

# Application for Design Review by the County Coastside Design Review Committee

County Government Center • 455 County Center • Redwood City CA 94063  
Mail Drop PLN 122 • 650 • 363 • 4161 • FAX 650 • 363 • 4849

Permit #: PLN

2014 - 00310

Other Permit #:

## 1. Basic Information

### Applicant:

Name: CARLOS CARRANZA  
Address: 210 KARMOR AVE  
#7 SO. SUN FLD Zip: 94080  
Phone, W: 650-296-7086 H: 415-606-9659  
Email: CARLOS.GUATEMALA.ZI@YAHOO.COM

### Owner (if different from Applicant):

Name: Same as Owner  
Address:  
Zip:  
Phone, W: H:  
Email:

### Architect or Designer (if different from Applicant):

Name: Nonika Mascarenhas  
Address: Alele View Place #104 Oakland Zip: 94611  
Phone, W: (510) 601-9510 Email: nonikatm@yahoo.com

## 2. Project Site Information

### Project location:

APN: 034-184-140  
Address: Marine Blvd, Moss Beach  
Zip:  
Zoning: R-1/S-17/DR/CO  
Parcel/lot size: 7,666 sq. ft.

### Site Description:

- Vacant Parcel
- Existing Development (Please describe):

## 3. Project Description

### Project:

- New Single Family Residence: \_\_\_\_\_ sq. ft
- Addition to Residence: \_\_\_\_\_ sq. ft
- Other: \_\_\_\_\_

### Additional Permits Required:

- Certificate of Compliance Type A or Type B
- Coastal Development Permit
- Fence Height Exception (not permitted on coast)
- Grading Permit or Exemption
- Home Improvement Exception
- Non-Conforming Use Permit
- Off-Street Parking Exception
- Variance

### Describe Project:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

- done N/A

**4. Materials and Finish of Proposed Buildings or Structures**

Fill in Blanks:	Material	Color/Finish (if different from existing, attach sample)	Check if matches existing
a. Exterior walls	Smooth Stucco	Behr Ceramic Beige	<input type="checkbox"/>
b. Trim	Smooth Stucco	Behr City Sunrise	<input type="checkbox"/>
c. Windows	Anderson 100 Series	Cinnamon - Maple	<input type="checkbox"/>
d. Doors	Anderson 100 Series	Cinnamon - Maple	<input type="checkbox"/>
e. Roof	HCH	Terra Cotta Tile	<input type="checkbox"/>
f. Chimneys	N/A		<input type="checkbox"/>
g. Decks & railings	Redwood		<input type="checkbox"/>
h. Stairs	Redwood @ deck &	conc. @ front entrance	<input type="checkbox"/>
i. Retaining walls	N/A		<input type="checkbox"/>
j. Fences	Redwood		<input type="checkbox"/>
k. Accessory buildings	N/A		<input type="checkbox"/>
l. Garage/Carport	Smooth Stucco	Behr Ceramic Beige	<input type="checkbox"/>

**5. Required Findings**

To approve this application; the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

~~(optional)~~ Applicant's Statement of project compliance with standards and guidelines ~~(check if attached)~~ (required)

**6. Signatures**

I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.

Owner: CARLOS CRIVELLO Applicant: \_\_\_\_\_

Date: 0-22-14 Date: \_\_\_\_\_



## Staff Use Only

### 4. Basis of Exemption or Exclusion

Use attached review sheet to determine basis of exemption and whether project qualifies. Review basis of exemption with applicant/owner and initial appropriate category below:

#### Initial

- |  |  |
|--|--|
| <p><input type="checkbox"/> A. Improvements to Existing Single Family Residence. [PRC 30610(a), CCAG 13250, ZR 6328.5(a)]</p> <p><input type="checkbox"/> B. Improvements to Existing Structure Other Than Single Family Residence or Public Works Facility. [PRC 30610(b), CCAG 13253, ZR 6328.5(b)]</p> <p><input type="checkbox"/> C. Existing Navigation Channel. [PRC 30610(c), ZR 6328.5(c)]</p> <p><input type="checkbox"/> D. Repair or Maintenance Activity. [PRC 30610(d), CCAG 13252, ZR 6328.5(d)]</p> <p><input type="checkbox"/> E. Single Family Residence Categorical Exclusion Area. [PRC 30610(e), CCAG 13240, AB 643, ZR 6328.5(e)]</p> | <p><input type="checkbox"/> F. Agriculturally-Related Development Categorical Exclusion Area. [PRC 30610(e), CCAG 13240, ORDERS E-79-7 and E-81-1, ZR 6328.5(e)]</p> <p><input type="checkbox"/> G. Utility Connections. [PRC 30610(f), ZR 6328.5(f)]</p> <p><input type="checkbox"/> H. Replacement of Structures Following Disasters. [PRC 30610(g), ZR 6328.5(g)]</p> <p><input type="checkbox"/> I. Emergency Activities. [PRC 30611, ZR 6328.5(h)]</p> <p><input type="checkbox"/> J. Lot Line Adjustment. [ZR 6328.5(i)]</p> <p><input type="checkbox"/> K. Land Division for Public Recreation Purposes. [ZR 6328.5(l)]</p> |
|--|--|

### 5. Well Inspection - All Coastal Zone Areas

- Required                       Not Required

Inspection made by: \_\_\_\_\_ Date of Inspection: \_\_\_\_\_

Yes	No
<input type="checkbox"/>	<input type="checkbox"/> Removal of trees?
<input type="checkbox"/>	<input type="checkbox"/> If Yes, is tree removal permit included?
<input type="checkbox"/>	<input type="checkbox"/> Trimming of trees?
<input type="checkbox"/>	<input type="checkbox"/> Excessive removal of vegetation?
<input type="checkbox"/>	<input type="checkbox"/> Excessive grading? (If Yes, CDP is required)
<input type="checkbox"/>	<input type="checkbox"/> Erosion control plan required?

Approval of Permit is subject to the following: (check if applicable)

- Submittal and Approval of a Tree Removal Permit
- Submittal and Approval of a Grading Permit
- Submittal and Approval of an Erosion Control Plan
- Submittal and Approval of a Coastal Dev. Permit

### 6. Approval

I have reviewed the above-described project and have determined that it meets all criteria for the exemption/exclusion checked above.

**Exemption/Exclusion is approved.**

Planning Department

Date

Project is subject to the following condition(s) of approval:

### 7. Processing

- |   |  |
|---|--|
| <p><input type="checkbox"/> Fee collected</p> <p><input type="checkbox"/> Original Certificate of Exemption to Building Inspection file.</p> <p><input type="checkbox"/> Copies of Certificate of Exemption to:</p> <ol style="list-style-type: none"> <li>1. Applicant/Owner.</li> <li>2. Planning Department Exemption Binder.</li> </ol> | <ol style="list-style-type: none"> <li>3. Any relevant Planning or Building Inspection files.</li> <li>4. California Coastal Commission, 45 Fremont Street, Suite 2000, San Francisco, CA 94105</li> </ol> <p><input type="checkbox"/> Update Permit*Plan Case Screen and Activities</p> |
|---|--|

# Environmental Information Disclosure Form

Planning and Building Department

PLN 2014-00310

BLD \_\_\_\_\_

Project Address: Marine Blvd,  
Moss Beach

Name of Owner: Carlos Carranza

Address: 210 Armour Ave.  
S.F. 94080 Phone: 650/296-9086

Assessor's Parcel No.: 031 - 184 - 1A0

Name of Applicant: Same

Zoning District: R-1  
S-17/PR/CD

Address: \_\_\_\_\_

Phone: \_\_\_\_\_

## Existing Site Conditions

Parcel size: 7,666 sq. ft.

Describe the extent and type of all existing development and uses on the project parcel, including the existence and purpose of any easements on the parcel, and a description of any natural features on the project parcel (i.e. steep terrain, creeks, vegetation). The existing lot is vacant

## Environmental Review Checklist

### 1. California Environmental Quality Act (CEQA) Review

Yes	No	Will this project involve:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. Construction of a new multi-family residential structure having 5 or more units?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	c. Construction of a commercial structure > 2,500 sq.ft?
<input checked="" type="checkbox"/>	<input type="checkbox"/>	d. Removal of mature tree(s) ( ≥ 6" d.b.h. in Emerald Lake Hills area or ≥ 12" d.b.h. in any residential zoning district)? If yes, how many trees to be removed? <u>1 Monterey Pine</u>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	e. Land clearing or grading? If yes, please state amount in cubic yards (c.y.): <u>77.8</u> Excavation: <u>840 cubic yd.</u> Fill: <u>840 cubic yd.</u>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	f. Subdivision of land into 5 or more parcels?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	g. Construction within a State or County scenic corridor?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	h. Construction within a sensitive habitat?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	i. Construction within a hazard area (i.e. seismic fault, landslide, flood)?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	j. Construction on a hazardous waste site (check with Co. Env. Health Division)?

Please explain all "Yes" answers:

d. There is brush & some small trees that need to be removed to allow for construction of the new house.

2. National Marine Fisheries Rule 4(d) Review		
Yes	No	Will the project involve:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	a. Construction outside of the footprint of an existing, legal structure?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. Exterior construction within 100-feet of a stream?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	c. Construction, maintenance or use of a road, bridge, or trail on a stream bank or unstable hill slope?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	d. Land-use within a riparian area?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	e. Timber harvesting, mining, grazing or grading?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	f. Any work inside of a stream, riparian corridor, or shoreline?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	g. Release or capture of fish or commerce dealing with fish?
Please explain any "Yes" answers:		

3. National Pollutant Discharge Elimination System (NPDES) Review		
Yes	No	Will the project involve:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	a. <u>A subdivision or Commercial / Industrial Development that will result in the addition or replacement of 10,000 sq. ft. or more of impervious surface?</u> If yes, Property Owner may be required to implement appropriate source control and site design measures and to design and implement stormwater treatment measures, to reduce the discharge of stormwater pollutants. Please consult the Current Planning Section for necessary forms and both construction and post-construction requirements.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. <u>Land disturbance of 1 acre or more of area?</u> If yes, Property Owner must file a Notice of Intent (NOI) to be covered under the statewide General Construction Activities Storm Water Permit (General Permit) prior to the commencement of construction activity. Proof of coverage under State permit must be demonstrated prior to the issuance of a building permit.

