



North Fair Oaks Community Council
San Mateo County Coordinated
Departmental Response



DATE: September 19, 2017
NFOCC MEETING DATE: September 28, 2017
SPECIAL NOTICE/HEARING: 10 days, within 300 feet
VOTE REQUIRED: Majority

To: Members, North Fair Oaks Community Council

From: Planning Staff

Subject: Use Permit to allow an accessory building to be located within the rear quarter of a parcel where, in the case of a parcel abutting upon two or more streets, accessory buildings may not encroach upon the outer quarter of the parcel nearest either street. The project is located at 3520 Bay Road in the unincorporated North Fair Oaks area of San Mateo County.

County File Number: PLN 2017-00007

PROPOSAL

The applicant proposes to construct an accessory building, a 464 sq. ft. detached one-car garage with an attached one-car carport, that will be located 12.5 feet from the rear property line of the subject parcel. Pursuant to Section 6411(c) of the County Zoning Regulations, interior parcels abutting upon two or more streets, as in the case of the subject parcel (abutting upon Bay Road and Spring Street), no accessory buildings may be erected or altered so as to encroach upon the outer quarter of the parcel nearest either street. The applicant requests a Use Permit to allow the accessory building to be located within the quarter of the parcel abutting upon Spring Street. The project also includes the demolition of a shed in the rear yard, a fence along the rear property line, and legalization of the conversion of the attached 533 sq. ft. two-car garage within the main residence into conditioned space (a family room). With the proposed accessory building, the existing single-family residence would comply with Section 6119 (*Parking Spaces Required*) of the County Zoning Regulations, which requires two covered parking spaces for a dwelling unit with two or more bedrooms. No vegetation removal will occur and only minor grading is proposed.

RECOMMENDATION

That the North Fair Oaks Community Council provide a recommendation to the Zoning Hearing Officer on the Use Permit for an accessory building to be located within the rear

quarter of a parcel where, in the case of a parcel abutting upon two or more streets, accessory buildings may not encroach upon the outer quarter of the parcel nearest either street.

BACKGROUND

Report Prepared By: Carmelisa Morales, Project Planner, Telephone 650/363-1873

Owner/Applicant: Romain Laboisie

Location: 3520 Bay Road, Redwood City

APN: 055-185-040

Parcel Size: 7,432 sq. ft.

Existing Zoning: R-1/S-73 (Single-Family Residential District/S-73 Combining District with 5,000 sq. ft. minimum parcel size)

General Plan Designation: Single-Family Residential (15 to 24 dwelling units/net acre)

Existing Land Use: Single-Family Residence

Water Supply: Municipal water service is provided by City of Redwood City Municipal Water Department

Sewage Disposal: County Administered Sewer (Fair Oaks Sewer Maintenance District)

Flood Zone: The project site is located in Flood Zone X as defined by FEMA (Community Panel Number 06081C0302E, dated October 16, 2012), which is an area with minimal potential for flooding.

Environmental Evaluation: Categorically exempt under provisions of Class 3, Section 15303 of the California Environmental Quality Act Guidelines for the construction of an accessory structure.

Setting: The project site is on a flat developed parcel located on a triangular-shaped block in the unincorporated North Fair Oaks neighborhood. The parcel abuts upon two streets, Bay Road and Spring Street, and is located approximately 150 feet from where these streets intersect and where Bay Road changes to Florence Street. The two-story single-family residence on the parcel consists of four bedrooms, two bathrooms, a covered porch, and decks on both levels. The second level of the residence may be accessed via an interior stairwell or exterior stairs from the rear of the residence. A shed and fence proposed for removal are located in the rear yard. There are six (6) significant-sized trees (12" or more in diameter at breast height) on the parcel. The parcel is adjacent to and surrounded by single-family residential development. There are also nearby commercial uses on the southern side of Florence Street, approximately 450 feet from the project site.

Chronology:

<u>Date</u>	<u>Action</u>
January 11, 2017	- Subject Use Permit application, PLN 2017-00007, submitted.
July 24, 2017	- Application deemed complete.
September 28, 2017	- North Fair Oaks Community Council meeting.
November 16, 2017	- Tentatively scheduled Zoning Hearing Officer hearing.

DISCUSSION

A. KEY ISSUES

1. Compliance with the General Plan/North Fair Oaks Community Plan

The proposed project complies with all applicable General Plan Policies, specifically:

Policies 8.12a (*General Plan Land Use Designations for Urban Areas*), 8.35 (*Zoning Regulations*), and 8.36 (*Uses*) seek to adopt the land use designations of the North Fair Oaks Community Plan (NFOCP), allow uses in zoning districts that are consistent with the overall land use designation, and require the use of zoning districts to regulate development. In addition, Policy 8.40 (*Parking Requirements*) aims to regulate minimum on-site parking requirements and parking development standards in order to accommodate the parking needs of the development, provide convenient and safe access, and prevent congestion of public streets.

The project parcel is zoned R-1/S-73 (*Single-Family Residential District/ S-73 Combining District*). Pursuant to Section 6161(e) of the County Zoning Regulations, the proposed accessory building for the existing single-family residence is an allowed use in this zoning district. The accessory building complies with the S-73 Zoning District development standards and the detached accessory building regulations, Chapter 20 and Sections 6410 and 6410 of the County Zoning Regulations respectively, in regards to maximum height, floor area and lot coverage, and minimum setbacks. Compliance with these regulations are further discussed in Section A.2 of this report.

The NFOCP land use designation for the parcel is Single-Family Residential. This land use designation regulates maximum heights and minimum setbacks which are the same requirements for the S-73 Zoning District. Since the existing use on the parcel is a single-family residence and the project complies with all applicable S-73 zoning standards as discussed above, the project therefore complies with the NFOCP.

Lastly, as mentioned in the Proposal Section of this report, the project also includes the legalization of the converted attached two-car garage in the main residence into conditioned space. Pursuant to Section 6119 (*Parking Spaces Required*) of the County Zoning Regulations, a dwelling unit with two or more bedrooms is required to have two covered parking spaces. The NFOCP Single-Family Residential land use designation also requires two parking spaces for dwelling units with three or more bedrooms. The existing single-family residence has four bedrooms. The proposed accessory building, a detached one-car garage with an attached one-car carport, will provide the two covered parking spaces required by the County Zoning Regulations and NFOCP.

2. Compliance with the Zoning Regulations

a. S-73 Zoning District Development Standards

As mentioned in the section above, the project parcel is zoned R-1/S-73 (Single-Family Residential District/S-73 Combining District). The development on the parcel complies with all applicable zoning regulations of the R-1/S-73 Zoning District as outlined in the table below. Compliance with the development standards for detached accessory buildings will be further discussed in Section A.2.b.

