 3544) PER CORNER RECORD #1548

100.59
FOUND 1" IP WITH PLASTIC PLUG, NO TACK (LS 3820) PER CR #1548

BASIS OF BEARINGS
S28°37'00"W

ORVAL AVENUE (40' R/W)



NEW 1ST FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 TRUE NORTH

1: SEE 2ND FLOOR SHEET FOR FLOOR PLAN NOTES
 2: FOR DIMENSIONS OF THE EXISTING FLOOR PLAN, SEE SHEET A2.3

LEGEND
 --- EXISTING WALLS DEMO'D
 --- EXISTING WALLS TO REMAIN
 --- NEW WALLS

JOB # 1401
 SCALE AS NOTED
 DATE 04/01/15

SHEET
A2.1

SITE VISITS

THE ARCHITECT AND ENGINEER MUST HAVE SITE OBSERVATIONS.

THE WORK SHALL BE INSPECTED BY THE LOCAL BUILDING DEPARTMENT PER U.B.C. REQUIREMENTS

THE CONTRACTOR SHALL KEEP THE ARCHITECT ABREAST OF THE SCHEDULE OF CONSTRUCTION AND NOTIFY HIM IN ADVANCE ABOUT MEETINGS AT WHICH HE WILL NEED TO BE PRESENT. IF THERE IS A QUESTION ABOUT THE INTENT OF THE PLANS, THE ARCHITECT SHALL BE NOTIFIED BEFORE PROCEEDING WITH THE WORK. THE ARCHITECT'S VISITS WILL HELP THE CONTRACTOR UNDERSTAND THE POTENTIAL PROBLEMS. SINCE THE ARCHITECT'S VISITS TO THE JOB SITE ARE LIMITED AND BRIEF, HE CANNOT POSSIBLY VERIFY THAT ALL THINGS ADHERE TO THE PLANS. IT IS THE CONTRACTOR'S OBLIGATION TO BUILD PER THE PLANS, PER BUILDING CODES AND USE SOUND BUILDING PRACTICES. LISTED BELOW ARE SOME GENERAL MEETINGS THAT ARE MANDATORY. THE ARCHITECT AND THE CONTRACTOR SHALL DISCUSS WHAT OTHER MEETINGS ARE NECESSARY FOR THE CONSTRUCTION TO BE DONE CORRECTLY.

THE CONTRACTOR MUST CONTACT THE SOILS ENGINEER AND SET UP MEETINGS AS CALLED FOR IN THE SOILS REPORT. SEE NOTES ON STRUCTURAL SHEETS AND SOILS REPORT FOR FURTHER MEETINGS.

THE ARCHITECT SHALL VISIT THE JOB SITE DURING THE FORMING OF THE FOUNDATION. THE FLOOR HEIGHT SHALL BE VERIFIED. THE STRUCTURAL ENGINEER WILL REVIEW THE FOUNDATION ONCE ALL THE REINFORCING IS IN PLACE.

THE ARCHITECT AND ENGINEER SHALL VISIT THE JOB SITE DURING THE INSTALLATION OF THE SECOND FLOOR JOISTS TO OBSERVE THE WORK AND REVIEW THE SECOND FLOOR WALLS AND THE ROOF FRAMING TO COME.

THE ARCHITECT & ENGINEER SHALL VISIT THE SITE DURING THE ROOF FRAMING TO OBSERVE THE WORK.

THERE SHALL BE A MEETING BETWEEN THE ARCHITECT AND ROOFING CONTRACTOR TO DISCUSS THE ROOF AND ITS FLASHING

THERE WILL NEED TO BE MEETINGS TO REVIEW THE FINISH WORK, AS DECIDED BETWEEN THE OWNER, ARCHITECT AND CONTRACTOR, OR AS MENTIONED LATER IN THESE SPECIFICATIONS.

MEETING FOR THE PUNCH LIST.

VERIFY

VERIFY ALL DIMENSIONS IN FIELD. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ARCHITECT IMMEDIATELY OF ANY CONFLICTS, DISCREPANCIES, OMISSIONS AND/OR ANY OTHER CONDITION THAT MAY AFFECT, OR PREVENT THE FULL IMPLEMENTATION AND ACCURATE EXECUTION OF THE WORK IDENTIFIED WITHIN THESE DRAWINGS. DO NOT SCALE PLANS.

ALL DIMENSIONS ARE TO THE FACE OF STUD (F.O.S.) UNLESS OTHERWISE NOTED.

THE ARCHITECT AND ENGINEER MUST HAVE SITE OBSERVATIONS

GYP BOARD

USE 5/8" GYP BOARD ON ALL WALLS & CEILING UNLESS NOTE OTHERWISE. GYP BOARD SHALL BE ATTACHED WITH SCREWS.

5/8" TYPE X GYPBOARD ON WALL BETWEEN GARAGE & HOUSE.

IF THERE IS A SECOND FLOOR ABOVE THE GARAGE, USE 5/8" TYPE X GYPBOARD ON CEILING

ACCESS PANELS

ATTIC ACCESS PANEL 30 INCH X 36 INCH MINIMUM & ADEQUATE TO REMOVE FURNACE. MIN. UNDER FLOOR ACCESS PANEL 24" X 24"

PLUMBING

WATER HEATER WITH APPROVED SEISMIC STRAPPING TO PROPERLY FASTEN TO WALL FRAMING.

WATER HEATER INSIDE THE HOUSE SHALL HAVE G.I. SAFETY PANS AND 3/4 DIAMETER COPPER DRAIN LINES TERMINATING OUTSIDE OF BUILDING.

WATER HEATER SHALL BE INSULATED TO A COMBINED LEVEL OF R-16, WHEN BOTH INTERNAL INSULATION AND EXTERNAL WRAP INSULATION ARE CONSIDERED.

PLUMBING WASTE LINE IS BETWEEN THE SECOND FLOOR JOISTS AND THEN GOES DOWN THE EXTERIOR WALL. VERIFY THAT ALL WASTE LINES CAN GET DOWN. CHECK WITH STRUCTURAL ENGINEER.

PLUMBING VENT FROM BELOW CHECK THAT THE VENTS CAN ALL GET UP TO ROOF AND THAT THEY ARE NOT NEAR AN OPERABLE SKYLIGHT.

NO ABS OR PVC PLUMBING FOR THE WASTE AND VENT PIPING.

BATHROOMS

SHOWER DOOR AND ENCLOSURE TO BE TEMPERED

TILE SHOWER FLOOR AND CURB OVER WATER-PROOF PAN WITH FRAMELESS GLASS SHOWER ENCLOSURE.

3/8" FINISHED SHOWER WALL HEIGHT (MIN. 12" ABOVE THE DRAIN). WALL COVERING SHALL BE TILE OR APPROVED EQUAL MATERIALS OTHER THAN STRUCTURAL ELEMENTS TO BE MOISTURE RESISTANT.

SHOWER TO BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE.

LOW FLOW SHOWER HEAD WITH ANTI-SCALD VALVE. HEAD TO HAVE MAX FLOW OF 2.5 GPM AND FAUCETS TO HAVE MAX FLOW OF 2.2 GPM.

LOW FLUSH TOILET AT 1.28 GALLONS PER FLUSH. MUST HAVE MIN. 24" CLEAR IN FRONT OF TOILET. MIN 15" CLEAR FROM CENTER OF TOILET TO SIDES. SEE PLANS

WALLS & CEILINGS TO BE 5/8" GYP BOARD.