**Certification**

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and the facts, statements and information presented are true and correct to the best of my knowledge and belief. **If any of the facts represented here change, it is my responsibility to inform the County.**

Signed: Carol Carranza  
(Applicant may sign)

Date: 8-22-14

Nonika Mascarenhas  
 Architect  
 4466 View Place #104  
 Oakland, CA  
 94611  
 Tel.(510)601-9570  
 nonikatm@yahoo.com



**LIST OF DRAWINGS**

A.P.N. : 037-184-140  
 ZONE: S-17  
 FRONT & REAR YARD SETBACKS: 20'-0"  
 SIDE YARDS: AN AGGREGATE TOTAL OF 15'-0"  
 MAXIMUM HEIGHT: 28'-0"

LOT AREA: 7,666 SQ.FT.  
 35% ALLOWABLE LOT COVERAGE: 2683 SQ.FT.  
 CURRENT LOT COVERAGE: 2,070 SQ.FT.

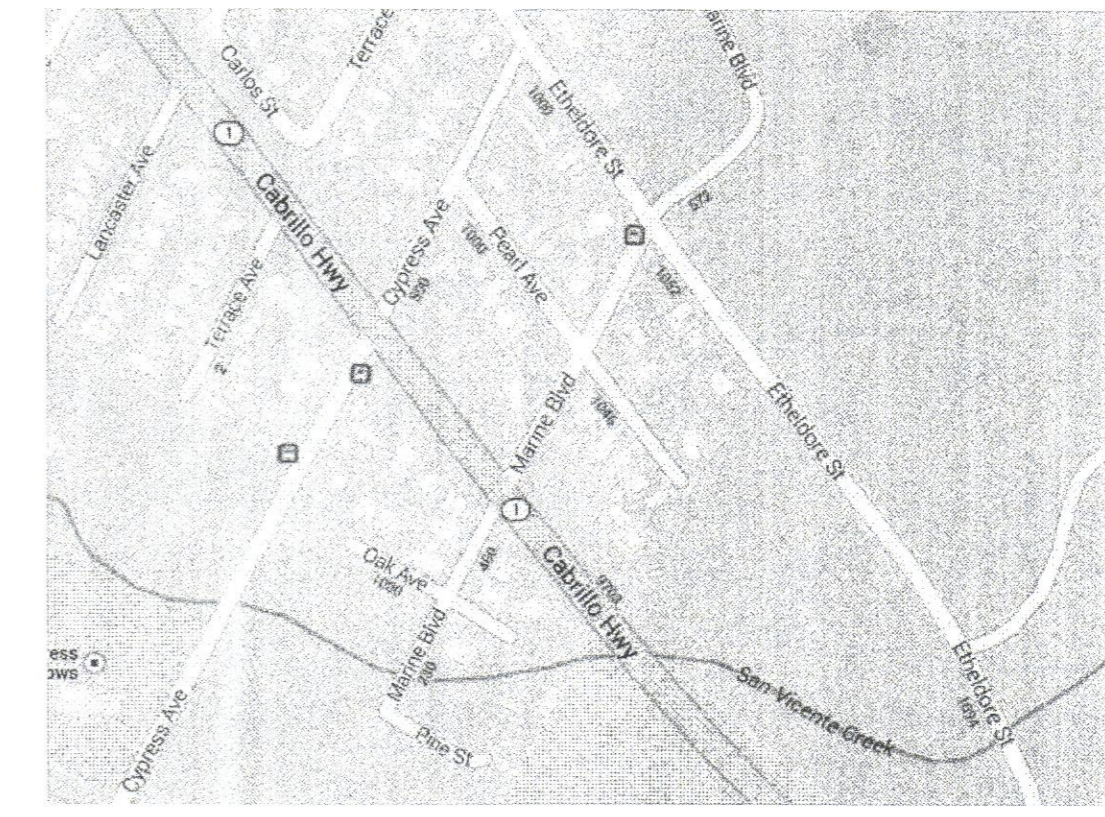
ALLOWABLE AREA: .53%: 4062.98  
 FLOOR AREA RATIO: 0.46

GARAGE : 503 SQ.FT.  
 FIRST FLOOR :1037 SQ.FT.  
 DECK: 422 SQ.FT.  
 SECOND FLOOR: 1295 SQ.FT.  
 BALCONY @ MASTER BEDROOM: 103 SQ.FT.  
 PERGOLA: 159 SQ.FT.  
 TOTAL AREA: 3,519 SQ.FT.

NUMBER OF STORIES: 2

PROPOSED HEIGHT: 23'-10"

TOTAL IMPERVIOUS AREA: 1,700.6 SQ.FT,  
 LANDSCAPE PAVERS ARE PERMEABLE

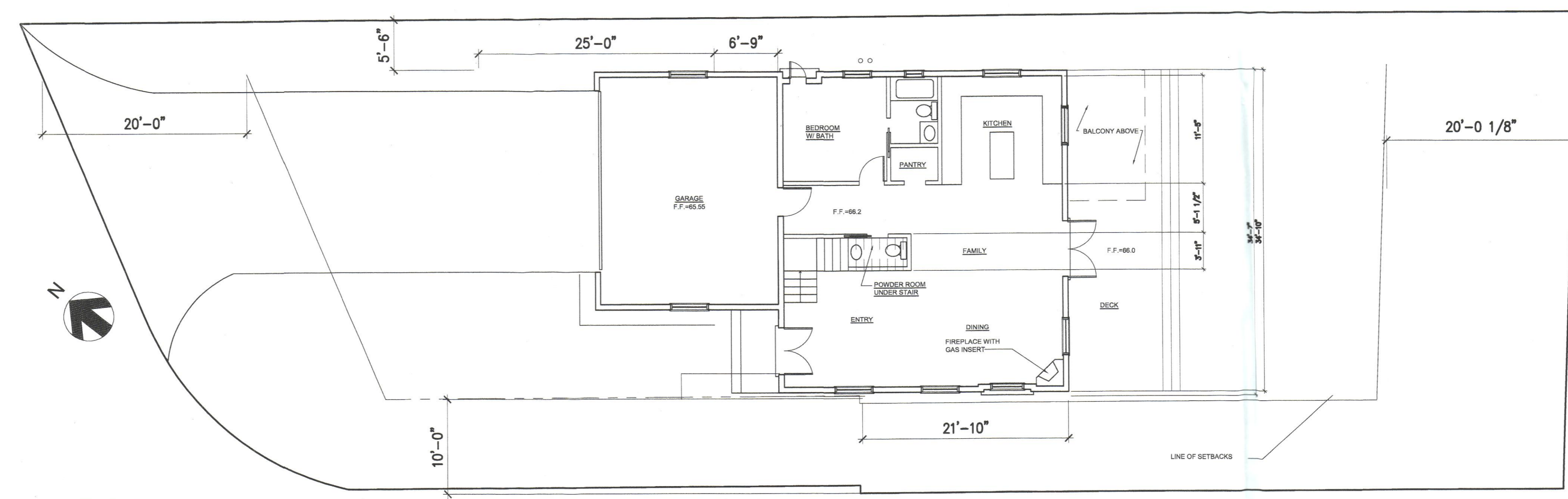


**LOCATION MAP**

**LIST OF DRAWINGS**

- A1 SITE PLAN
- A2 PLANS
- A3 ROOF PLAN
- A4 ELEVATIONS
- A5 SECTIONS
- L0.1 CUT & FILL PLAN
- L3.0 PLANTING PLAN
- C1 GRADING & DRAINAGE PLAN
- SURVEY