S-73 Development Standards			
	Required	Existing	Proposed
Minimum Lot Width	Average 50 ft.	60 ft.	-
Minimum Lot Area	5,000 sq. ft.	7,432 sq. ft.	-
Minimum Front Yard Setback of Residence	20 ft.	25 ft. 7 in.	-
Minimum Left Side Yard Setback of Residence	5 ft.	5 ft.	-
Minimum Right Side Yard Setback of Residence	5 ft.	5 ft.	-
Minimum Rear Yard Setback of Residence	20 ft.	36.5 ft.	-
Maximum Building Height of Residence	28 ft.	23 ft. 1 in.	-
Maximum Lot Coverage ¹	3,716 sq. ft. (50%)	2,116 sq. ft. (28%)	2,451 sq. ft. (32%)
Maximum Floor Area ²	3,232 sq. ft. (43%)	1,881 sq. ft. (25%)	2,216 sq. ft. (29%)
¹ Lot coverage includes all structures 18 inches or more above ground. The first-level and second level decks were included because they are over 18 inches above ground. ² In the S-73 Zoning District, floor area includes the area of all garages and carports that exceed 400 sq. ft. The garage and carport areas exceeding 400 sq. ft. were included.			

b. Detached Accessory Building Regulations

In the case of interior parcels abutting upon two or more streets, Section 6411(c) of the County Zoning Regulations does not allow detached accessory buildings to encroach upon the outer quarter of the parcel nearest either street. The project parcel abuts upon two streets: Bay Road and Spring Street. The applicant is proposing a 464 sq. ft. detached one-car garage with an attached one-car carport. The accessory building will be located 12.5 feet from the rear property line which is within the quarter of the parcel abutting Spring Street. This proposed location requires a Use Permit. The finding for approval of a Use Permit is discussed in Section A.3 of this report.

With the exception of location, the proposed project complies with all applicable standards for detached accessory buildings as shown in the table below:

Detached Accessory Building Development Standards³		
	Required	Proposed
Maximum Accessory Building Coverage of Rear Yard ⁴	1,114 sq. ft. (30% of Rear Yard)	464 sq. ft. (12% of Rear Yard)
Maximum Accessory Building Floor Area	1,000 sq. ft.	464 sq. ft.
Maximum Plate Height	10 ft.	9 ft.
Minimum Front Yard Setback ⁵	3 ft.	89 ft.
Minimum Left Side Yard Setback ⁵	3 ft.	31.5 ft.
Minimum Right Side Yard Setback ⁵	3 ft.	6 ft.
Minimum Rear Yard Setback ⁵	3 ft.	12.5 ft.
Maximum Accessory Building Height	19 ft.	10 ft. 9 in.
<i>³ Regulated under Sections 6410 and 6411 of the San Mateo County Zoning Regulations.</i>		
<i>⁴ Rear yard of parcel is 3,716 square feet.</i>		
<i>⁵ Regulated by Section 6411(c), as discussed above, which requires detached accessory buildings on interior parcels abutting two or more streets, to only be located within the middle two quarters of the parcel (the subject of this Use Permit application).</i>		

c. Parking Requirements

As discussed in the sections above, the applicant is also proposing to legalize the conversion of the attached two-car garage of the main residence into conditioned space. Pursuant to Section 6119 (*Parking Spaces Required*) of the County Zoning Regulations, a dwelling unit with two or more bedrooms is required to have two covered parking spaces. Since the existing single-family residence has four bedrooms, two covered parking spaces are required. The proposed accessory

building, a detached one-car garage with an attached one-car carport, will provide the two covered parking spaces required.

3. Compliance with Use Permit Findings

Pursuant to Section 6503 (*Procedure*) of the County Zoning Regulations, the granting of a Use Permit is subject to the following finding:

That the establishment, maintenance, and/or conducting of the use will not, under the circumstances of the particular case, result in a significant adverse impact to coastal resources, or be detrimental to the public welfare or injurious to property or improvements in said neighborhood.

The applicant is proposing to construct a 464 sq. ft. detached one-car garage with an attached one-car carport to be located 12.5 feet from the rear property line of the subject parcel. Pursuant to Section 6411(c) of the County Zoning Regulations, in the case of interior parcels abutting upon two or more streets, as in the case of the subject parcel (abutting upon Bay Road and Spring Street), no accessory buildings may be erected or altered so as to encroach upon the outer quarter of the parcel nearest either street. The applicant requests a Use Permit to allow the accessory building to be located within the quarter of the parcel abutting upon Spring Street.

The proposed use, an accessory building that is appurtenant to the residential use currently on the parcel, is an allowed use in R-1/S-73 Zoning District and the Single-Family Residential land use designation of the NFOCP. As discussed in the previous sections above, the proposed project includes the legalization of the converted attached two-car garage of the main residence into conditioned space. The accessory building will allow the single-family residential use to comply with the County Zoning Regulations by providing two covered parking spaces.

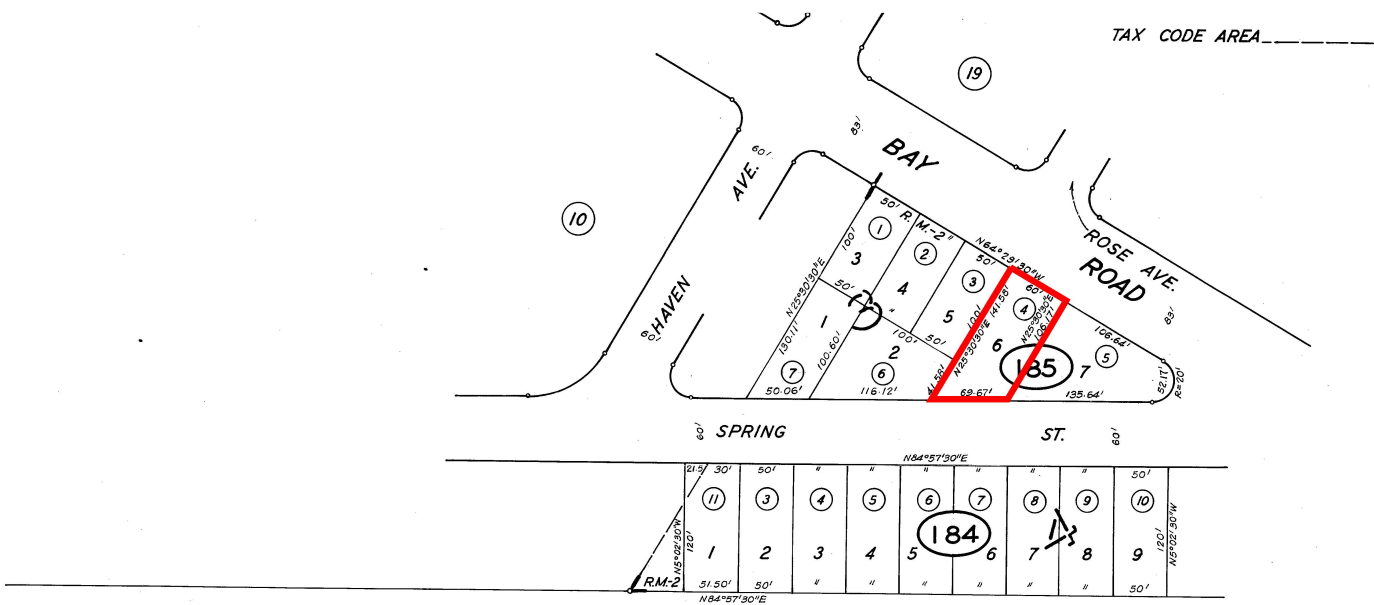
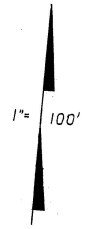
Based on the preceding discussions in this report, the project is not expected to be detrimental to the public welfare or injurious to property or improvements in the neighborhood. Furthermore, the project will not impact coastal resources as it is not located in the coastal zone.