GUARD RAILS

GUARD RAILS SHALL BE NO LESS THAN 42" ABOVE FINISH FLOOR. ALL RAILINGS SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL PATTERN SUCH AS A SPHERE OF 4" IN DIAMETER. SHALL NOT PASS THROUGH

GUARDRAILS ARE ONLY REQUIRED IN LOCATIONS WHICH ARE MORE THAN 30" ABOVE GRADE OR THE FLOOR BELOW

ON EXTERIOR RAILINGS REVIEW ANCHORING OF BALUSTERS IN FIELD WITH THE STRUCTURAL ENGINEER. TAKE EXTRA CARE IN WATERPROOFING AROUND THE BALUSTERS SINCE THEY ARE PRONE TO LEAKING. REVIEW DETAIL WITH ARCHITECT

STAIR

ALL STAIRS TO HAVE A HANDRAIL (UNLESS OTHERWISE NOTED) THAT SHALL BE NO LESS THAN 1 1/4" & NO GREATER THAN 2" PROJECTING NO LESS THAN 1 1/2" FROM THE WALL - THE HANDRAIL SHALL BE A MINIMUM OF 34" MAX OF 38" TALL. THE HANDRAIL SHALL GO THE FULL LENGTH OF THE STAIRS WHERE THE HANDRAIL ALSO FORMS A RAILING IT SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL PATTERN SUCH AS A SPHERE OF 4" IN DIAMETER. SHALL NOT PASS THROUGH

ON EXTERIOR STAIRS USE 6 INCH RISERS AND 14 INCH TREAD

STAIRWAYS HAVING LESS THAN 4 RISERS AND SERVING ONE DWELLING UNIT IN GROUP R, DIVISION 1 OR 3, NEED NOT HAVE HANDRAILS (CBC 1003.3.3.6)

5/8" TYPE 'X' GYP. BOARD ON THE WALLS & SOFFITS FOR THE ENCLOSED CLOSET SPACE UNDER STAIRS & INSTALL FIRE BLOCKS UNDER STAIRS

STAIRS SHALL HAVE A MINIMUM OF 6' 8" HEADROOM HEIGHT

36" MIN STAIR WIDTH

WATERPROOFING FOR BALCONY

WATERPROOF MEMBRANE - ROOFING TO BE CERTAINTED FLINTLASTIC GTA, MOIRE BLACK, OVER CERTAINTED APP TORCH MODIFIED BITUMEN ROOFING MEMBRANE OVER CERTAINTED GLASSBASE ASPHALT COATED FIBERGLASS BASE SHEET. ALL ROOFING SHALL BE APPLIED IN ACCORDANCE WITH INSTALLATION PROCEDURES CONTAINED IN THE CERTAINTED COMMERCIAL ROOF SYSTEMS SPECIFICATION MANUAL

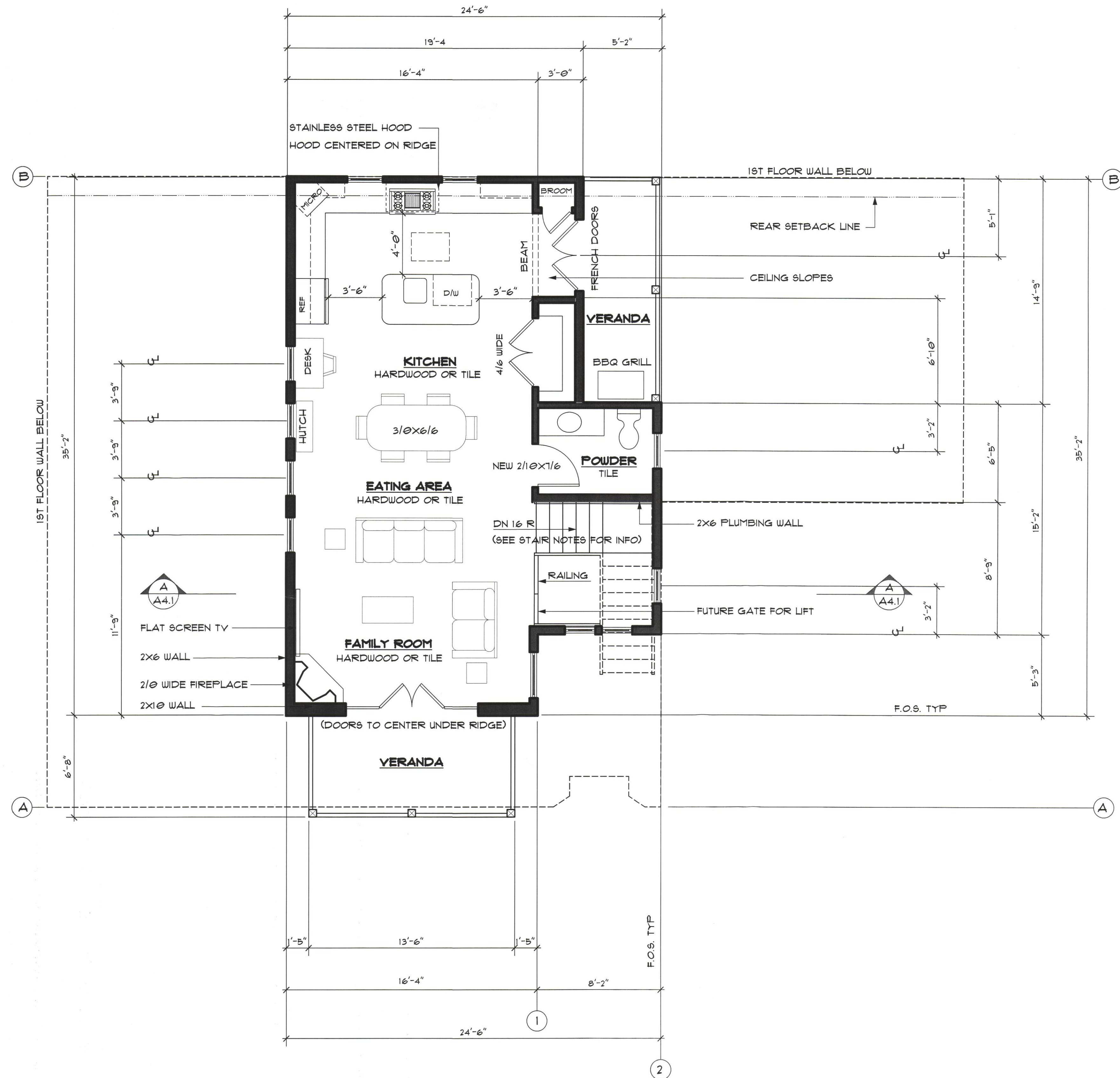
APPLICABLE STANDARDS: FLINTLASTIC GTA IS APPROVED BY UNDERWRITERS LABORATORIES FOR USE IN VARIOUS CLASS A, B, AND C ROOF ASSEMBLIES, ICC-ES (ESR-1388), FACTORY MUTUAL, CONSULT WWW.CERTAINTED.COM/LOW-SLOPE-TECH-INFO FOR DETAILS. MEETS ASTM D6222, GRADE G, TYPE I.

MISC.

USE 2X4 STUDS ON ALL WALLS UNLESS NOTED OTHERWISE

THE MECHANICAL CONTRACTOR SHALL ADVISE BEFORE CONSTRUCTION THE THICKNESS OF WALLS WITH FLUES FOR THE WATER HEATER AND THE FURNACE

THE MECHANICAL CONTRACTOR SHALL ADVISE BEFORE CONSTRUCTION THE THICKNESS OF WALLS FOR EXHAUST AIR FANS THROUGH SECOND FLOOR WALLS