**RECEIVED**  
 FEB 06 2015  
 San Mateo County  
 Planning and Building Department



**1 SITE PLAN**  
 SCALE: 1/8" = 1'-0"

**ARCHITECTURAL  
 PLANS & NOTES**

**CARRANZA RESIDENCE**

A.P.N. 037-184-140  
 MOSS BEACH, CA 94038

SUBMITTALS  
 DESIGN REVIEW  
 FEBRUARY 6, 2015  
 REVISIONS

- 1
- 2

**A1**

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**FLOOR PLANS**

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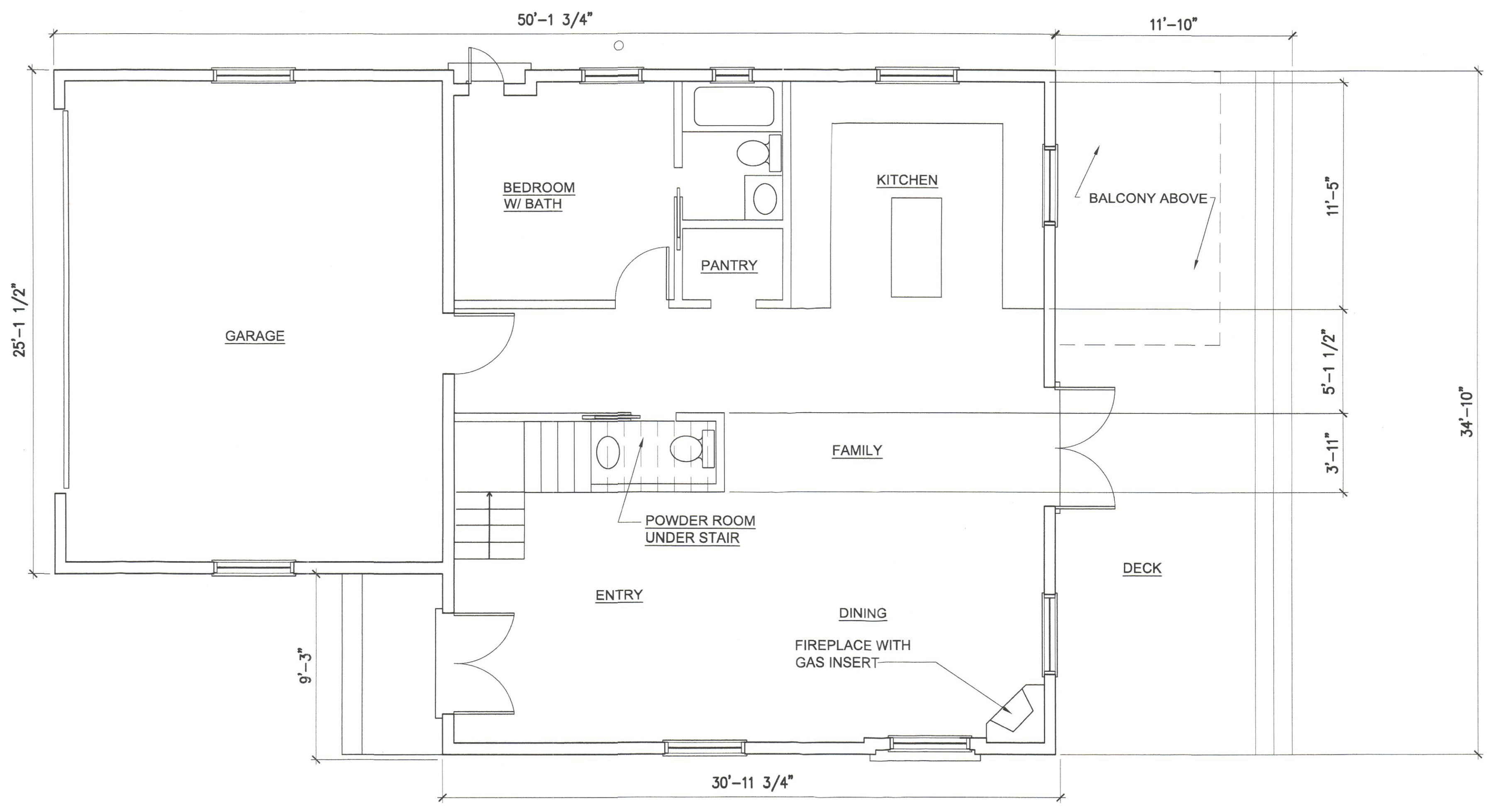
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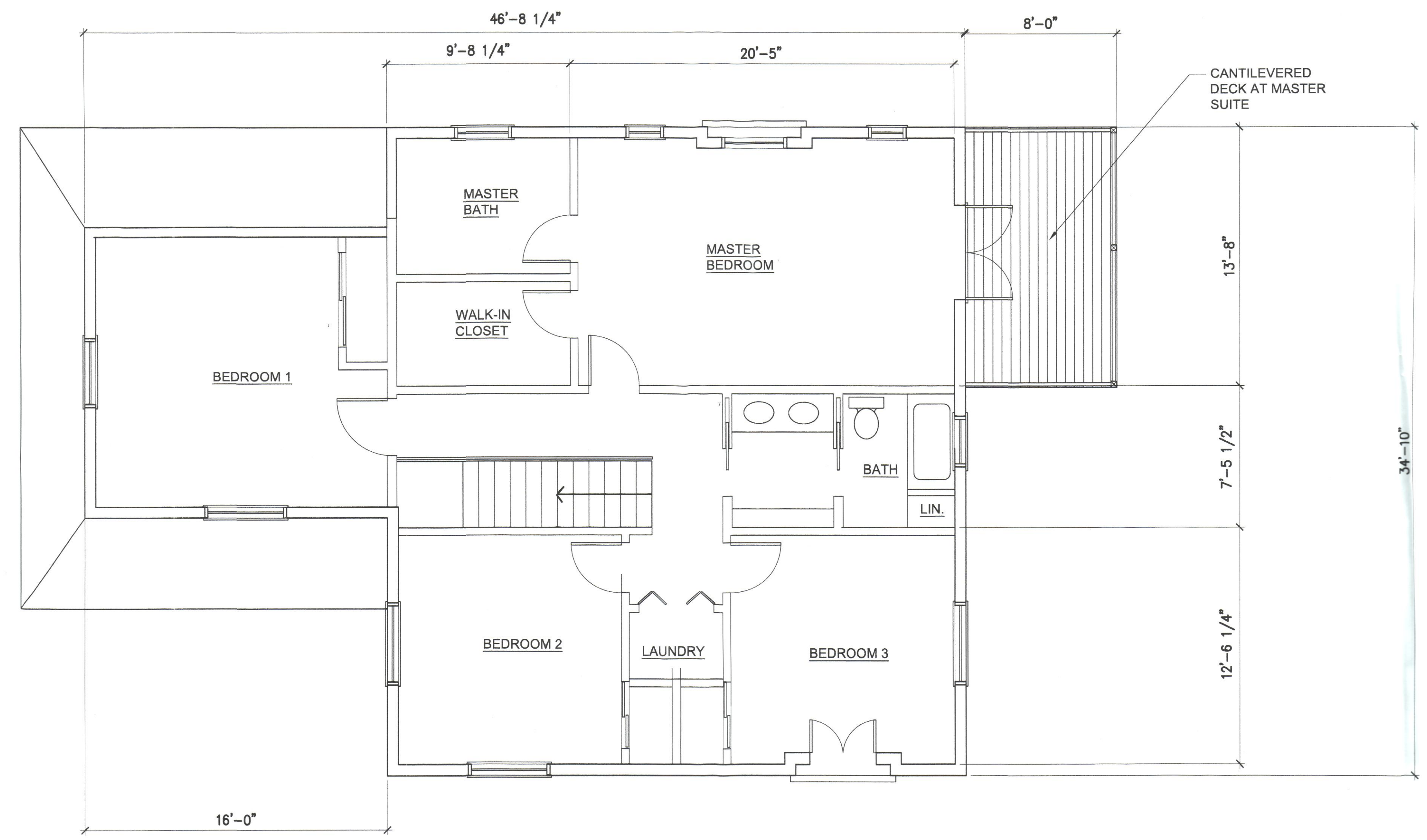
1

2

**A2**



**FIRST FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"



**SECOND FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

GARAGE ROOF BELOW



- **Smoke Detectors which are hard wired:** As per the California Building Code, State Fire Marshal regulations, and Coastside Fire District Ordinance 2013-03, the applicant is required to install State Fire Marshal approved and listed smoke detectors which are **hard wired, interconnected, and have battery backup.** These detectors are required to be placed in each new and recondition sleeping room and at a point centrally located in the corridor or area giving access to each separate sleeping area. In existing sleeping rooms, areas may have battery powered smoke alarms. A minimum of one detector shall be placed on each floor. Smoke detectors shall be tested and approved prior to the building final.
- Add note to plans smoke alarm/detector are to be hardwired, interconnected, or with battery back-up. Smoke alarms to be installed per manufactures instruction and NFPA 72
- Add note: Escape or rescue windows shall have a minimum net clear openable area of 5.7 square feet, 5.0 sq. ft. allowed at grade. The minimum net clear openable height dimension shall be 24 inches. The net clear openable width dimension shall be 20 inches. Finished sill height shall be not more than 44 inches above the finished floor.
- Identify rescue windows in each bedroom and verify that they meet all requirements. Add this to plans.

Cabrillo Hwy at Marine Blvd. pln.docx

- **Occupancy Separation:** As per the 2010 CBC, Section 406.1.4, a one-hour occupancy separation wall shall be installed with a solid core, 20-minute fire rated, self-closing door assembly w/ smoke gasket between the garage and the residence. All electrical boxes installed in rated walls shall be metal or protected.

- New attached garage to meet occupancy separation requirements. Provide note/detail. CRC R302.6

- **Address Numbers:** As per Coastside Fire District Ordinance 2013-03, building identification shall be conspicuously posted and visible from the street. (TEMPORARY ADDRESS NUMBERS SHALL BE POSTED PRIOR TO COMBUSTIBLES BEING PLACED ON SITE). The letters/numerals for permanent address signs shall be **4 inches** in height with a minimum 3/4-inch stroke. Such letters/numerals shall be internally illuminated and facing the direction of access. Finished height of bottom of address light unit shall be greater than or equal to 6 feet from finished grade. When the building is served by a long driveway or is otherwise obscured, a 6 inch by 18 inch green reflective metal sign with 3 inch reflective Numbers/ Letters similar to Hy-Ko 911 or equivalent shall be placed at the entrance from the nearest public roadway. See Fire Ordinance for standard sign.

- Add the following note to the plans: New residential buildings shall have **internally illuminated** address numbers contrasting with the background so as to be seen from the public way fronting the building. Residential address numbers shall be at least six feet above the finished surface of the driveway. Where buildings are located remotely to the public roadway, additional signage at the driveway/roadway entrance leading to the building and/or on each individual building shall be required by the Coastside Fire District. This remote signage shall consist of a 6 inch by 18 inch green reflective metal sign with 3 inch reflective Numbers/ Letters similar to Hy-Ko 911 or equivalent.

- **Roof Covering:** As per Coastside Fire District Ordinance 2013-03, the roof covering of every new building or structure, and materials applied as part of a roof covering assembly, shall have a minimum fire rating of Class "B" or higher as defined in the current edition of the California Building Code.