ATTACHMENTS

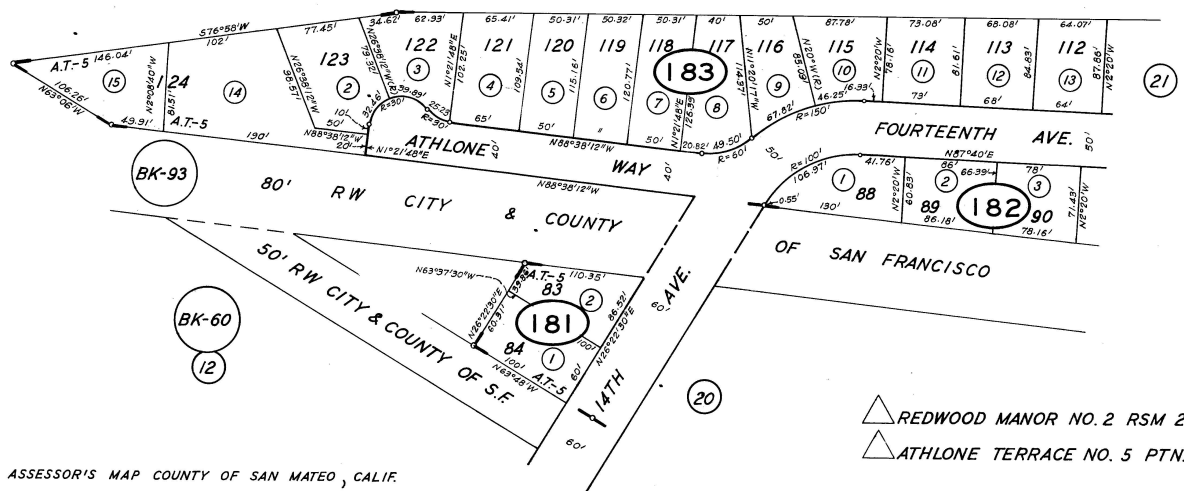
- A. Parcel Map
- B. Project Plans

CM:pac - CJMBB0549_WPN.DOCX

55-18



S. P. R. R. CO.



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Owner/Applicant: Romain Laboisse

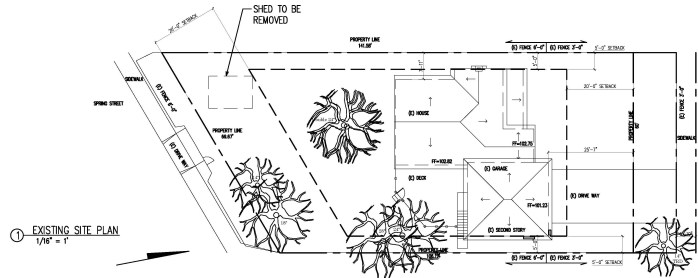
Attachment: A

File Number: PLN2017-00007

1) VERIFY ALL DIMENSIONS IN FIELD
 2) IN CASE OF DISCREPANCY, GC TO CONTACT ARCHITECT PRIOR TO CONTINUATION OF WORK

NOTE:
 GC TO MAINTAIN ADJOINING STREETS FREE AND CLEAN OF PROJECT DIRT, MUD, MATERIAL AND DEBRIS DURING CONSTRUCTION PERIOD, AND MAINTAIN FIRE TRUCK ACCESS TO OTHER PROPERTIES

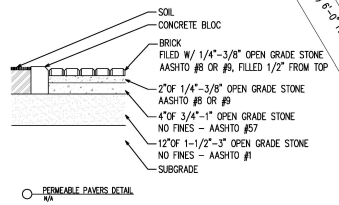
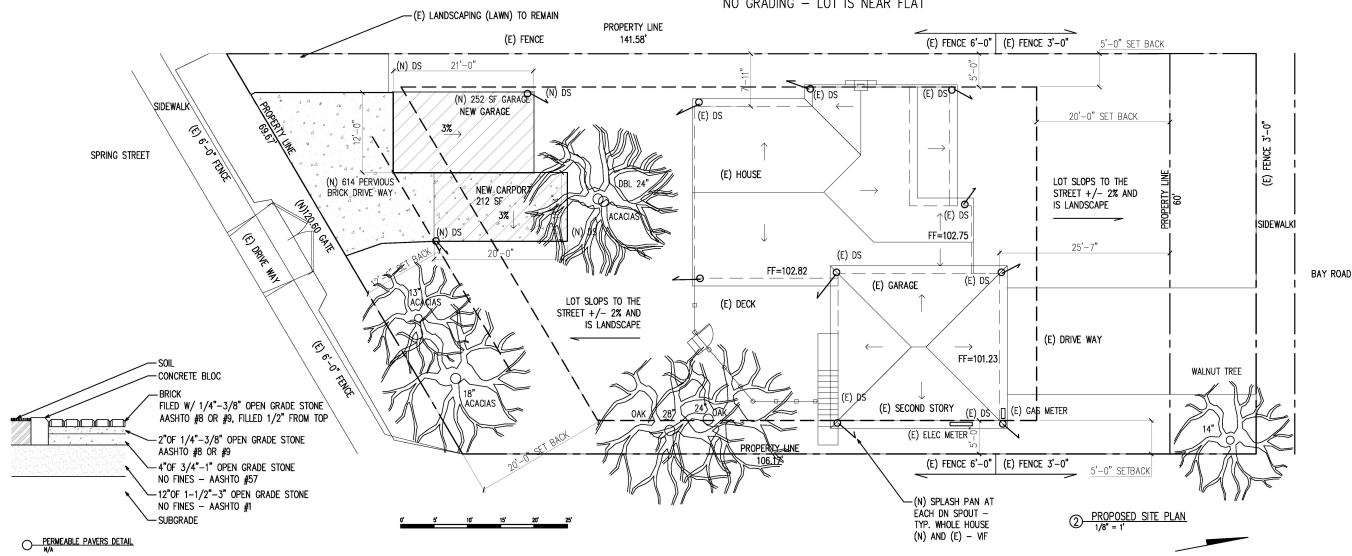
NOTE:
 AT THE TIME OF FOUNDATION INSPECTION IF REQUIRED BY CITY INSPECTOR, CORNER STAKES OR OFFSET STAKES MUST BE ESTABLISHED BY A LAND SURVEYOR REGISTERED IN THE STATE OF CALIFORNIA AND VERIFIED BY THE FIELD INSPECTOR TO ENSURE THAT NEW STRUCTURE CONSTRUCTION IS LOCATED IN ACCORDANCE WITH THE APPROVED PLANS, AND DOES NOT ENCRoACH IN THE SETBACK



APPLICATION STATUS FOR USE PERMIT
 OF CASE NO.: PLN2017-00007
 ADDRESS: 3520 BAY RD, REDWOOD CITY

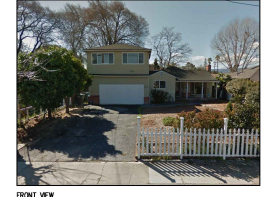
PROJECT DESCRIPTION: USE PERMIT TO ALLOW ONE GARAGE & ONE CARPORT WITH A 12.6 FT. FRONT SETBACK WHERE THE COVERED PARKING IS REQUIRED TO BE OUTSIDE OF THE MIDDLE TWO QUARTERS OF THE PARCEL ON A THROUGH (STREETS TO FRONT & REAR SIDES) LOT. THE PROPOSED COVERED PARKING IS RESTORING REQUIRED PARKING. THE ORIGINAL GARAGE BUILT WITH THE HOUSE WAS CONVERTED TO A FAMILY ROOM BY THE PREVIOUS OWNER & THE CURRENT OWNER WOULD LIKE TO LEGALIZE THE FAMILY ROOM.