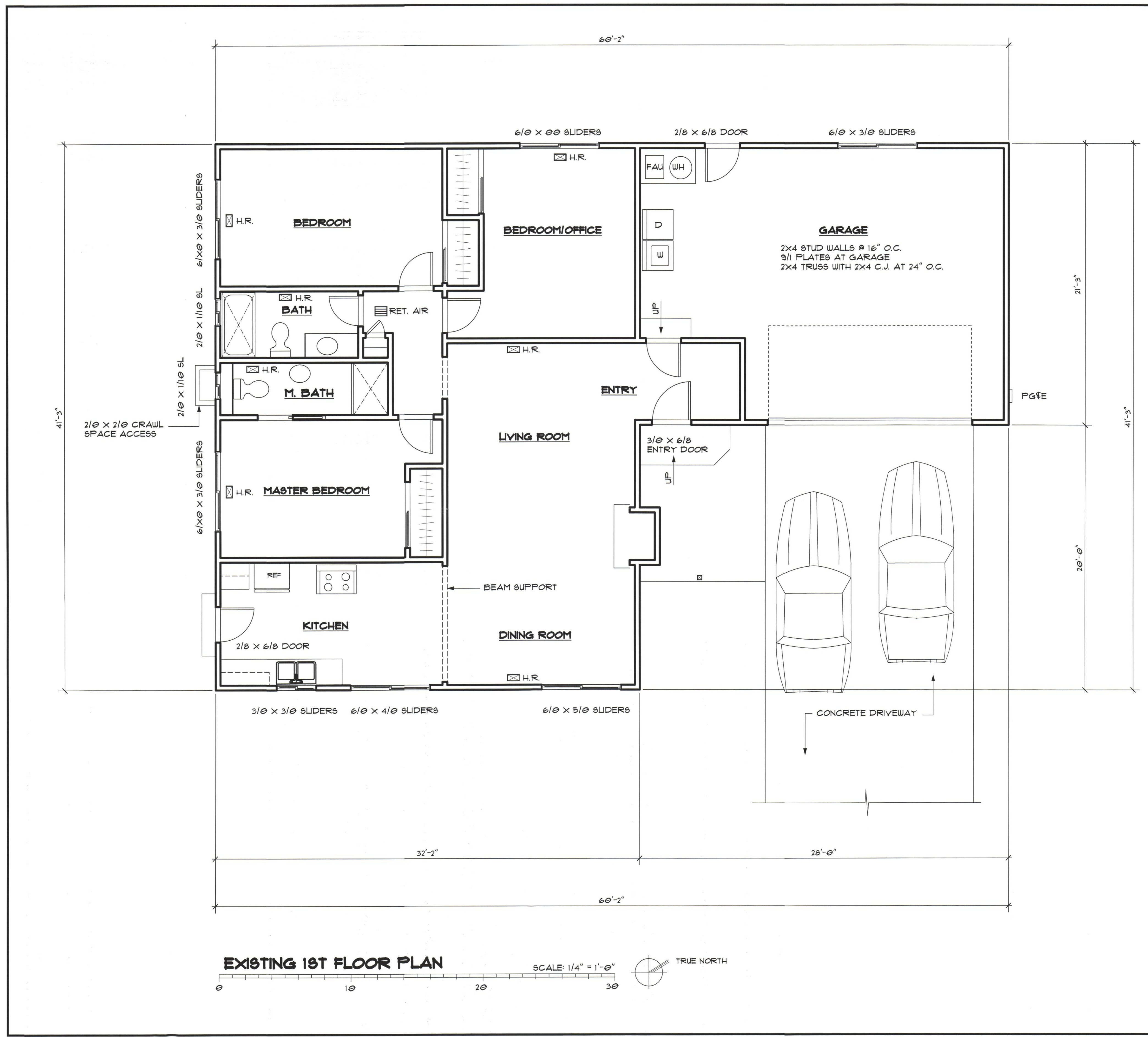
NEW 2ND FLOOR PLAN SCALE: 1/4" = 1'-0" TRUE NORTH

CHRIS RIDGWAY ARCHITECT, INC.
 610 POPLAR STREET, HALF MOON BAY, CA 94019
 PH: 650.627.6301 WEB: SITE: CRARCHITECT.NET
 EMAIL: CRARCHITECT@COASTSIDE.NET

NEW REMODEL 2ND STORY ADDITION FOR:
LARRY BAKER
 125 ORVAL AVENUE, MOSS BEACH, CA 94038

JOB # 1401
 SCALE AS NOTED
 DATE 04/01/15

SHEET **A2.2**



EXISTING 1ST FLOOR PLAN

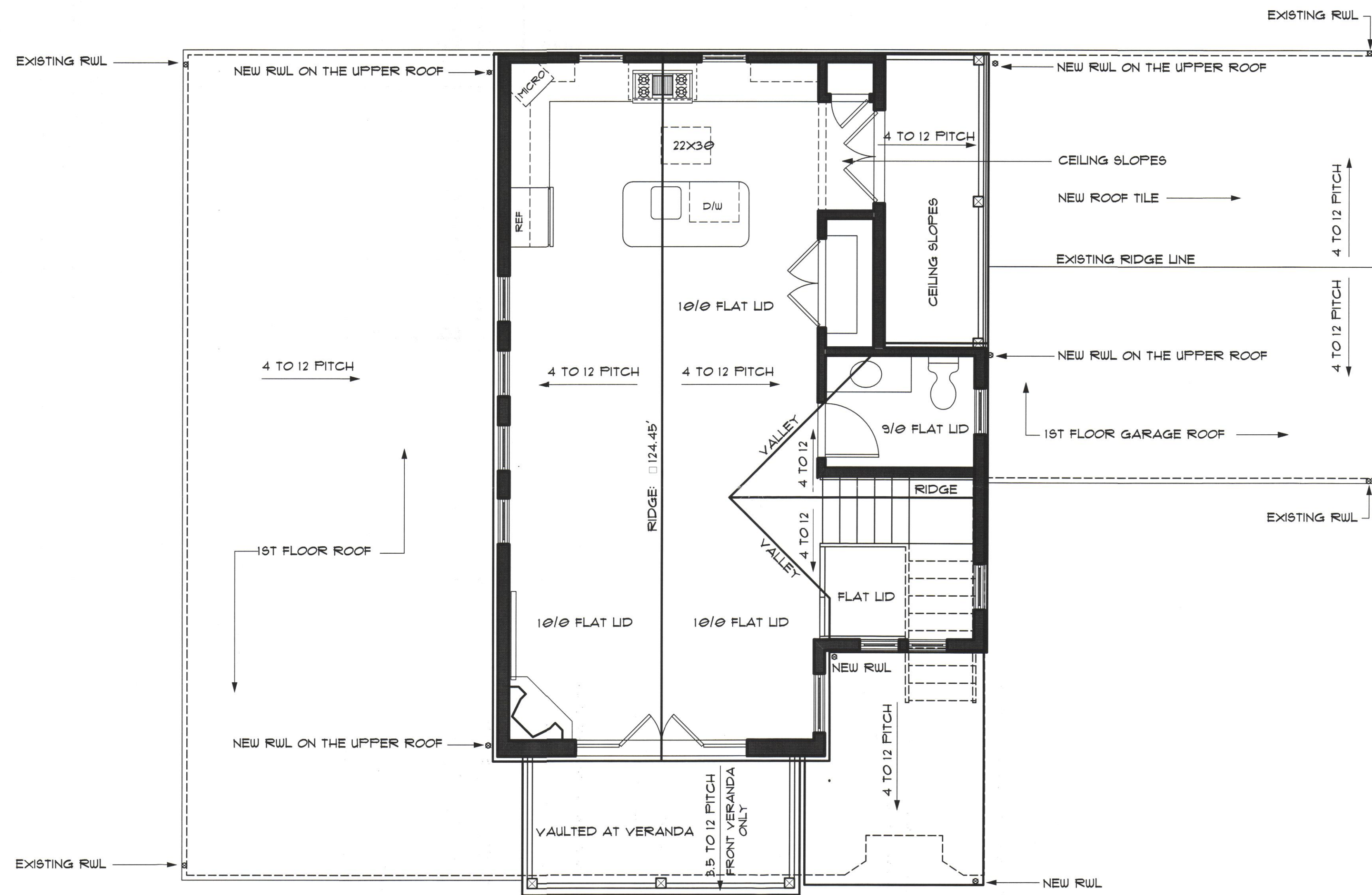


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NEW REMODEL 2ND STORY ADDITION FOR:
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JOB #
1401
 SCALE
AS NOTED
 DATE
04/01/15