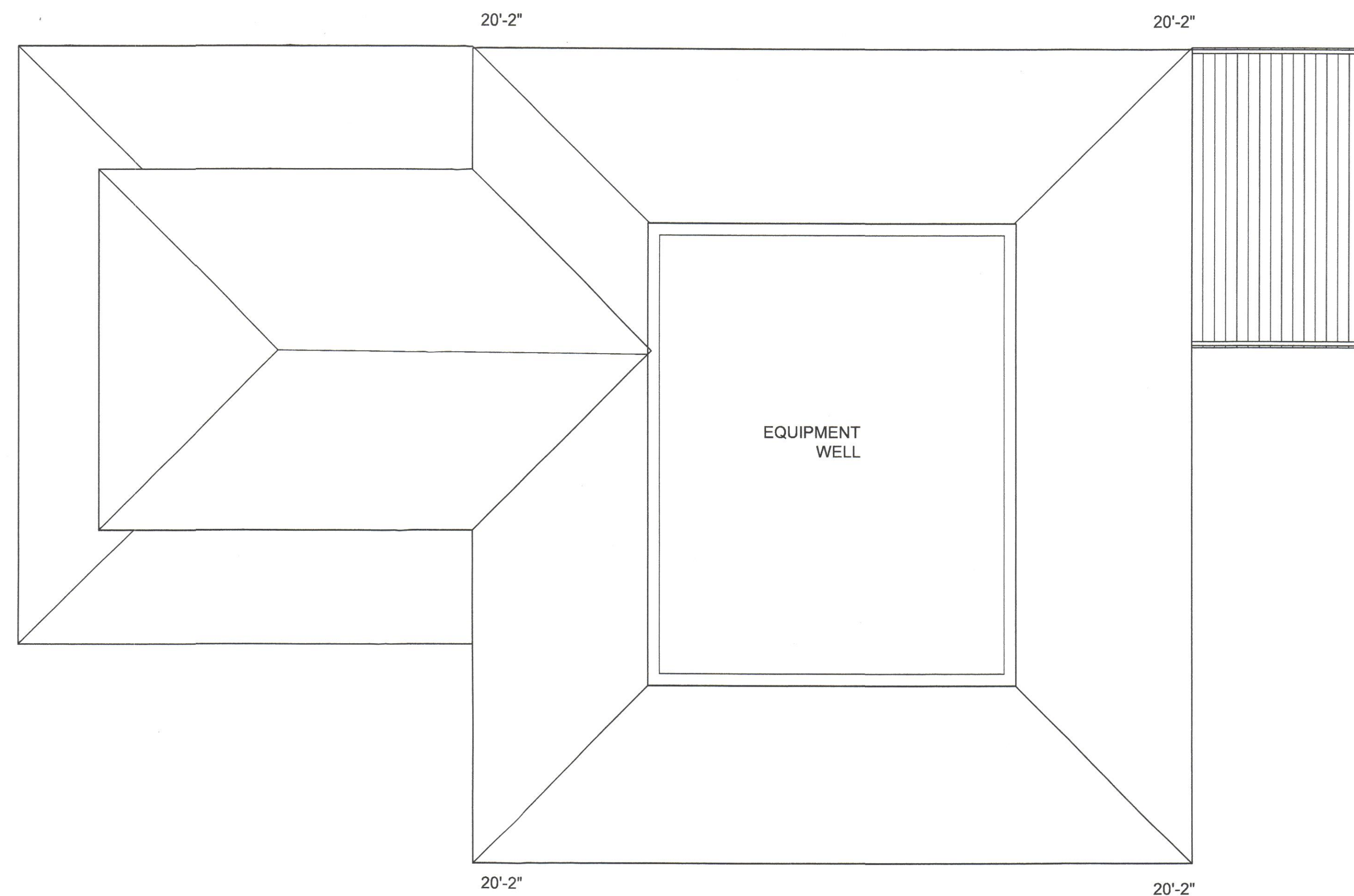
- **Vegetation Management:** The Coastside Fire District Ordinance 2013-03, the 2013 California Fire Code and Public Resources Code 4291.

- o A fuel break of defensible space is required around the perimeter of all structures to a distance of not less than 30 feet and may be required to a distance of 100 feet or to the property line. In SRA (State Responsible Area) the fuel break is 100 feet or to the property line.
- o Trees located within the defensible space shall be pruned to remove dead and dying portions, and limbed up 6 to 10 feet above the ground. New trees planted in the defensible space shall be located no closer than 10 feet to adjacent trees when fully grown or at maturity.

Cabrillo Hwy at Marine Blvd. pln.docx

2

**OOF PLAN**  
SCALE: 1/4" = 1'-0"



- o Remove that portion of any existing tree, which extends within 10 feet of the outlet of a chimney or stovepipe or is within 5 feet of any structure.

- Add the following note to the plans: The installation of an approved spark arrester is required on all chimneys, existing and new. Spark arresters shall be constructed of woven or welded wire screening of 12-gauge USA standard wire having openings not exceeding 1/2 in.

- Add the following note to the plans: A fuel break or defensible space is required around the perimeter of all structures, existing and new, to a distance of not less than 30 feet and may be required to a distance of 100 feet or to the property line. This is neither a requirement nor an authorization for the removal of living trees.

- Add the following note to the plans: Trees located within the defensible space shall be pruned to remove dead and dying portions, and limbed up 6 feet above the ground. New trees planted in the defensible space shall be located no closer than 10' to adjacent trees when fully grown or at maturity.

- Add the following note to the plans: Remove that portion of any existing trees, which extends within 10 feet of the outlet of a chimney or stovepipe or is within 5' of any structure. Remove that portion of any existing trees, which extends within 10 feet of the outlet of a chimney or stovepipe or is within 5' of any structure. Maintain any tree adjacent to or overhanging a building free of dead or dying wood.

- **Fire Hydrant:** As per 2013 CFC, Appendix B and C, a fire district approved fire hydrant (Clow 960) must be located within 250 feet of the proposed single-family dwelling unit measured by way of drivable access. As per 2013 CFC, Appendix B the hydrant must produce a minimum fire flow of 1,000 gallons per minute at 20 pounds per square inch residual pressure for 2 hours. Contact the local water purveyor for water flow details.  
**Required before permit issued**

- **Automatic Fire Sprinkler System:** As per San Mateo County Building Standards and Coastside Fire District Ordinance Number 2013-03, the applicant is required to install an automatic fire sprinkler system **throughout** the proposed or improved dwelling and garage. All attic access locations will be provided with a pilot head on a metal upright. All areas that are accessible for storage purposes shall be equipped with fire sprinklers including closets and bathrooms. The only exception is small linen closets less than 24 square feet with full depth shelving. The plans for this system must be submitted to the San Mateo County Planning and Building Division or The City of HMB. A building permit **will not** be issued until plans are received, reviewed and approved. Upon submission of plans, the County or City will forward a complete set to the Coastside Fire District for review. The fee schedule for automatic fire sprinkler systems shall be in

Cabrillo Hwy at Marine Blvd. pln.docx

3

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**ROOF PLAN**

**CARRANZA RESIDENCE**

A.P.N. 037-184-140  
MOSS BEACH, CA 94038

SUBMITTALS  
DESIGN REVIEW  
FEBRUARY 6, 2015

REVISIONS



**A3**

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**ELEVATIONS**

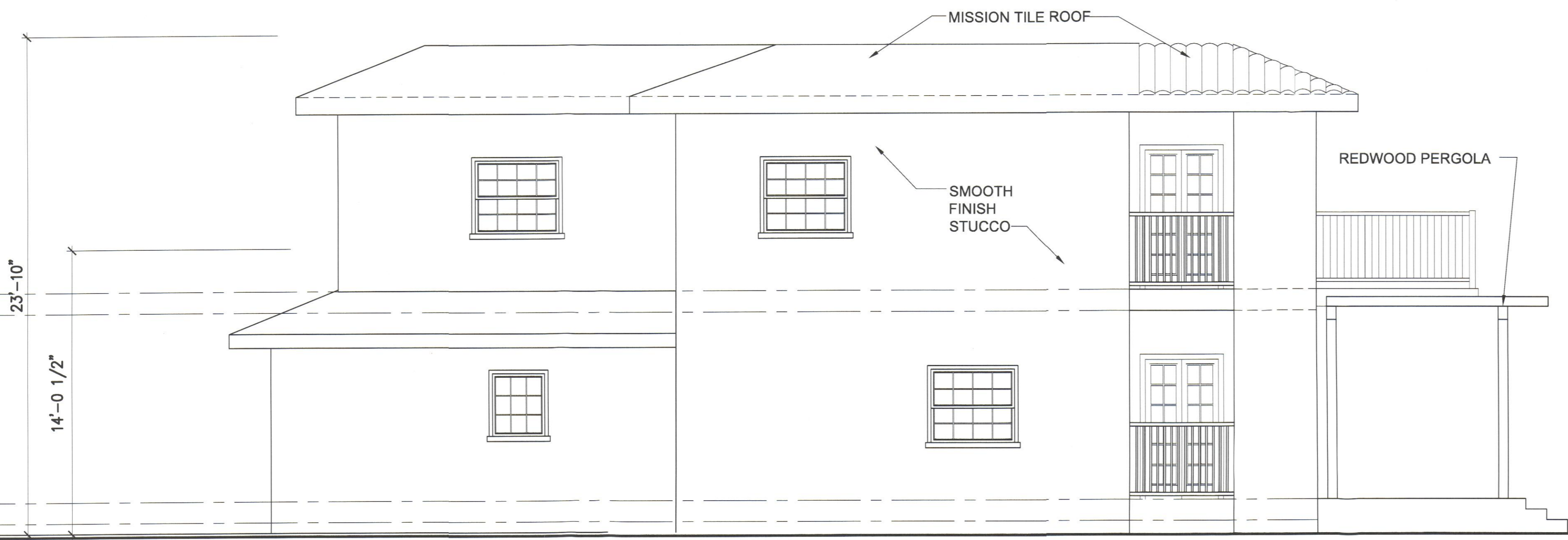
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**A4**