NO (E) TREE WILL BE REMOVED
 NO GRADING - LOT IS NEAR FLAT



CONTRACTOR'S NOTE
 VERIFY ALL DIMENSIONS IN FIELD, IN CASE OF DISCREPANCY CONTACT ARCHITECT PRIOR TO CONTINUATION OF WORK.
 THE ISSUANCE OF A BUILDING PERMIT SHALL NOT BE CONSIDERED AS A GUARANTEE THAT ALL OF CODE REQUIREMENTS ARE REFLECTED IN THE DOCUMENT. THE GENERAL CONTRACTOR FOR THE PROJECT SHALL BE ULTIMATELY RESPONSIBLE FOR INSURING THAT THE FINISHED PRODUCT COMPLES WITH ALL REGULATIONS, LAWS AND CODE REQUIREMENTS.
 MANUFACTURED ROOF FRAMING - DIFFERED SUBMITAL WHEN NEEDED - PROVIDE TRUSS CALCS SIGNED BY LICENCE PROFESSIONAL FOR APPROVAL BY CITY
 THE CITY/COUNTY BUILDING OFFICIAL AND/OR FIRE MARSHALL WILL REVIEW THE SCOPE OF WORK AND DETERMINE IF THE EXISTING BUILDING WILL NEED TO BE RETROFITTED WITH FIRE SPRINKLERS. GC TO CONTACT FIRE DEPARTMENT FOR VERIFICATION, AND UPGRADE WATER METER AND LINE AS NECESSARY.
 SPRINKLERS - DIFFERED PERMIT - GC TO SUBMIT AND PULL PERMIT IF REQUIRED BY CITY OR FIRE DEPT
 GC TO READ, BE FAMILIAR AND FOLLOW ALL STANDARD PROVISIONS, CONSTRUCTION GUIDE LINE AND REQUIREMENTS OF THE FOLLOWING:
 CURRENT APPLICABLE CODES AND ORDINANCE.
 GREEN BUILDING RECYCLING PLAN AND ON LINE REPORTING REQUIREMENT
 CALIFORNIA ENERGY REPORT, ON LINE REPORTING REQUIREMENT, AND HERS TESTING
 CAL GREEN 2016, 2016 CBC AND CRC MANDATORY MEASURES

3520 BAY RD, REDWOOD CITY, CA 94063



GENERAL SYMBOLS	
	ALL DIMENSIONS F.O.S.-EXTERIOR & INTERIOR WALL
	EXISTING (E) WALL
	REMOVE WALL
	NEW (N) WALL
	(E) WALL (N) SHEAR

COMPLIANCE CODES	
APPLICABLE CODES & STANDARDS	CITY CODES AND ORDINANCES
	CALIFORNIA BUILDING CODE 2016
	CALIFORNIA RESIDENTIAL CODE 2016
	CALIFORNIA PLUMBING CODE 2016
	CALIFORNIA MECHANICAL CODE 2016
	CALIFORNIA ELECTRICAL CODE 2016
	2016 EDITION OF THE TITLE 24 STANDARDS

OWNER	
MR. & MRS LABOISSE	3520 BAY RD, REDWOOD CITY, CA 94063
labois@gmail.com	908.376.8246
APR. 55-185-040	NO SPRINKLER TYPE V-B
SINGLE FAMILY DWELLING	TWO STORY

PROJECT DATA	
NET SITE AREA	7,432 SF
(E) 1ST FLOOR	980 SF
(E) GARAGE	533 SF
(E) PORCH	106 SF
(E) SHED	129 SF
(E) DECK	352 SF
(E) SECOND FLOOR	533 SF
(E) SECOND FLOOR DECK	18 SF
(E) FOOT PRINT	2,100 SF
(E) LOT COVERAGE (MAX = 50%)	28.25 %
(E) CONDITIONED SPACE (MAX = 3,232.32 SF)	1,513 SF
(N) ADDITION (CONVERTED GARAGE)	533 SF
(N) TOTAL CONDITIONED SPACE	2,046 SF
(N) GARAGE & CARPORT	464 SF
(N) TOTAL FOOT PRINT	2,425 SF
(N) LOT COVERAGE (MAX 50%)	32.63%

SCOPE OF WORK	
REMOVE FENCE FROM THE RIGHT OF WAY ON SPRING ST	
REMOVE (E) SHED	
ADD 1 CAR GARAGE AND 1 CAR CARPORT PER USE PERMIT	
LEGALIZE CONVERSION OF (E) 2 CAR GARAGE INTO CONDITIONED SPACE	
NO CHANGE TO PARKING	
NO CHANGE TO DRAINAGE	

ARCHITECT: ROMAN CURTIS #C35019	
REDWOOD DESIGN STUDIO	387 CIVIC DR #3
PLEASANT HILL, CA 94523	510.812.0345
romcur@redwooddesignstudio.com	

SHEET INDEX	
A1	SITE PLAN
A2	ORIGINAL HOUSE CONDITION
A3	CURRENT HOUSE CONDITION
A4	PROPOSED PLAN
A5	PROPOSED ELEVATIONS
A6	NEW GARAGE & CARPORT PLAN
001	GENERAL NOTES AND DETAILS
M01	MANDATORY MEASURES
M02	MANDATORY MEASURES
M03	MANDATORY MEASURES
E1	TITLE 24
E2	TITLE 24
C1	GRADING AND DRAINAGE PLAN
C2	EROSION CONTROL PLAN
C3	CONSTRUCTION BMPs
S1	GENERAL NOTES
S1A	GENERAL NOTES
S1B	GENERAL NOTES
S2	FOUNDATION PLAN
S3	FLOOR AND CEILING FRAMING PLAN
S4	ROOF FRAMING PLAN
S5	GARAGE & CARPORT FRAMING PLAN
S01	DETAILS
S02	DETAILS
S03	DETAILS
S04	DETAILS
S05	DETAILS

REVISIONS	BY



ROMAN CURTIS
 ARCHITECT #C35019
 REDWOOD DESIGN STUDIO
 387 CIVIC DR #3
 PLEASANT HILL, CA 94523
 510.812.0345
 romcur@redwooddesignstudio.com

ADDITION
 3520 BAY RD
 REDWOOD CITY

SITE PLAN

DRAWN	
PLG	
CHECKED	
PLG	
DATE	
06/14/2017	
SCALE	
1/8"=1'-0"	
JOB NO	
17-31	
SHEET	

A-1

Gub'A UYc'7 ci bhmBcfh : Ujf'CU_g'7ca a i b]hm7 ci bW' A YH]b[

Owner/Applicant: Romain Laboisse
 File Numbers PLN2017-00007

Attachment: B

REVISIONS	BY
▲	
▲	
▲	



ROMAIN CURTIS
ARCHITECT #C35019
POLYGON DESIGN STUDIO
387 23RD DR #2
PLEASANT HILL, CA 94623
916 912 2345
romain@pdpolygonstudio.com