SHEET
A2.3



ROOF & RCP PLAN
 SCALE: 1/4" = 1'-0"
 TRUE NORTH

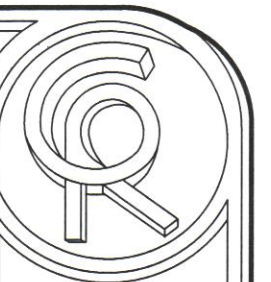


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 DATE
04/01/15

SHEET
A2.4

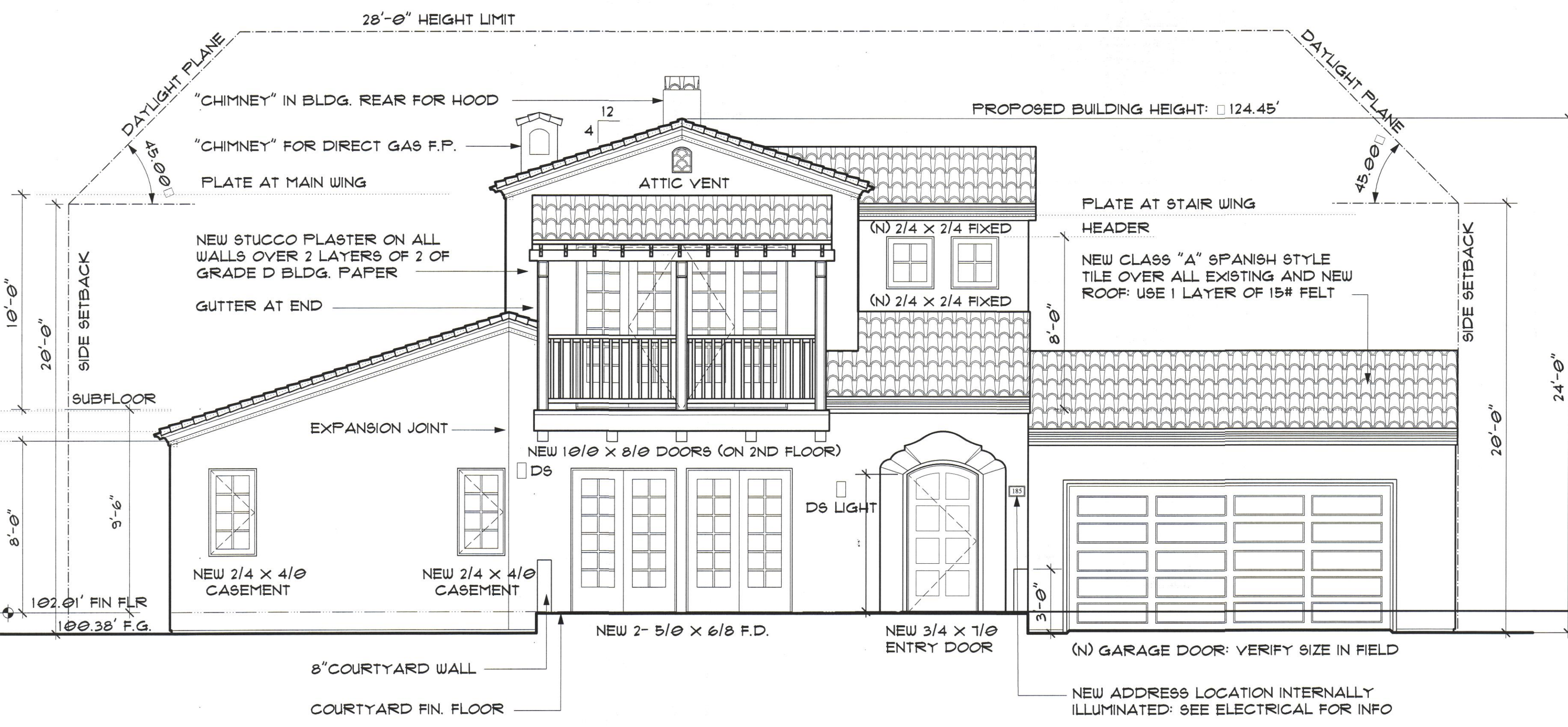


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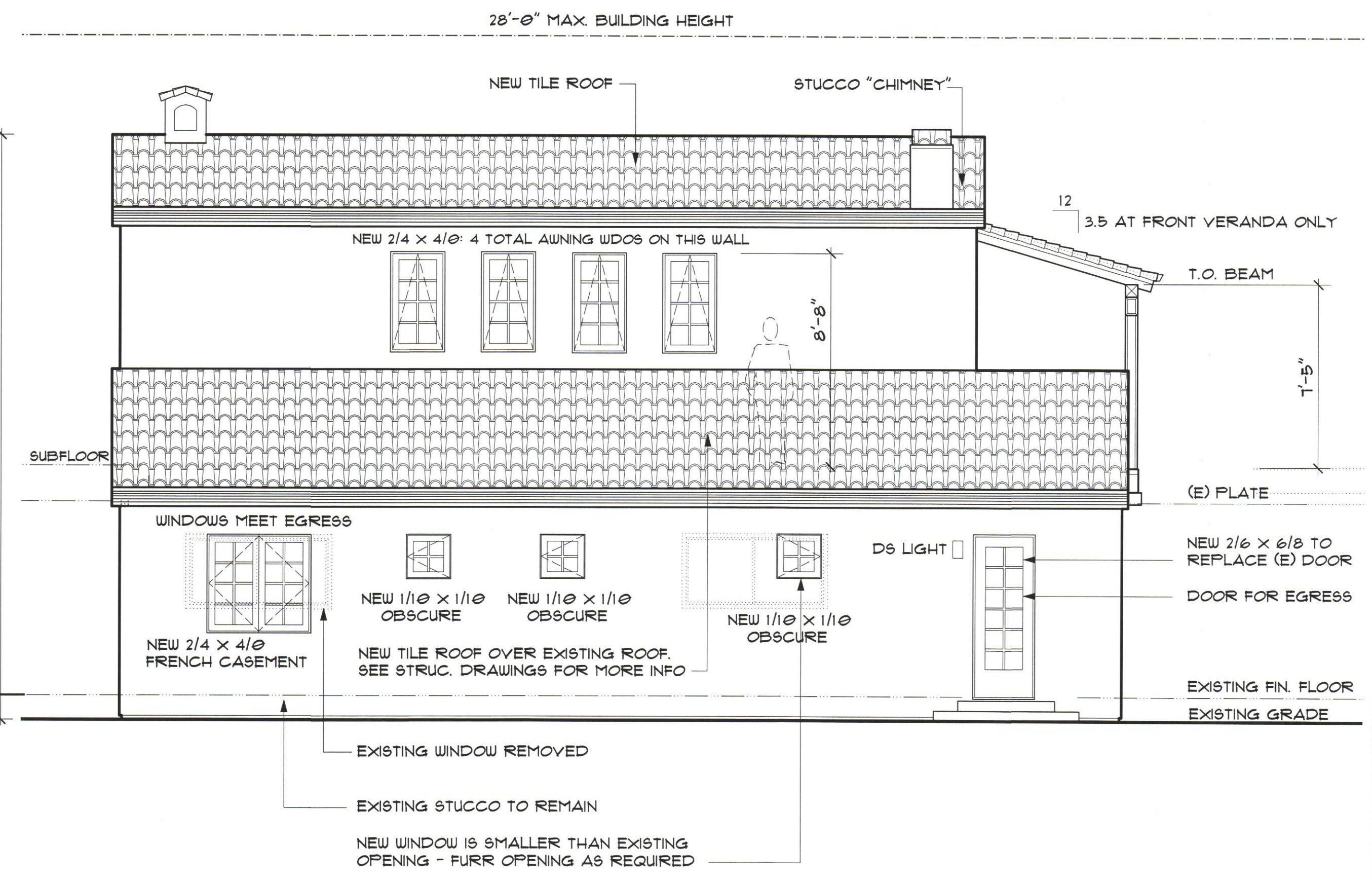
NEW REMODEL 2ND STORY ADDITION FOR:
LARRY BAKER
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JOB # 1401
 SCALE AS NOTED
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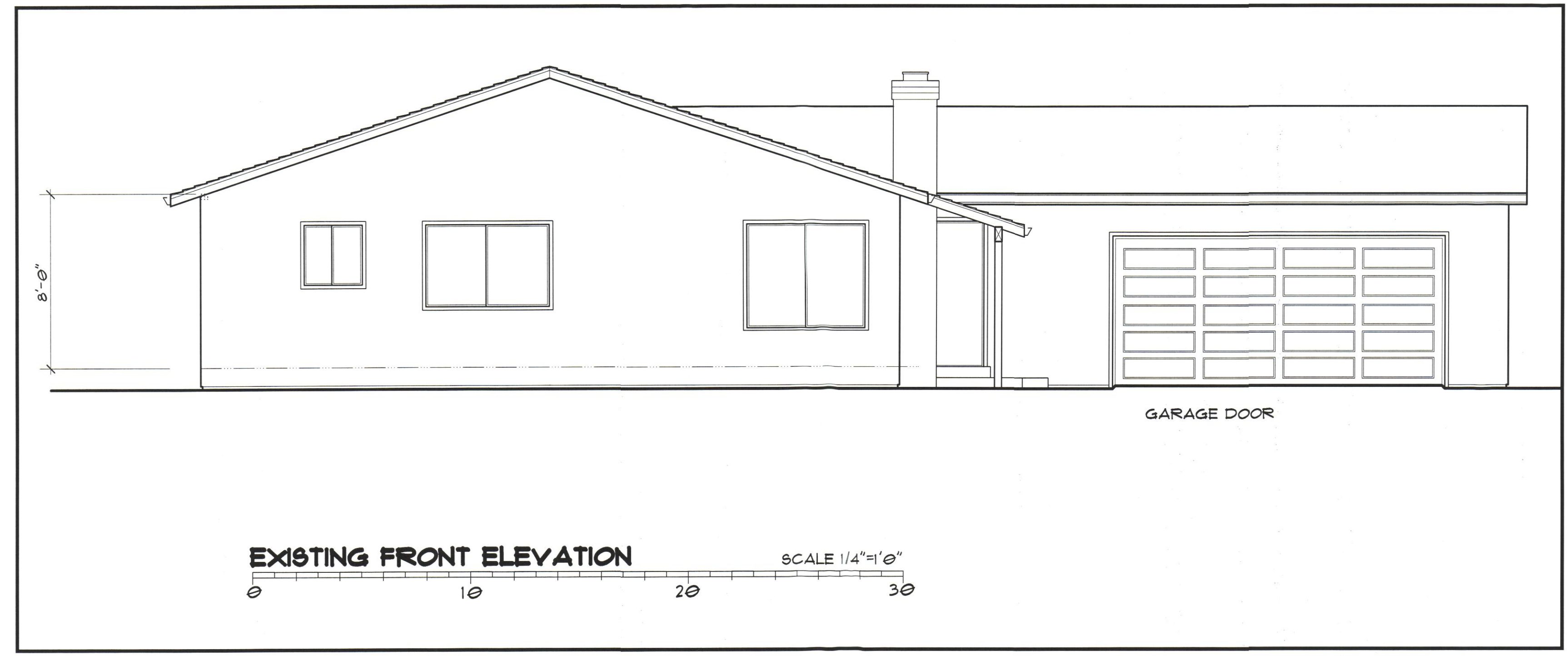
SHEET
A3.1