**WEST ELEVATION**  
 SCALE: 1/4" = 1'-0"



**NORTH ELEVATION**  
 SCALE: 1/2 = 1'-0"



**EAST ELEVATION**  
 SCALE: 1/4" = 1'-0"



**SOUTH ELEVATION**  
 SCALE: 1/4" = 1'-0"

MCA SUPERIOR  
 CLAY ROOFING  
 TILE CB 386-  
 TIERRA BROWN B

BEHR-CITY SUNRISE  
 AND RECESSED ELE

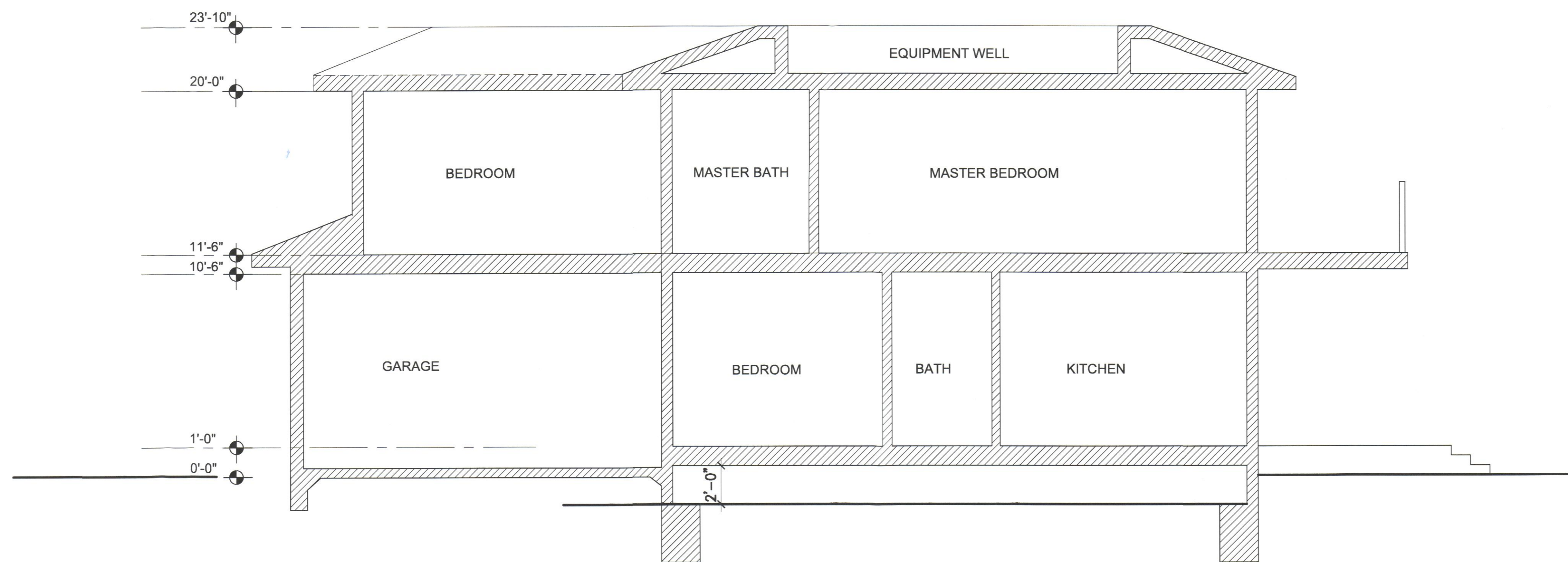
BEHR CERAMIC  
 BEIGE - FIELD  
 COLOR

ANDERSEN 100  
 SERIES DOOR AND  
 WINDOWS -  
 CINNAMON MAPLE

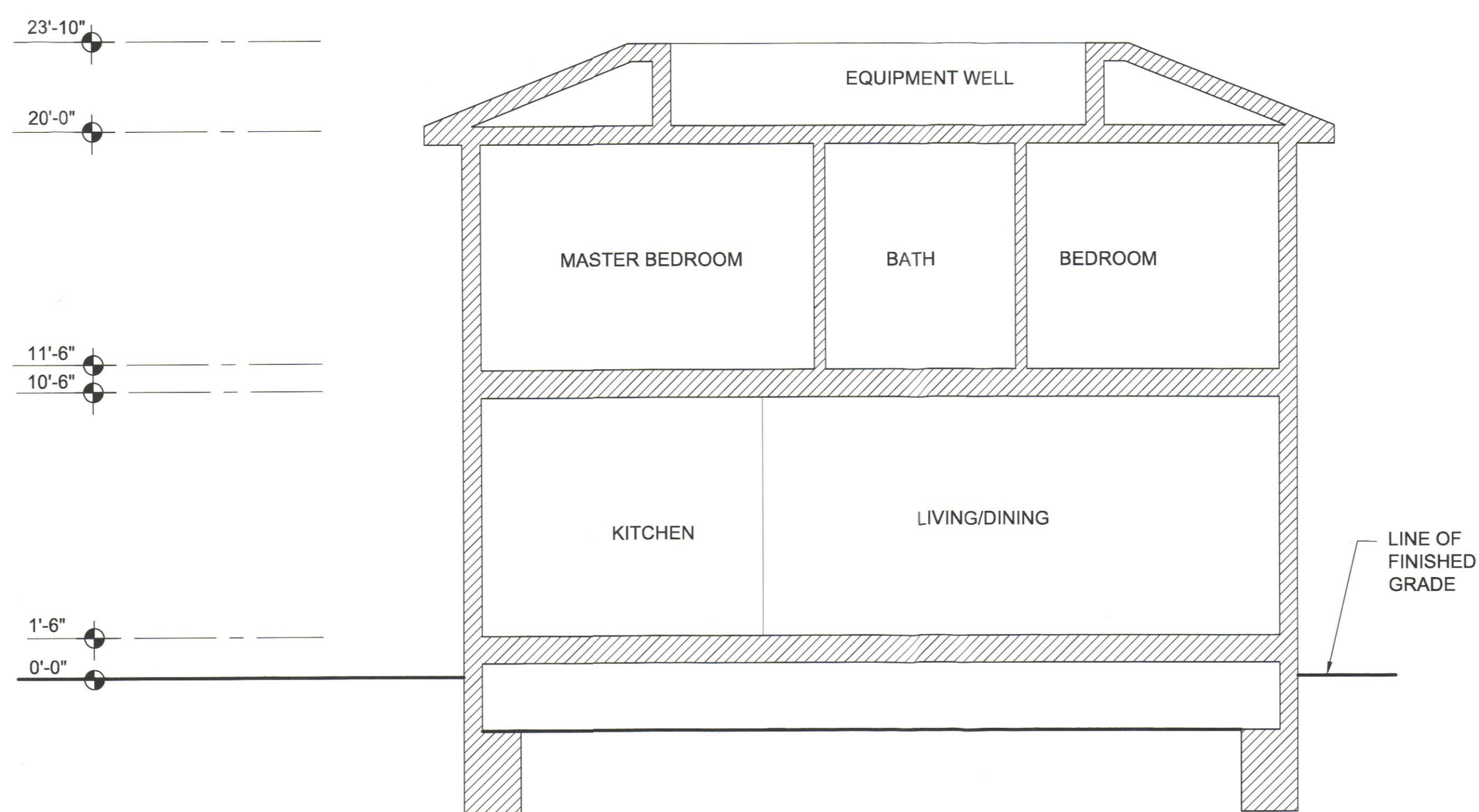
SURFACE MOUNTED  
 EXTERIOR LIGHT

LINE OF  
 FINISHED  
 GRADE

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**LONGITUDINAL SECTION**  
 SCALE: 1/4" = 1'-0"



**CROSS SECTION**  
 SCALE: 1/4" = 1'-0"

**SECTIONS**

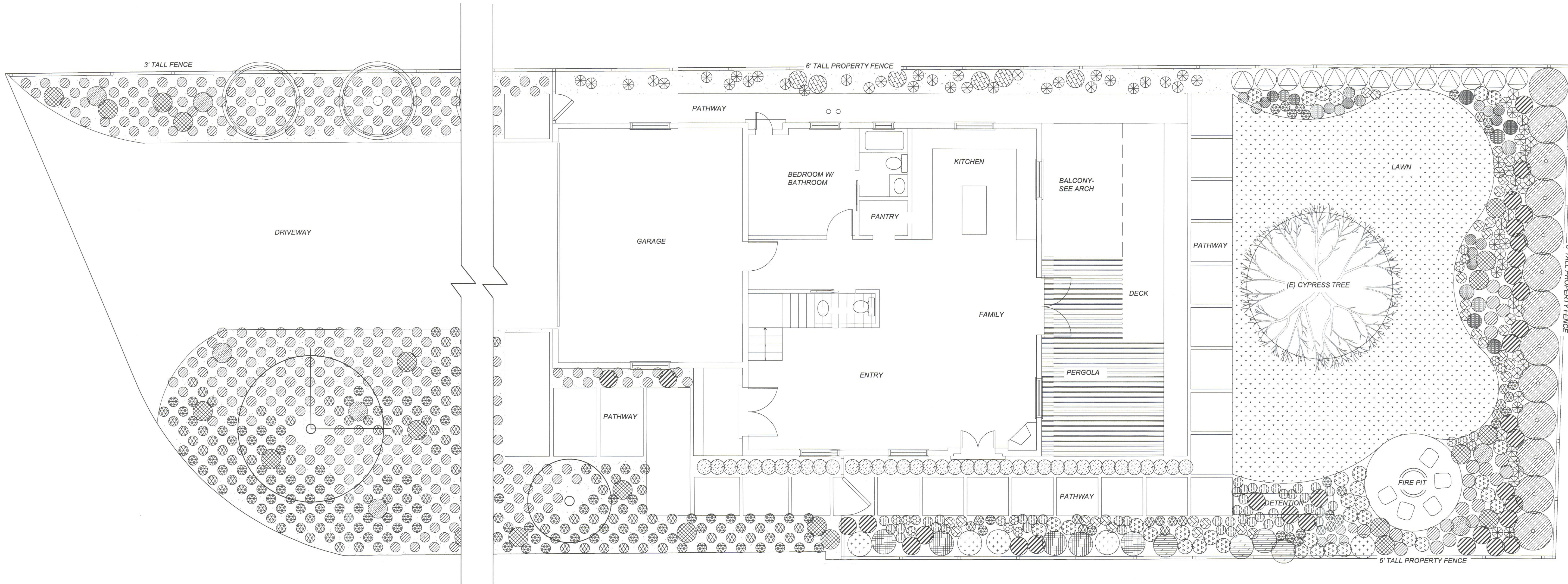
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SCALE: 3/16"=1'-0"

PLANTING LEGEND

SYB	PLANT NAMES	QTY/SIZE
	DELTA BLUE GRASS NATIVE MOW FREE BLEND - WWW.DELTABLUEGRASS.COM	804 SQFT
	QUERCUS AGRIFOLIA COAST LIVE OAK	(1) 48" BOX
	CERCIS OCCIDENTALIS WESTERN REDBUD	(1) 24" BOX
	FRUIT TREES TYPE: TBD	(3) B&B
	JUNIPERUS CHINENSIS 'TORULOSA' HOLLYWOOD JUNIPER	(13) 15 GAL
	MYRICA CALIFORNICA CALIFORNIA WAX MYRTLE	(13) 5 GAL
	ARCTOSTAPHYLOS 'ST HELENA' ST HELENA MANZANITA	(5) 15 GAL
	WOODWARDIA FIMBRIATA GIANT CHAIN FERN	(28) 5 GAL
	LEUCADENDRON 'PISA' PISA LEUCADENDRON	(5) 5 GAL
	AGAVE ATTENUATA FOX TAIL AGAVE	(14) 5 GAL
	RIBES SANGUINEUM GLUTINOSUM PINK-FLOWERED CURRANT	(5) 5 GAL
	TEUCRIUM FRUTICANS BUSH GERMANDER	(48) 5 GAL