ADDITION
3520 BAY RD
REDWOOD CITY

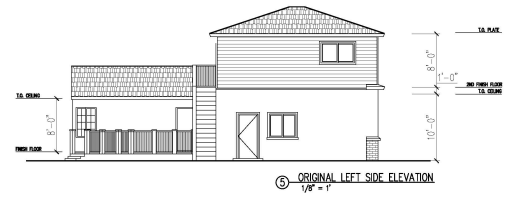
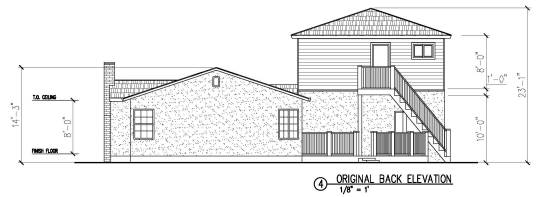
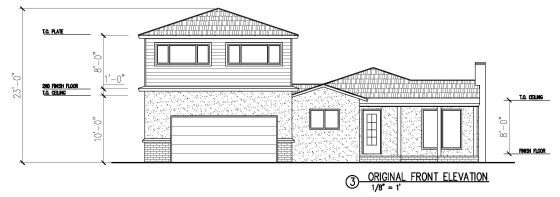
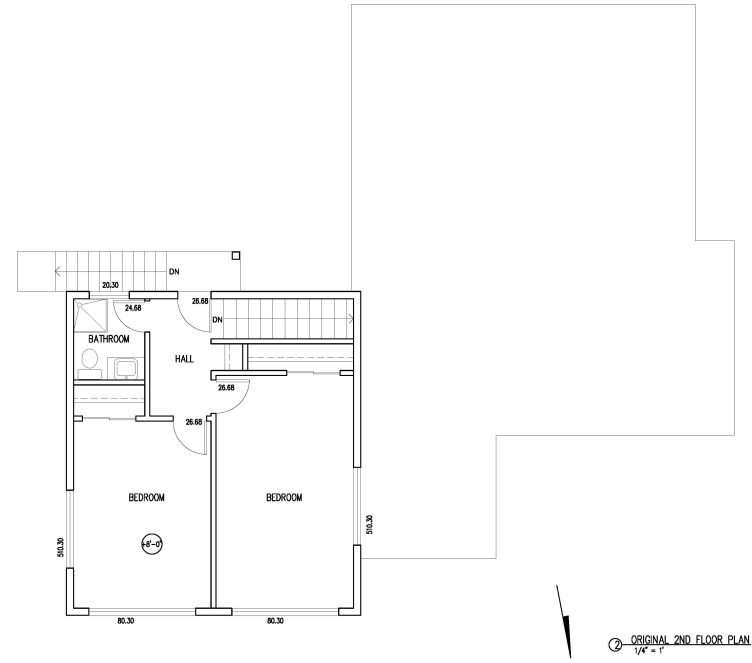
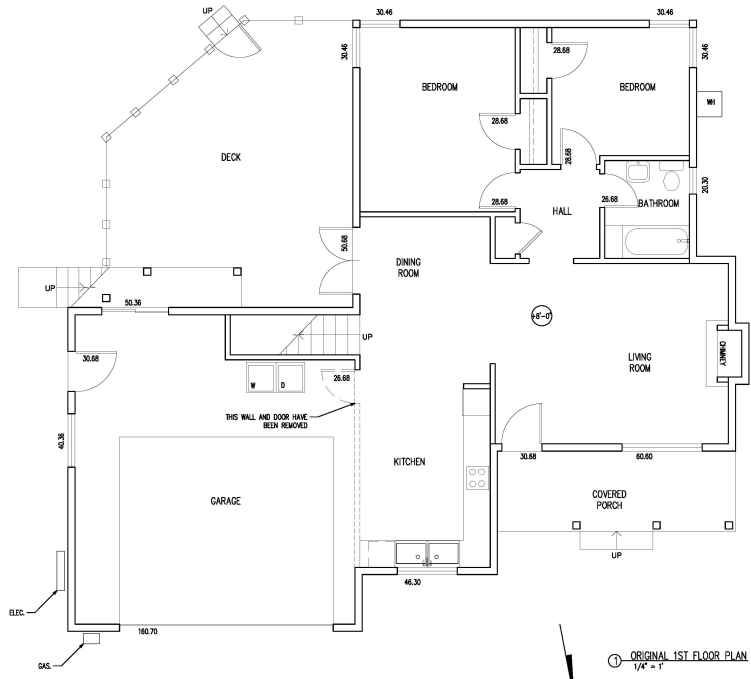
ORIGINAL HOUSE
CONDITION

DRAWN
PLG
CHECKED
PLG
DATE
06/14/2017
SCALE
1/4"=1'-0"
JOB NO
17-31
SHEET

A-2

ORIGINAL CONDITION OF THE HOUSE

1) VERIFY ALL DIMENSIONS IN FIELD
2) IN CASE OF DISCREPANCY, GO TO CONTACT ARCHITECT PRIOR TO CONTINUATION OF WORK



GUb'A UHc '7 ci bhmBcfh ' : Uj'CU_g'7 ca a i b]m7 ci bW' A YH]b[

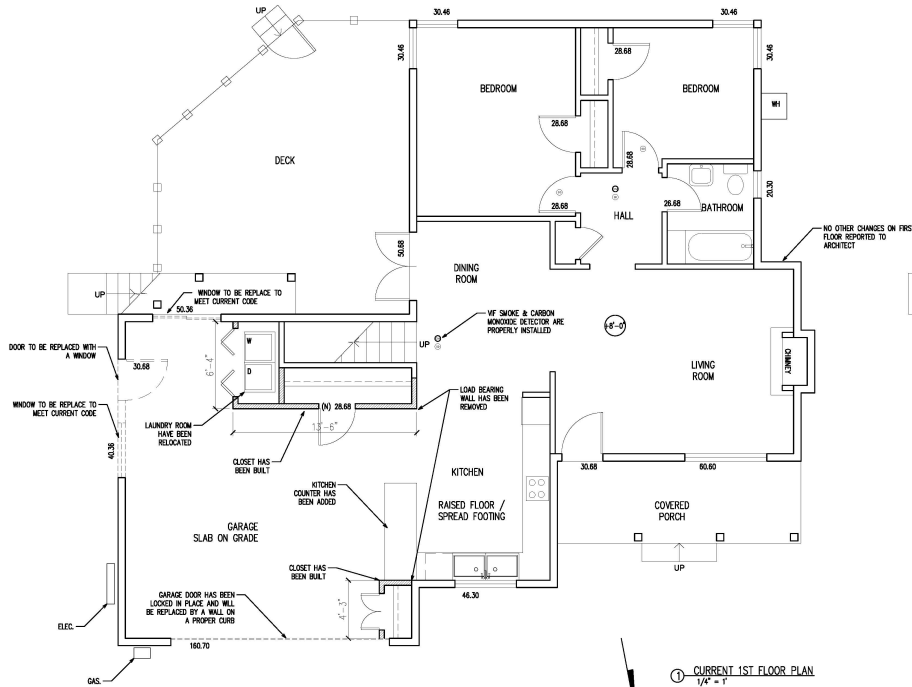
Owner/Applicant: Romain Laboisse
File Numbers: PLN2017-00007