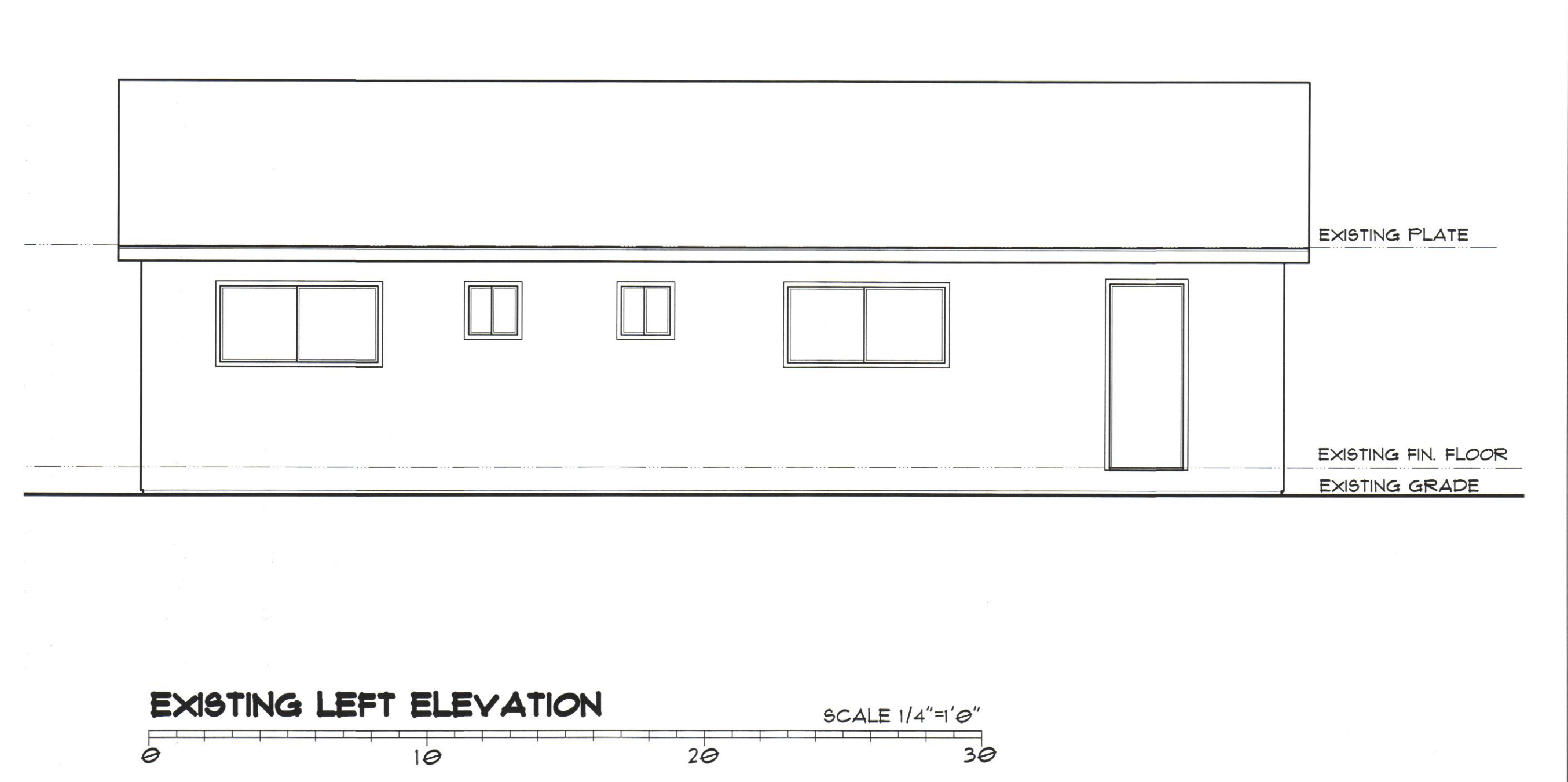
NEW FRONT ELEVATION
 SCALE 1/4" = 1'-0"
 0 10 20 30