SYB	PLANT NAMES	QTY/SIZE
	PEROVSKIA ATRIPLICIFOLIA RUSSIAN SAGE	(29) 5 GAL
	SANTOLINA CHAMAECYPARISSUS LAVANDER COTTON	(1) 36" BOX
	ACHILLEA MILLEFOLIUM YARROW VAR.	(15) 1 GAL
	ROMNEYA COULTERI MATILIJIA POPPY	(4) 5 GAL
	CYATHEA COOPERI AUSTRALIAN TREE FERN	(6) 15 GAL
	MUHLENBERGIA RIGENS DEER GRASS	(180) 1 GAL (12) 5 GAL
	PENNISETUM 'FAIRY TALES' EVERGREEN FOUNTAIN GRASS	(130) 1 GAL
	HEUCHERA 'PARIS' CORAL BELLS	(18) 1 GAL
	MICROLEPIA STRIGOSA LACE FERN	(50) 1 GAL
	SALVIA FARINACEA 'VICTORIA' VICTORIA BLUE SAGE	(30) 1 GAL
	JUNCUS EFFUSUS SOFT RUSH	(46) 1 GAL
	MULCH: TBD	2000 SQFT

Nonika Mascarenhas  
Architect  
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Oakland, CA  
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nonikatm@yahoo.com



TERREMOTO  
Landscape Architect  
2158 Lemoine Street  
LA, CA 90026  
Tel.(415)205-4049  
alain@terremoto.la

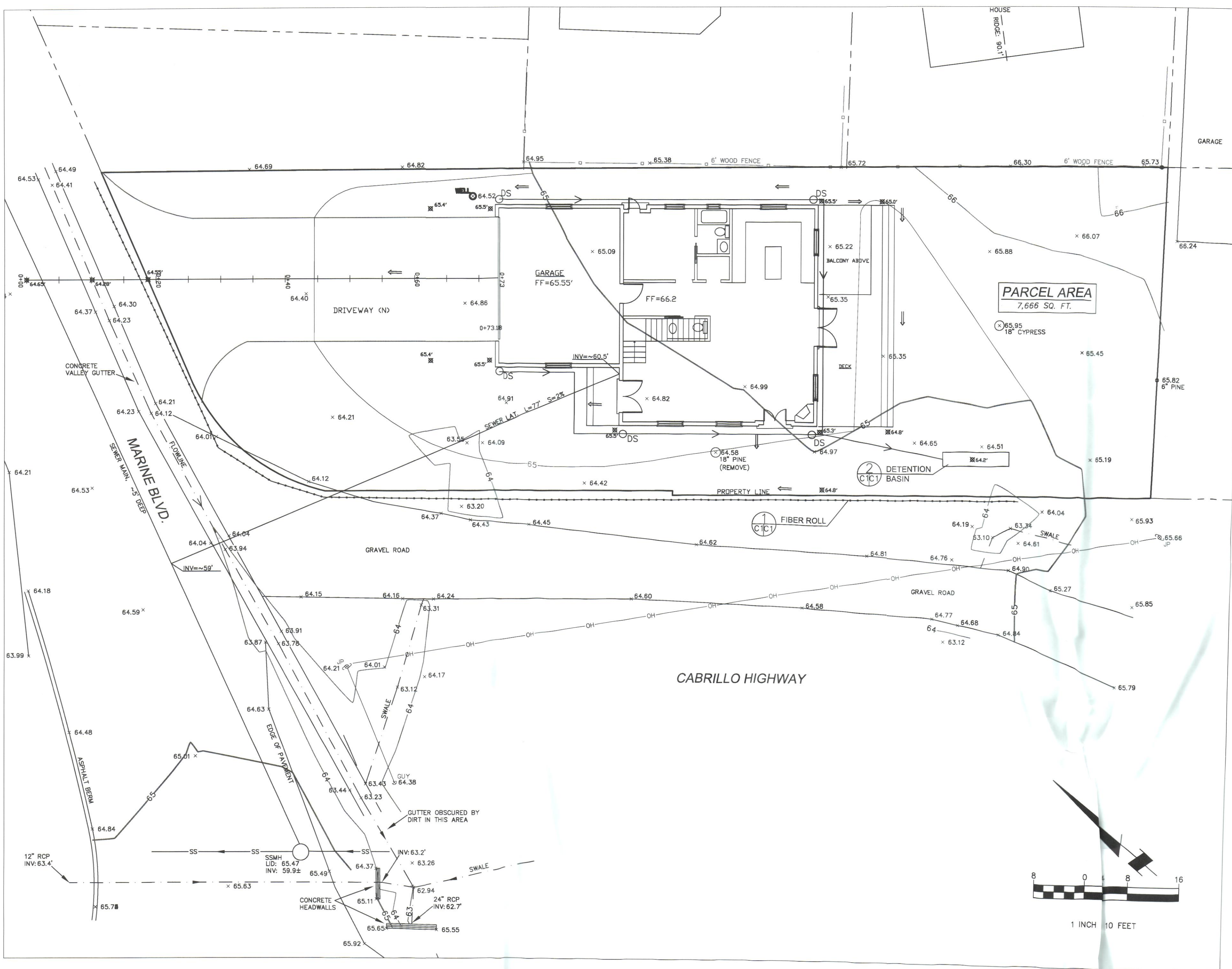
PLANTING PLAN

**CARRANZA RESIDENCE**  
**494 ALEXANDER WAY**  
A.P.N. 037-184-140  
MOSS BEACH, CA 94038

SUBMITTALS

REVISIONS

**L3.0**



### LEGEND

- EXISTING CONTOURS
- PROPOSED CONTOURS
- 64.19 EXISTING SPOT ELEVATION
- 65.3' PROPOSED SPOT ELEVATION
- DRAINAGE POINT
- DIRECTION OF SURFACE DRAINAGE FLOW

### GENERAL NOTES

1. PLANS PREPARED AT THE REQUEST OF: CARLOS CARRANZA, OWNER
2. SURVEY AND TOPOGRAPHY BY BGT LAND SURVEYING, SURVEYED 9-17-13.
3. ELEVATION DATUM ASSUMED. THIS IS NOT A BOUNDARY SURVEY.

### GRADING NOTES

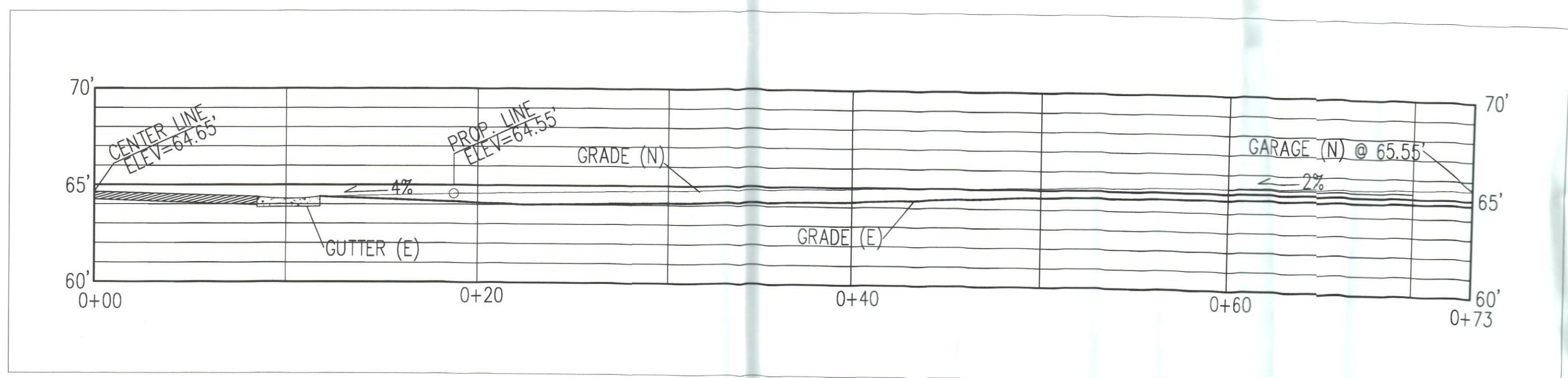
- CUT VOLUME : 20 CY  
 FILL VOLUME: 20 CY
- ABOVE VOLUMES ARE APPROXIMATE AND ARE FOR VERY LITTLE WORK TO BUILD FOUNDATIONS AND TO SLOPE GROUND FOR PROPER DRAINAGE.
- ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.
- EXISTING DRIVEWAY WILL BE ABLE TO SERVE PROPOSED GARAGE WITH VERY MINOR CHANGE NEXT TO GARAGE ONLY.