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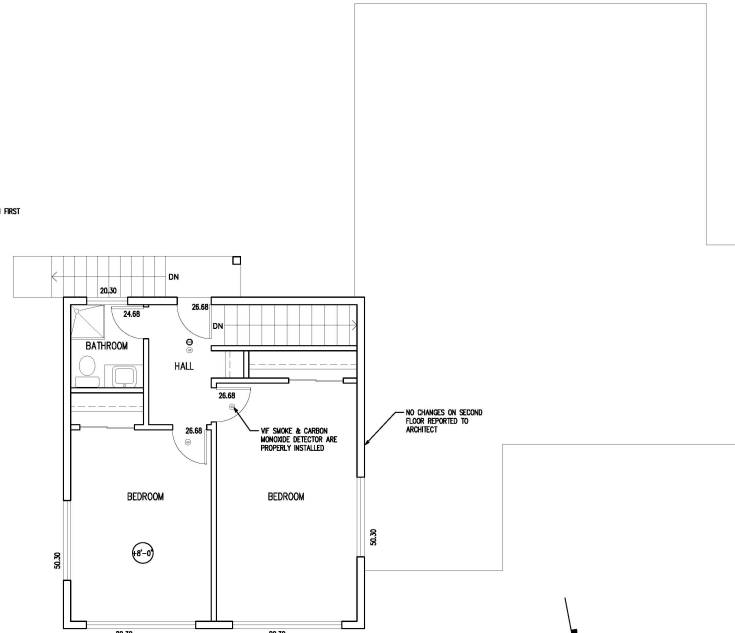


CURRENT CONDITION OF THE HOUSE

1) VERIFY ALL DIMENSIONS IN FIELD
 2) IN CASE OF DISCREPANCY, GC TO CONTACT ARCHITECT PRIOR TO CONTINUATION OF WORK



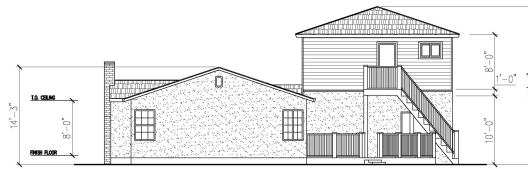
1 CURRENT 1ST FLOOR PLAN
 1/4" = 1'



2 CURRENT 2ND FLOOR PLAN
 1/4" = 1'



3 CURRENT FRONT ELEVATION
 1/8" = 1'



4 CURRENT BACK ELEVATION
 1/8" = 1'



5 CURRENT LEFT SIDE ELEVATION
 1/8" = 1'



6 CURRENT RIGHT SIDE ELEVATION
 1/8" = 1'

REVISIONS	BY

REGISTERED ARCHITECT
 ROMAIN CLYRTIS
 ARCHITECT #C-35019
 367 CIVIC DR #3
 PLEASANT HILL, CA 94523
 510.612.0345
 romain@romainclysartis.com

ADDITION
 3520 BAY RD
 REDWOOD CITY

CURRENT HOUSE
 CONDITION

DRAWN	PLG
CHECKED	PLG
DATE	06/14/2017
SCALE	1/4"=1'-0"
JOB NO	17-31
SHEET	

A-3

Gub'A Uhc'7 ci bhmBcfh : Uj'CU_g'7 ca a i b]m7 ci bW'A YH]b[

Owner/Applicant: Romain Laboisse

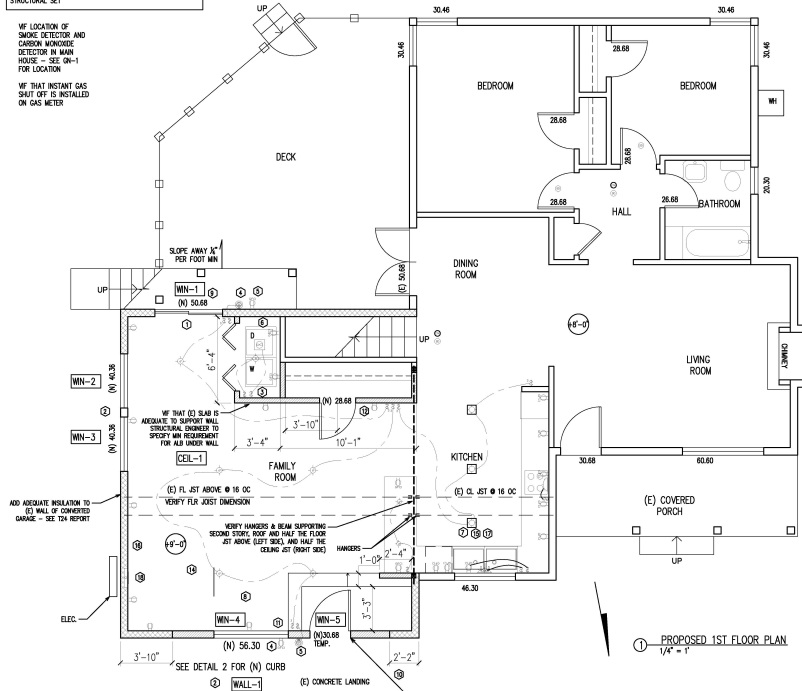
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File Numbers: PLN2017-00007

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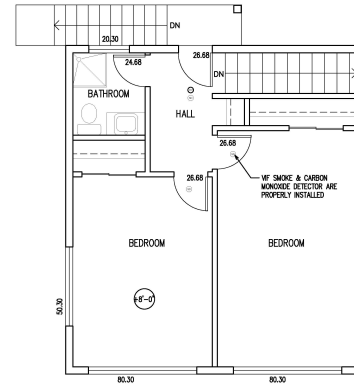
NOTE:
 FOR FRAMING DETAILS AND FOUNDATION DESIGN, SEE STRUCTURAL SET

VF LOCATION OF SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR IN MAIN HOUSE - SEE ON-1 FOR LOCATION
 WF THAT INSTANT GAS SHUT OFF IS INSTALLED ON GAS METER



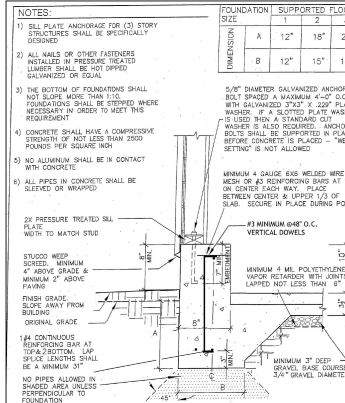
PROPOSED 1ST FLOOR PLAN
 1/4" = 1'

PROPOSED PLAN TO LEGALIZE THE GARAGE CONVERSION TO CONDITIONED SPACE

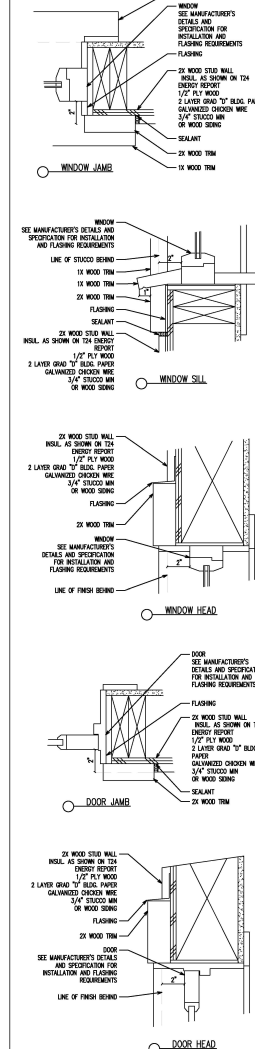


PROPOSED 2ND FLOOR PLAN
 1/4" = 1'

NOTE:
 FOR STRUCTURAL AND/OR SEISMIC RETROFIT SHEAR WALL DETAILS AND FOUNDATION DESIGN, SEE STRUCTURAL DESIGN.