NEW LEFT ELEVATION
 SCALE 1/4" = 1'-0"
 0 10 20 30



EXISTING FRONT ELEVATION
 SCALE 1/4" = 1'-0"
 0 10 20 30



EXISTING LEFT ELEVATION
 SCALE 1/4" = 1'-0"
 0 10 20 30

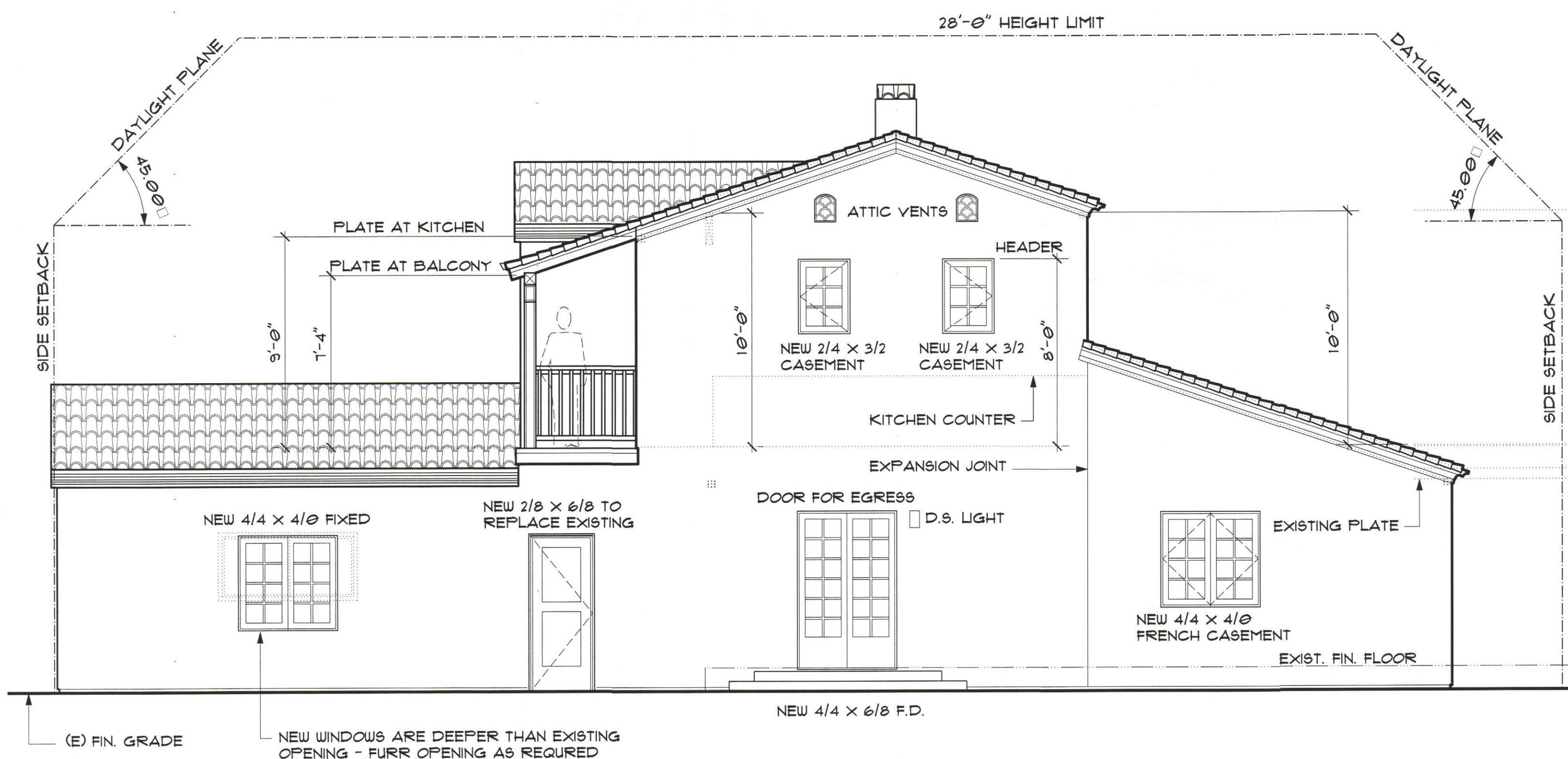


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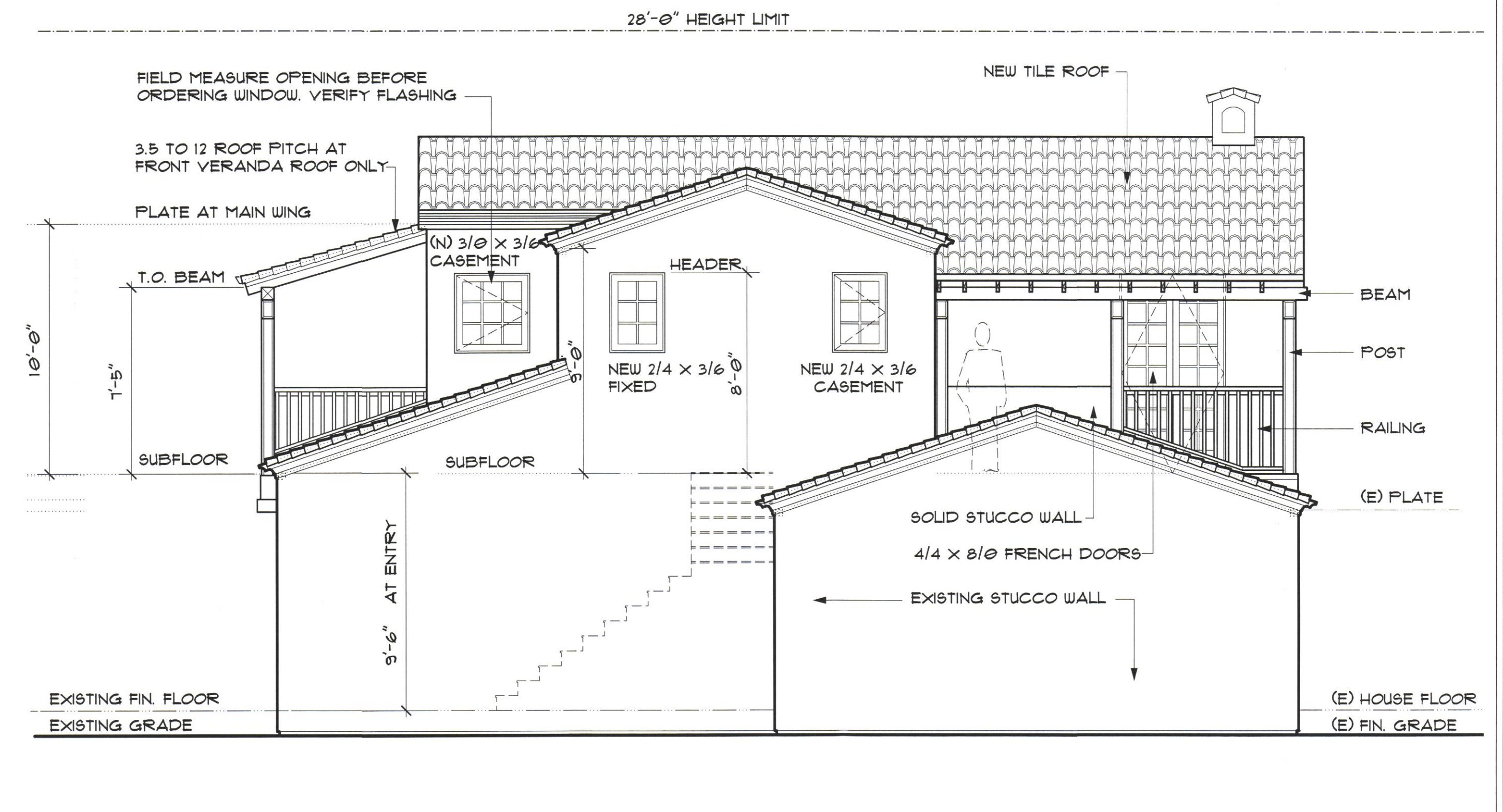
NEW REMODEL 2ND STORY ADDITION FOR:
LARRY BAKER
 185 ORVAL AVENUE, MOSS BEACH, CA 94038