### DRAINAGE NOTES

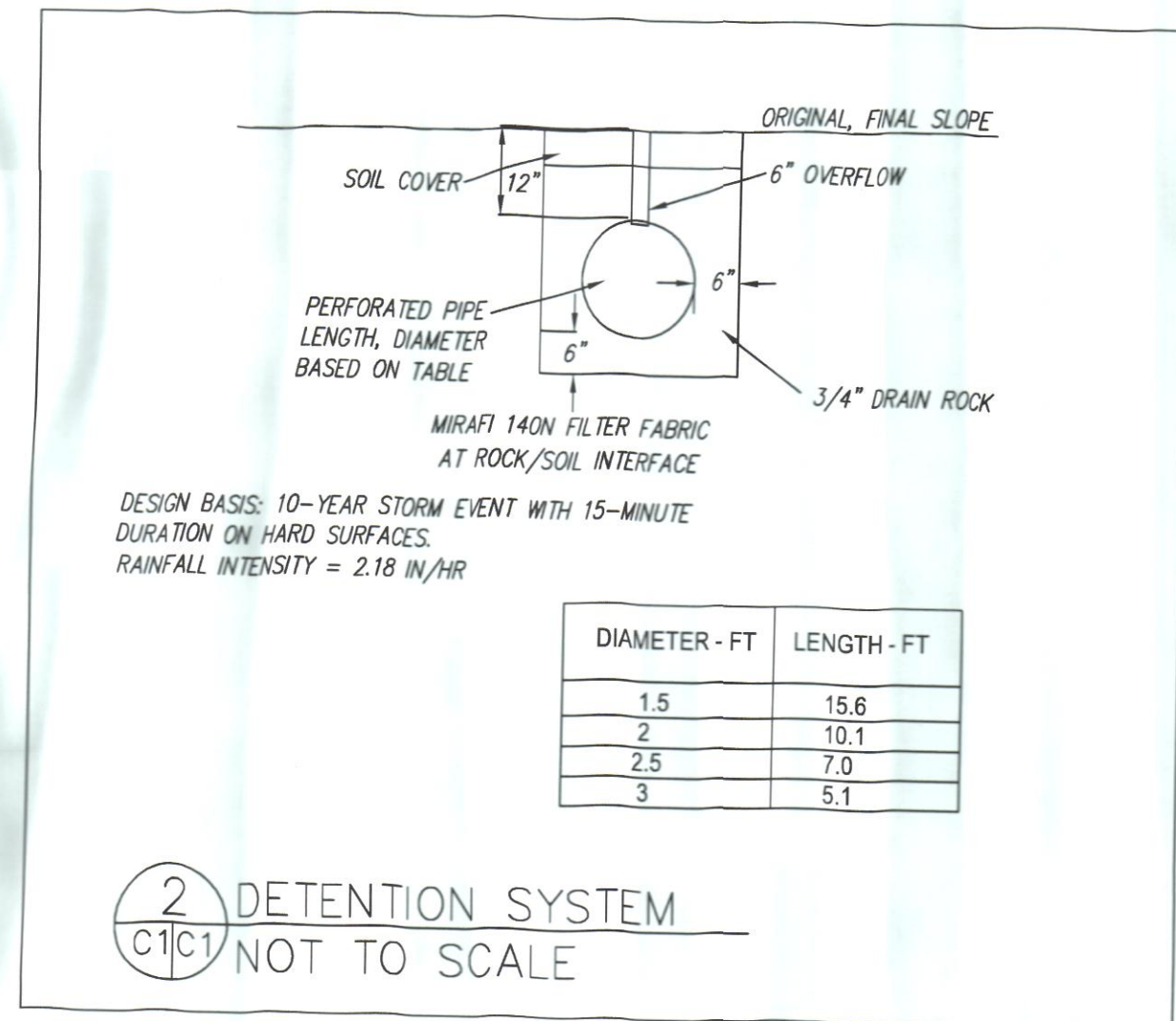
1. DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS.
2. RUNOFF FROM THE ROOF SHALL BE DIRECTED TO THE DETENTION BASIN, WITH THE INTENT OF PREVENTING AN INCREASE IN RUNOFF FROM THE PROPERTY.
3. ALL DRAIN LINES SHALL LEAD TO DETENTION BASIN SHOWN.
4. ALL DRAINAGE PIPES SHALL BE 3" DIAMETER SOLID PIPE, SLOPED AT 1/2% MINIMUM.

### DUST CONTROL NOTES

- (1) Water or cover stockpiles of debris, soil, sand or other materials that can be blown by the wind.
- (2) Cover all trucks hauling soil, sand, and other loose materials or require all trucks to maintain at least 2 feet of freeboard.
- (3) Apply water three times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking and staging areas at construction sites. Also, hydroseed or apply non-toxic soil stabilizers to inactive construction areas.
- (4) Sweep daily (preferably with water sweepers) all paved access roads, parking and staging areas at construction areas.
- (5) Sweep adjacent public streets daily (preferably with water sweepers) if visible soil material is carried onto them.
- (6) Enclose, cover, water twice daily or apply non-toxic soil binders to exposed stockpiles (dirt, sand, etc.)
- (7) Limit traffic speeds on unpaved roads within the project parcel to 15 mph.
- (8) Install sandbags or other erosion control measures to prevent silt runoff to public roadways.
- (9) The approved plan shall be implemented for the duration of any grading and construction activities that generate dust and other airborne particles.



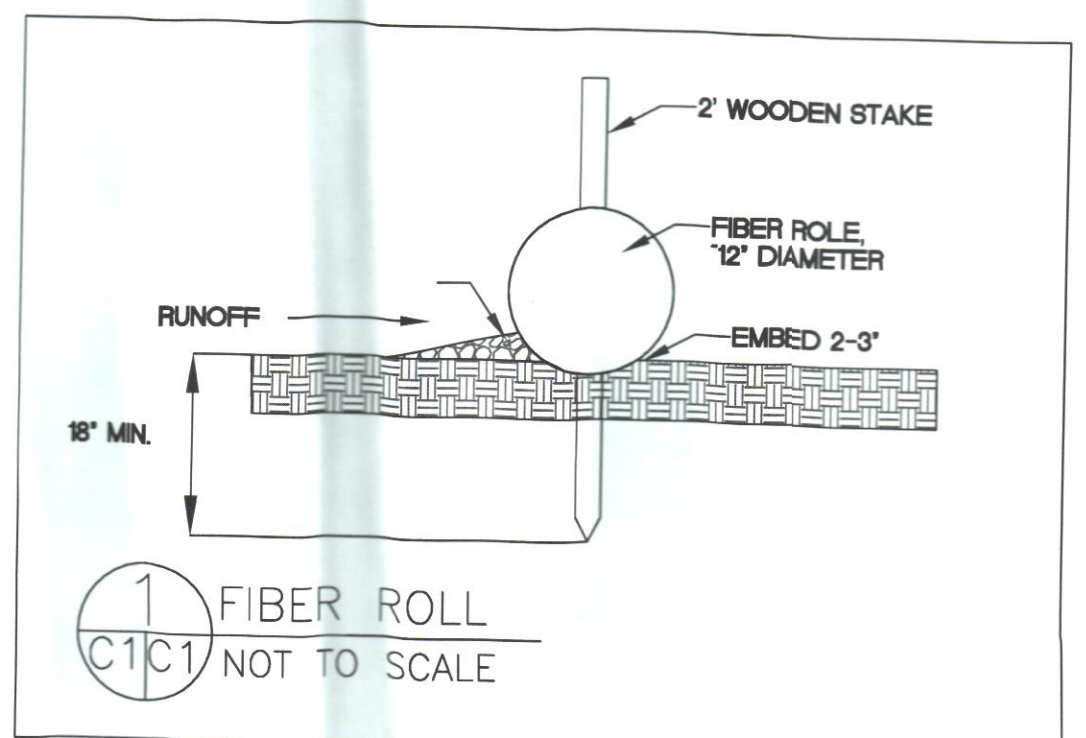
DRIVEWAY PROFILE 1"=5'



2 DETENTION SYSTEM NOT TO SCALE

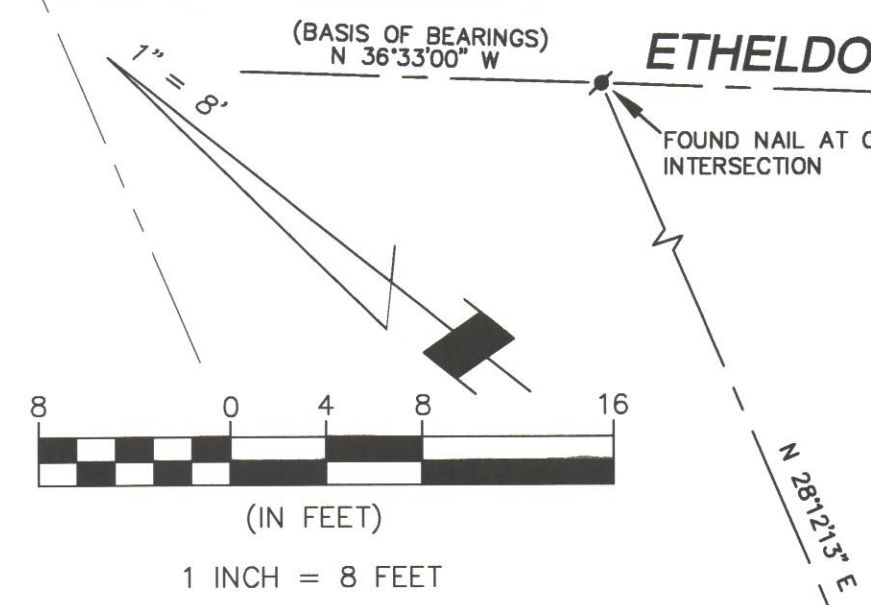
### EROSION CONTROL NOTES

- FIBER ROLL INSTALL AT LOCATIONS SHOWN, AFFIX AS SHOWN IN DETAIL 1
- FOR CONSTRUCTION DURING DRY SEASON, ALL EXPOSED SURFACES SHALL BE WETTED PERIODICALLY TO PREVENT SIGNIFICANT DUST. BETWEEN OCT 15 AND APRIL 15 ALL EXPOSED SOIL SHALL BE PROTECTED FROM EROSION AT ALL TIMES. SUCH PROTECTION SHALL CONSIST OF COIR LOGS, AS SHOWN.
- ALL STOCKPILED SOIL SHALL BE COVERED DURING PERIODS OF RAIN. BEFORE COMPLETION OF PROJECT ALL EXPOSED OR DISTURBED SURFACES SHALL BE PERMANENTLY PROTECTED FROM EROSION, USING JUTE NETTING AND/OR SEED.