WINDOW AND DOOR JAMB AND SILL DETAILS



FLASING TO BE INSTALLED TO ADEQUATELY PREVENT MOISTURE FROM ENTERING THE WALL AT PENETRATIONS OF THE BUILDING ENVELOPE INCLUDING BUT NOT LIMITED TO THE LOCATIONS AND FLASHING INSULATION REQUIREMENTS IN CBC 2016 AND CBC 2018 - SEE SHEET PD-3

INTERIOR FINISHES: ALL FINISHES TO BE SELECTED BY OWNER
 WALL - SHEET ROCK - SMOOTH FINISH
 CEILING - SHEET ROCK - SMOOTH FINISH
 FLOORS - ENGINEERED WOOD FLOOR OVER 3/4" PAD MIN.
 FLOORS - CARPET OVER 3/4" PAD MIN.
 FLOORS FOR BATHROOM, LAUNDRY ROOM, MUD ROOM TO BE TILES
 WALLS IN BATHROOMS TO BE TILED
 GARAGE TO BE SEALED/PANED CONCRETE
 ALL WINDOWS TO BE WOOD AND VINYL - LIGN
 ALL DOORS TO BE SOLID WOOD DOOR - LIGN

NOTE:
 TO COMPLY W/ EGRESS REQUIREMENT
 1 WINDOW IN EACH BEDROOM MUST COMPLY W/ THE FOLLOWING:
 MIN CLEAR OPENING HEIGHT OF 24"
 MIN CLEAR OPENING WIDTH OF 20"
 MIN CLEAR OPENING AREA NOT LESS THAN 5.7 SF
 BOTTOM OF CLEAR OPENING NOT GREATER THAN 4" ABOVE THE FLOOR - GC TO WF

- 220V RECEPTACLE
- DUPLEX RECEPTACLE
- GROUND FAULT INTERRUPTER
- FAN
- LED LIGHT
- SMOKE DETECTOR
- CAN LIGHT
- EXTINGUISHING WIRING TO REMAIN UL-0
- CARBON MONOXIDE DETECTOR
- 3 WAY SWITCH
- DIMMER SWITCH
- SMITH
- WALL MOUNTED LIGHT
- EVCS BY CHARGING STATION

(N) STAIRS TO BE 3-2x12 OR 2x12 STRINGERS
 RISE MAX 7.5, TREAD MIN 10.5"
 TREADS 2-2x6 RW
 THE GREATEST DEPTH WITHIN ANY FLOOR OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8"
 RISERS NOT LESS THAN 3" BUT NO MORE THAN 1-1/4" SHALL BE PROVIDED ON STAIRWAY W/ SOLID RISERS IF THE TREAD DEPTH IS LESS THAN 11" OPEN RISER PERMITTED, PROVIDED THAT OPENING BETWEEN TREADS DOES NOT PERMIT THE PASSAGE OF A 4" DIAL SQUARE.

NOTE:
 FOR ELECTRICAL AND PLUMBING HEATING AND VENTILATION REQUIREMENTS, SEE SHEETS ON-1 / MN-1 / MN-2 / MN-3
 FLASHING TO BE INSTALLED TO ADEQUATELY PREVENT MOISTURE FROM ENTERING THE WALL AT PENETRATIONS OF THE BUILDING ENVELOPE INCLUDING BUT NOT LIMITED TO THE LOCATIONS AND FLASHING INSULATION REQUIREMENTS IN CBC 2016 AND CBC 2018 - SEE SHEET PD-3
 FOR FRAMING DETAILS AND FOUNDATION DESIGN, SEE STRUCTURAL SET ON PD-1, PD-2 AND PD-3
 MAINTAIN AT LEAST 4-INCHES BETWEEN WEEP SCREED AND DRIFT.
 MAINTAIN AT LEAST 2-INCHES BETWEEN THE WEEP SCREED AND ANY PANED AREA.
 PROVIDE / MAINTAIN ATTIC VENTILATION AT THE RATE OF 1SF FOR EACH 150 SF
 PROVIDE 1" GAP MIN BETWEEN ROOF INSULATION AND ROOF SHEATHING

EXTERIOR STUCCO
 5-COAT, 7/8" MIN MINIMUM THICK AND HAS 20 GA GALVANIZED WEEP SCREED WITH A MINIMUM VERTICAL ATTACHMENT PLANE OF 8 INCHES SHALL BE PROVIDED AT FOUNDATION PLATE JAMB AND SHALL BE OF A TYPE THAT WILL ALLOW WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING ENVELOPE
 LAMINAR IS REQUIRED IN WALLS EXCEPT SHALL COMPLY WITH THE FOLLOWING:
 A. SHALL BE 2000 CLEARANCE GLETS AND COATED AIR TIGHT.
 B. SHALL BE 2000 CLEARANCE GLETS AND COATED AIR TIGHT.
 C. SHALL BE 2000 CLEARANCE GLETS AND COATED AIR TIGHT.
 D. SHALL BE 2000 CLEARANCE GLETS AND COATED AIR TIGHT.
 E. SHALL BE 2000 CLEARANCE GLETS AND COATED AIR TIGHT.
 F. SHALL BE 2000 CLEARANCE GLETS AND COATED AIR TIGHT.
 G. SHALL BE 2000 CLEARANCE GLETS AND COATED AIR TIGHT.
 H. SHALL BE 2000 CLEARANCE GLETS AND COATED AIR TIGHT.
 I. SHALL BE 2000 CLEARANCE GLETS AND COATED AIR TIGHT.
 J. SHALL BE 2000 CLEARANCE GLETS AND COATED AIR TIGHT.
 K. SHALL BE 2000 CLEARANCE GLETS AND COATED AIR TIGHT.
 L. SHALL BE 2000 CLEARANCE GLETS AND COATED AIR TIGHT.
 M. SHALL BE 2000 CLEARANCE GLETS AND COATED AIR TIGHT.
 N. SHALL BE 2000 CLEARANCE GLETS AND COATED AIR TIGHT.
 O. SHALL BE 2000 CLEARANCE GLETS AND COATED AIR TIGHT.
 P. SHALL BE 2000 CLEARANCE GLETS AND COATED AIR TIGHT.
 Q. SHALL BE 2000 CLEARANCE GLETS AND COATED AIR TIGHT.
 R. SHALL BE 2000 CLEARANCE GLETS AND COATED AIR TIGHT.
 S. SHALL BE 2000 CLEARANCE GLETS AND COATED AIR TIGHT.
 T. SHALL BE 2000 CLEARANCE GLETS AND COATED AIR TIGHT.
 U. SHALL BE 2000 CLEARANCE GLETS AND COATED AIR TIGHT.
 V. SHALL BE 2000 CLEARANCE GLETS AND COATED AIR TIGHT.
 W. SHALL BE 2000 CLEARANCE GLETS AND COATED AIR TIGHT.
 X. SHALL BE 2000 CLEARANCE GLETS AND COATED AIR TIGHT.
 Y. SHALL BE 2000 CLEARANCE GLETS AND COATED AIR TIGHT.
 Z. SHALL BE 2000 CLEARANCE GLETS AND COATED AIR TIGHT.