JOB # 1407
 SCALE AS NOTED
 DATE 04/01/15

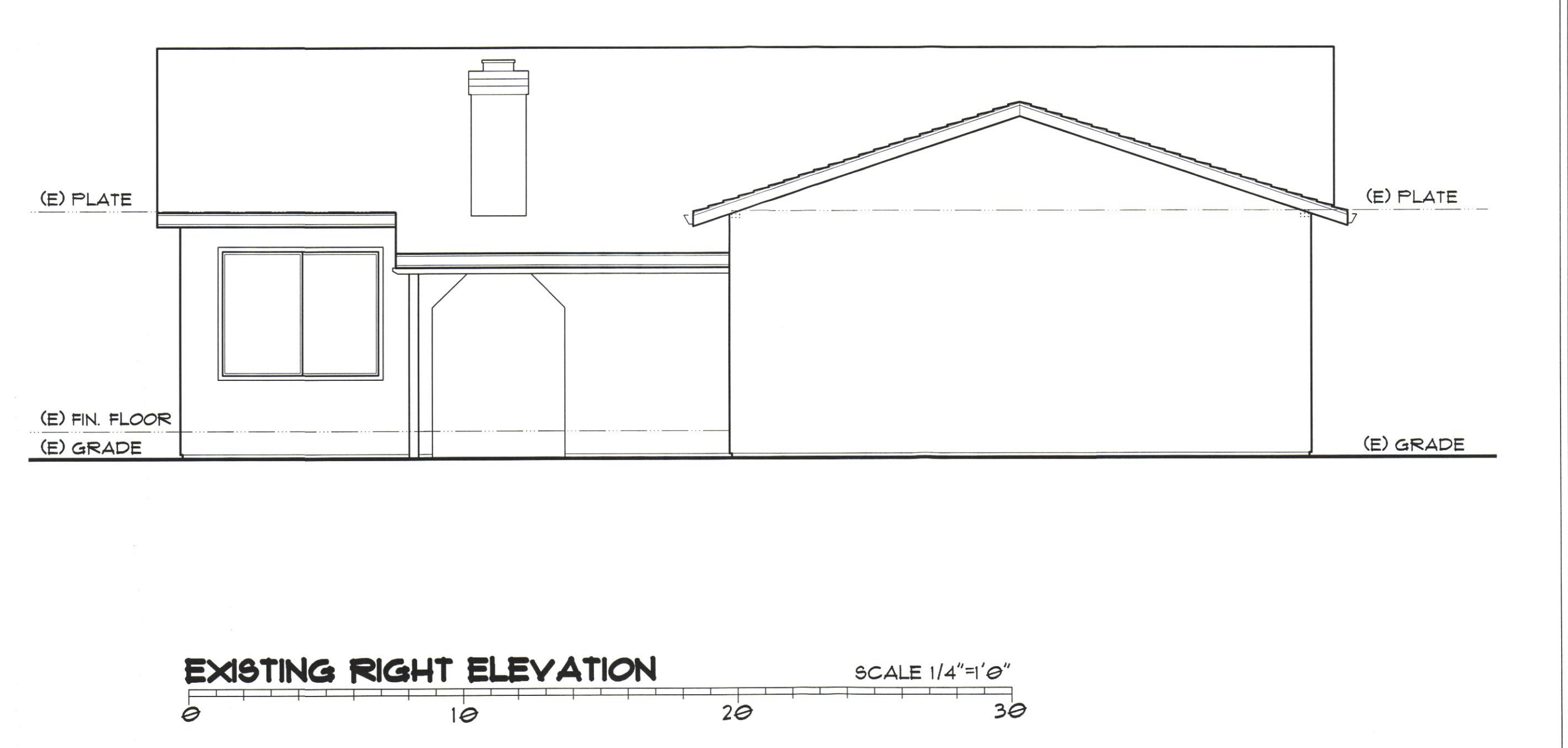
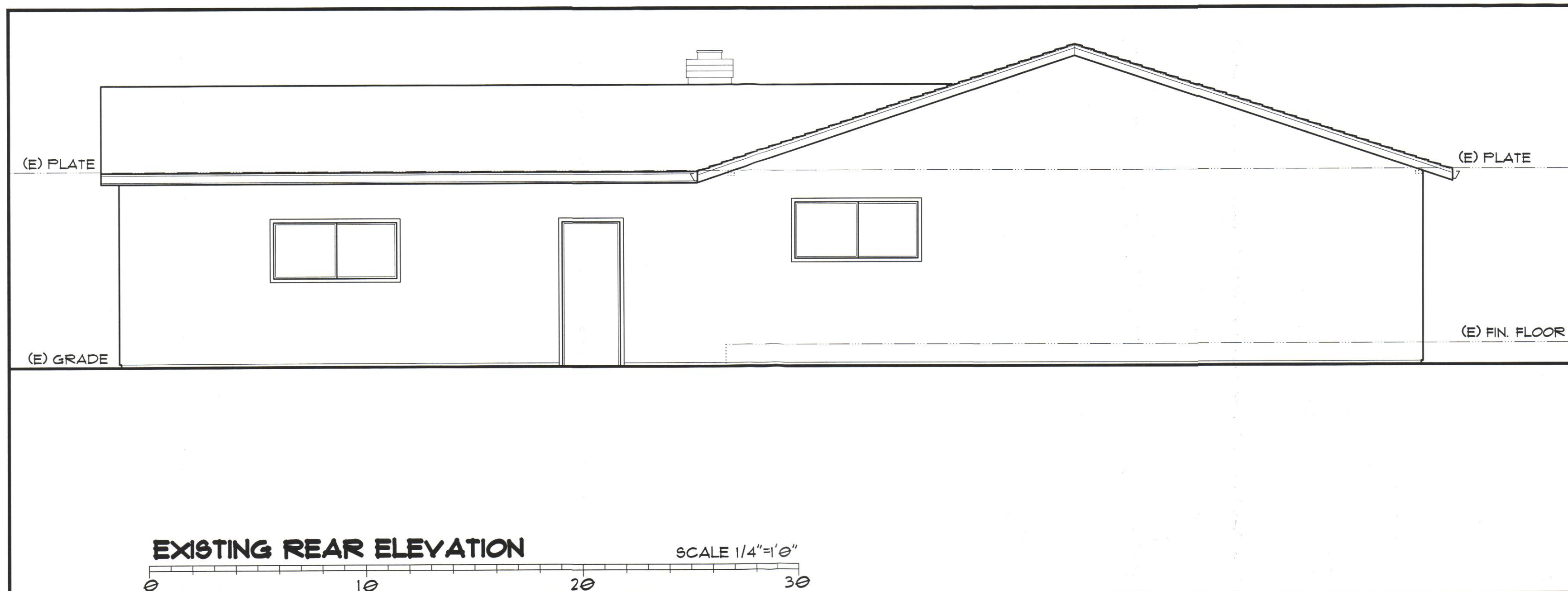
SHEET
A3.2