1 FIBER ROLL NOT TO SCALE

SECTION AND IDENTIFICATION  
 REFERENCE SHEET NO. FROM WHICH SECTION OR DETAIL IS TAKEN



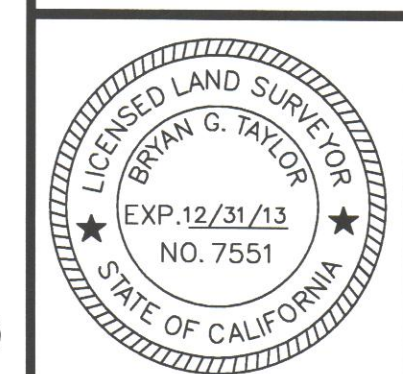
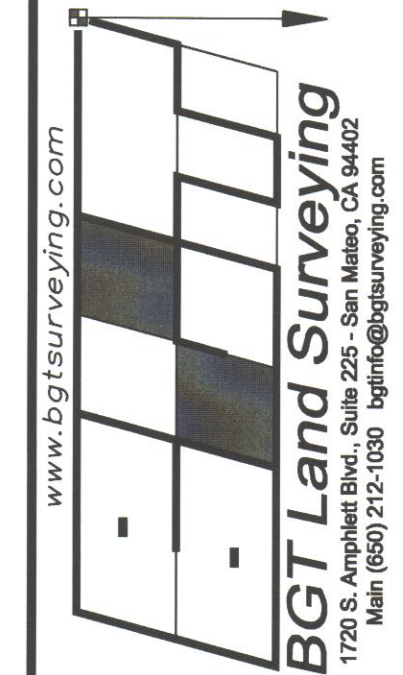
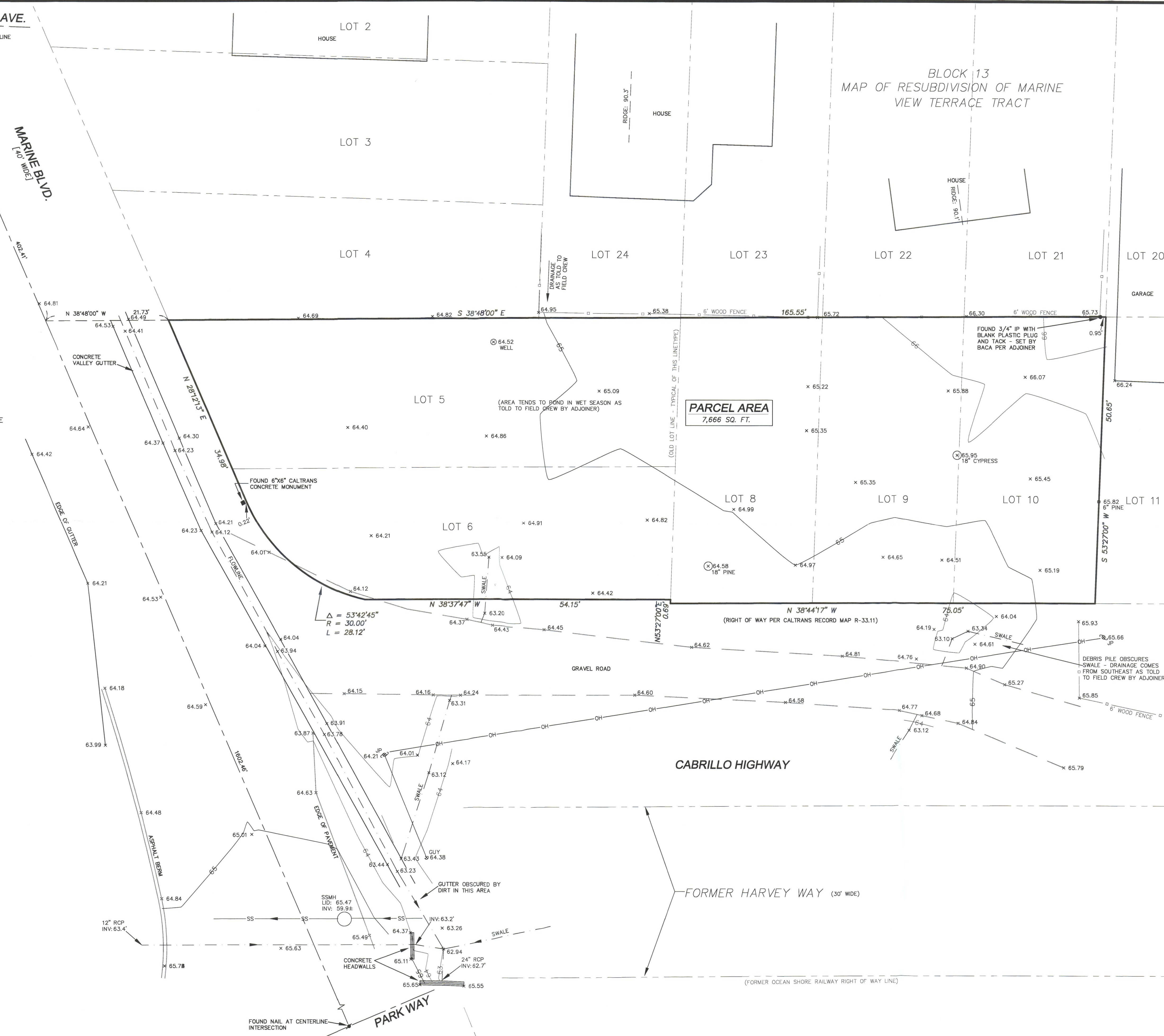
**BASIS OF BEARINGS**  
 THE BEARING, NORTH 36°33'00" WEST, OF ETHELDORE AVENUE, AS SHOWN ON THAT CERTAIN SUBDIVISION MAP ENTITLED, "RESUBDIVISION OF MARINE VIEW TERRACE TRACT" WHICH WAS FILED FOR RECORD IN BOOK 5 OF MAPS PAGE 39, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

**BENCHMARK**  
 ELEVATIONS SHOWN HEREON ARE BASED UPON NGVD 1929 ("MEAN SEA LEVEL") DATUM. BENCHMARK USED WAS THE BRASS TAG "L53544" ON SIDEWALK AT THE NELY CORNER OF SUNSHINE VALLEY ROAD AND ETHELDORE ROAD, AS SHOWN IN SAN MATEO COUNTY FIELD BOOK 767-7, PAGE 51, WITH AN ELEVATION OF 76.386 FEET.

**NOTES:**  
 BGT DID NOT RECEIVE A TITLE REPORT COVERING THE SUBJECT PROPERTY; THEREFORE, ANY EASEMENTS OF RECORD AFFECTING IT COULD NOT BE PLOTTED HEREON.  
 UTILITIES SHOWN HEREON TAKEN FROM VISUAL SURFACE EVIDENCE AND SHOULD BE CONSIDERED AS APPROXIMATE ONLY. ACTUAL LOCATIONS OF UTILITIES MAY VARY. TRUE LOCATION OF UTILITIES CAN ONLY BE OBTAINED BY EXPOSING THE UTILITY.  
 TREE LOCATIONS SHOWN HEREON ARE SHOWN SYMBOLICALLY WITH SYMBOL SIZES BASED UPON TRUNK DIAMETER AT CHEST HEIGHT, AT THE LOCATION WHERE THE TREE ENTERS THE GROUND SURFACE. LOCATIONS AND SIZES OF TREE TRUNKS CAN ONLY BE CONSIDERED APPROXIMATE UNLESS OTHERWISE STATED ON THE MAP. TREES OF TRUNK DIAMETER SIZES OF 6 INCHES OR GREATER WERE LOCATED BY THE FIELDCREW.

SURVEY PERFORMED BY: BGT LAND SURVEYING  
 www.bgtlandsurveying.com  
 DATE OF FIELD SURVEY: SEPTEMBER 17, 2013  
 JOB NUMBER: 13-167

- LEGEND**
- AC ASPHALT CONCRETE
  - BW BACK OF WALK
  - CB CATCH BASIN
  - C/L CENTERLINE
  - CMP CORRUGATED METAL PIPE
  - CI CAST IRON PIPE
  - CO CLEAN OUT BOX
  - CP SURVEY CONTROL POINT
  - CPP CORRUGATED PLASTIC PIPE
  - CTV CABLE TELEVISION LINE
  - DI DROP INLET
  - EBOX ELECTRICAL BOX
  - ELD ELECTRICAL DISK
  - EM ELECTRIC METER
  - EV ELECTRIC VAULT
  - FF FINISHED FLOOR
  - FL FLOWLINE
  - GM GAS METER
  - GRD GROUND
  - GUY GUY ANCHOR
  - GV GAS VALVE
  - HCR HANDICAP RAMP
  - HVE HIGH-VOLT ELECTRIC
  - HYD FIRE HYDRANT
  - INV. INVERT
  - IP IRON PIPE
  - JP JOINT POLE
  - KV KILOVOLT
  - LAT. LATERAL
  - LG LIP OF GUTTER
  - MH (TYPE UNKNOWN) MH (TYPE UNKNOWN)
  - MON-MON MONUMENT TO MONUMENT DISTANCE
  - PBV PACBELL/SBC VAULT
  - PGE PG&E VAULT
  - PVI POST INDICATOR VALVE
  - PP POWER POLE
  - SDMH STORM DRAIN MANHOLE
  - SL STREET LIGHT
  - SLB STREET LIGHT BOX
  - SSMH SANITARY SEWER MANHOLE
  - SSV SANITARY SEWER VAULT
  - STAND STAND PIPE
  - TBC TOP BACK OF CURB
  - TBM TEMPORARY BENCHMARK
  - TS TRAFFIC SIGNAL
  - TSB TRAFFIC SIGNAL BOX
  - UNK UNKNOWN TYPE
  - VCP VITRIFIED CLAY PIPE
  - WBF WATER BACK FLOW VALVE
  - WM WATER METER BOX
  - WV WATER VALVE
  - WVL WATER VAULT
  - CTV- CABLE TELEVISION LINE
  - E- ELECTRICAL LINE
  - G- GAS LINE
  - OH- OVERHEAD LINE
  - SD- STORM DRAIN LINE
  - SS- SANITARY SEWER LINE
  - T- TELEPHONE LINE
  - W- WATER LINE



Assessor Parcel Number:  
 037-184-140  
 Prepared For:  
 CARLOS CARRANZA  
 210 Armour Avenue #7  
 So. San Francisco, CA 94080

**BOUNDARY AND TOPOGRAPHIC SURVEY**  
 LOT 5, PORTIONS OF LOTS 6,8-11, BLOCK 13, "RESUBDIVISION OF MARINE VIEW TRACT" (BOOK 5 MAPS 39)  
**VACANT, MARINE BLVD.**  
 MOSS BEACH, SAN MATEO COUNTY, CALIFORNIA

Date: SEPT. 2013  
 Scale: 1" = 8'  
 Contour Interval: 2'  
 Drawn: LHL  
 Drawing Number:  
**SU-1**  
 SHEET 1 OF 1  
 Job No. 13-167