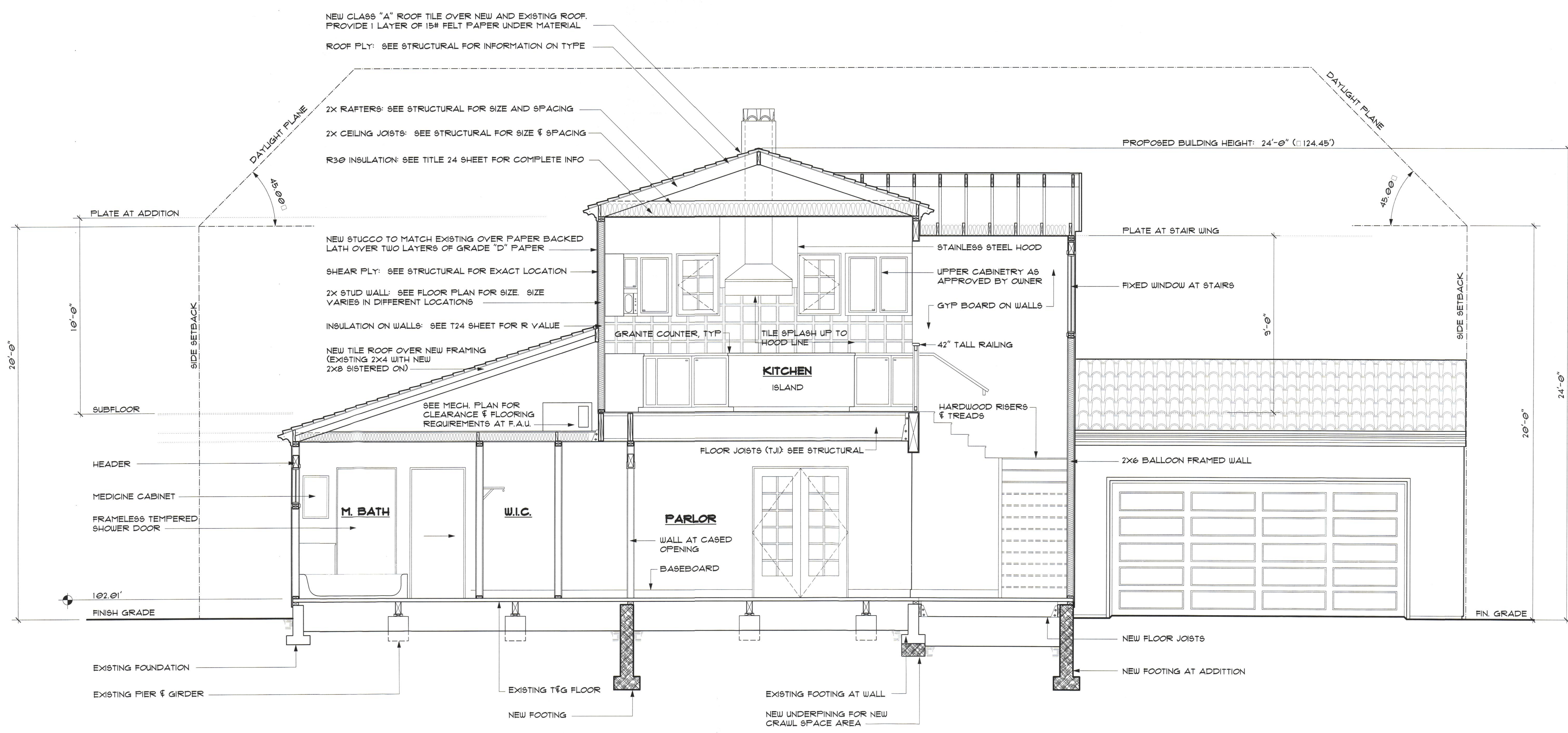
NEW REAR ELEVATION SCALE 1/4"=1'0"



NEW RIGHT ELEVATION SCALE 1/4"=1'0"



P2105-2105-109



NEW CLASS "A" ROOF TILE OVER NEW AND EXISTING ROOF.
PROVIDE 1 LAYER OF 15# FELT PAPER UNDER MATERIAL

ROOF PLY: SEE STRUCTURAL FOR INFORMATION ON TYPE

2X RAFTERS: SEE STRUCTURAL FOR SIZE AND SPACING

2X CEILING JOISTS: SEE STRUCTURAL FOR SIZE & SPACING

R30 INSULATION: SEE TITLE 24 SHEET FOR COMPLETE INFO

NEW STUCCO TO MATCH EXISTING OVER PAPER BACKED LATH OVER TWO LAYERS OF GRADE "D" PAPER

SHEAR PLY: SEE STRUCTURAL FOR EXACT LOCATION

2X STUD WALL: SEE FLOOR PLAN FOR SIZE. SIZE VARIES IN DIFFERENT LOCATIONS

INSULATION ON WALLS: SEE T24 SHEET FOR R VALUE

NEW TILE ROOF OVER NEW FRAMING (EXISTING 2X4 WITH NEW 2X8 SISTERED ON)

SEE MECH. PLAN FOR CLEARANCE & FLOORING REQUIREMENTS AT F.A.U.

M. BATH

W.I.C.

PARLOR

WALL AT CASING OPENING

BASEBOARD

KITCHEN

ISLAND

GRANITE COUNTER, TYP

TILE SPLASH UP TO HOOD LINE

STAINLESS STEEL HOOD

UPPER CABINETRY AS APPROVED BY OWNER

GYP BOARD ON WALLS

42" TALL RAILING

HARDWOOD RISERS & TREADS

PLATE AT STAIR WING

FIXED WINDOW AT STAIRS

24'-0"

20'-0"

FIN. GRADE

2X6 BALLOON FRAMED WALL

NEW FLOOR JOISTS

NEW FOOTING AT ADDITION

VENTILATION FOR CRAWL SPACE

1/150 PER SQ/FT OF VENTILATION IS REQUIRED.

153 SQ. FT. OF CRAWL SPACE

1.02 SQ. FT. MINIMUM CRAWL SPACE VENTILATION REQUIRED

3 FOUNDATION VENTS WITH SCREEN MIN. REQUIRED

.41 SQ. FT. PER VENT = 1" HEIGHT X 12" WIDTH X 80% CLEAR OPENING DIVIDED BY 144 SQ INCH. PER SQ. FT. (1 X 12 X 80% = 61 SQ INCHES DIVIDED BY 144 = .41 SQ INCHES)

.41 X 3 VENTS = 1.41 COMPLY WITH MINIMUM OF 1.02 REQUIRED FOR VENTING SQ. FT. OF VENTILATION (MUST BE MORE THAN "MINIMUM FOUNDATION VENTILATION REQUIRED")

PROVIDE A TOTAL OF 3 MINIMUM VENTS AROUND THE ENTIRE PERIMETER OF THE ADDITION

ATTIC VENTILATION AT EAVE:

1/150 SQ/FT OF VENTILATION IS REQUIRED

140 SQ. FT. AT 2ND FLOOR ATTIC

4.93 SQ. FT. TOTAL AMOUNT OF ATTIC VENTILATION REQUIRED

AT BLOCKING: USE 3 - 2" DIAMETER HOLES MINIMUM

1/150TH OF 140 SQUARE FEET = 4.93

3 HOLES MIN. PER BLOCK REQUIRED

3.14 SQ. FT. PER HOLE A = PI X RADIUS SQUARED (1")

.0156 HOLES PER LINEAR FEET X 116"/12" PER FOOT

120 LINEAR FEET OF EAVE AT 2ND FLOOR

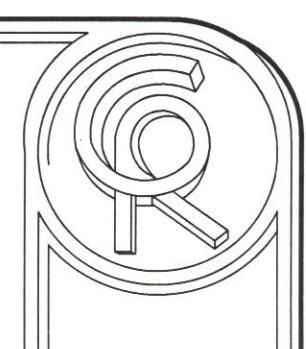
.0156 X 3 HOLES PER BLOCK = .0468 X 120 LINEAR FEET = 5.6

5.6 SQ. FT. OF VENTILATION AT THE EAVE (COMPLIES WITH MINIMUM OF 4.93 REQUIRED VENTING)

PROVIDE ADDITIONAL VENTING AT GABLE ENDS

SECTION A-A & INTERIOR ELEVATION

SCALE 3/8" = 1'-0"



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NEW REMODEL 2ND STORY ADDITION FOR:
LARRY BAKER
185 ORVAL AVENUE, MOSS BEACH, CA 94038

JOB # 1407
SCALE AS NOTED
DATE 04/01/15

SHEET
A4.1