- 1) TOP SLABS
- 2) SOIL TO SLOPE AWAY FROM FOUNDATION OF MIN AT 2%
- 3) OCCUPANCY SENSOR - WF
- 4) ON / OFF MOTOR DETECTOR
- 5) WATERPROOF EXTERIOR GRADED OUTLET
- 6) DEGRADED DRAIN CREDIT FOR LAUNDRY ROOM OUTLET ONLY
- 7) 2 DEGRADED DRAIN CREDIT FOR KITCHEN OUTLET ONLY
- 8) 6 MIN W/VP BARRIER (MIN 6) SLAB SEE FOUNDATION DETAIL ON GENERAL NOTE SHEET - IF 6" W/VP BARRIER - SEE FOLLOWING ALTERNATIVE OPTION - SEE THE LATEST OF LOCAL APPLICABLE PROVISIONS DIRECTLY ON TOP OF (3) CONCRETE SLAB
- 9) 1/2" THRESHOLD MAX
- 10) APPROVED ADDRESS NUMBER FOR EACH UNIT TO BE CONTRAST BY BACKGROUND COLOR, MIN 4" HIGH MIN STROKE OF 3" AND BE ILLUMINATED AND CLEARLY NOBLE FROM THE STREET - ON MAIN HOUSE
- 11) (N) EXTERIOR WALL 2X4 @ 24" OC
- 12) (N) INTERIOR PARTITION 2X4 @ 16" OC W/ R13 INSULATION
- 13) ALL (3) WALLS THAT HAVE BEEN OPEN UP TO HAVE R13 INSULATION MIN
- 14) ALL CEILING THAT ARE OPENED UP TO HAVE R13 INSULATION - TYP
- 15) SEE ATTACHED MANDATORY MEASURES TO BE FOLLOWED DURING AND AFTER CONSTRUCTION FOR SOLE O.C.
- 16) WHEN WALLS ARE WITHIN 5'-0" OF PROPERTY LINE TOP SHEET ROOF MUST BE INSTALLED ON THE INTERIOR SIDE OF WALL, AND CEILING
- 17) NO DROPTOPS
- 18) ALL (N) WINDOWS TO BE W/VP - LIGN
- 19) (3) 200 WAF PANEL - WF

2) TYP CURB FOUNDATION AT GARAGE DOOR - SSD
 1/4" = 1'

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ADDITION
 3520 BAY RD
 REDWOOD CITY

PROPOSED PLAN
 DRAWN
 PLG
 CHECKED
 PLG
 DATE
 06/14/2017
 SCALE
 1/4"=1'-0"
 JOB NO
 17-31
 SHEET

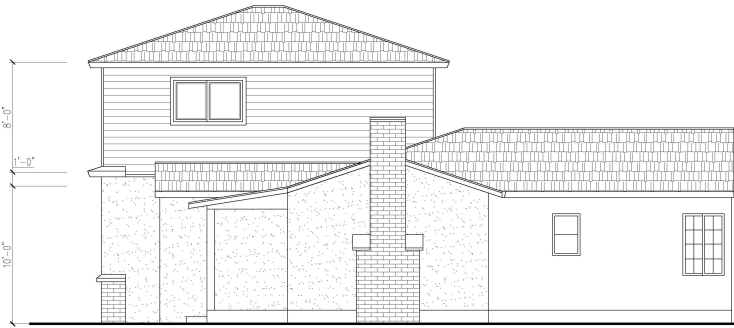
A-4

Gub'A Uhc'7 ci bhmBcfh : Ujf'CU_g'7ca a i b]m7 ci bW' A YHb[

Owner/Applicant: Romain Laboisie
 File Numbers: PLN2017-00007

Attachment: B

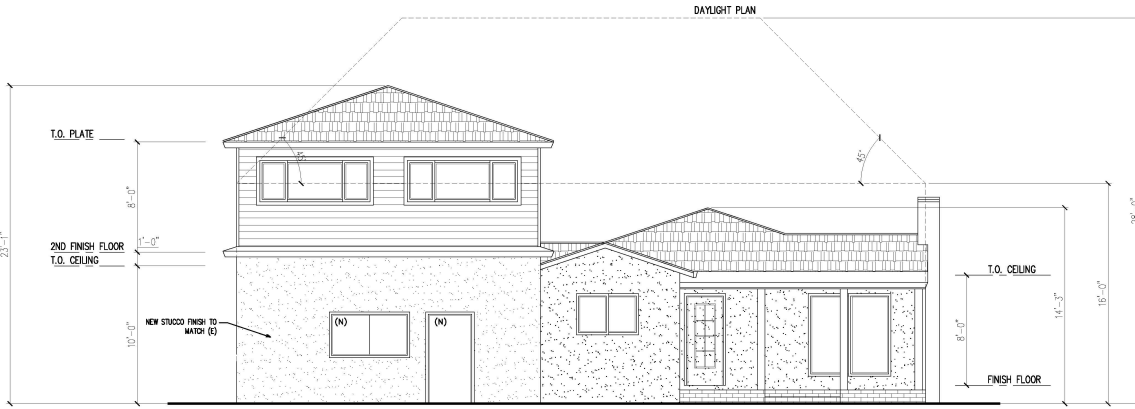
1) VERIFY ALL DIMENSIONS IN FIELD
 2) IN CASE OF DISCREPANCY, GC TO CONTACT ARCHITECT PRIOR TO CONTINUATION OF WORK



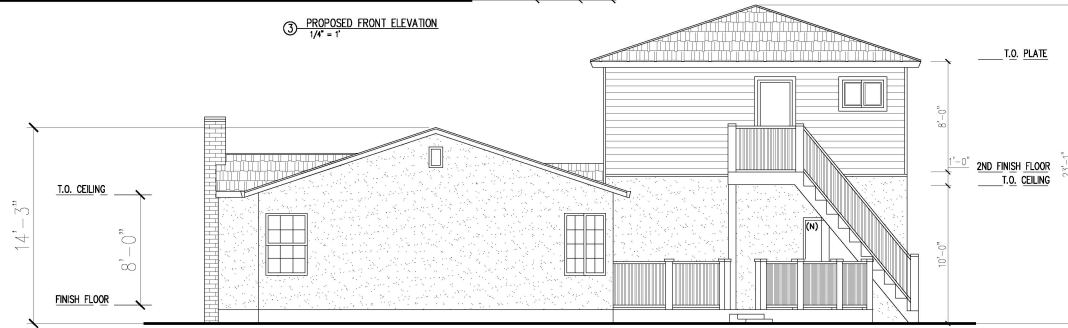
① PROPOSED RIGHT SIDE ELEVATION
 1/4" = 1'



② PROPOSED LEFT SIDE ELEVATION
 1/4" = 1'



③ PROPOSED FRONT ELEVATION
 1/4" = 1'



④ PROPOSED BACK ELEVATION
 1/4" = 1'



REVISIONS	BY
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ADDITION
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 REDWOOD CITY

PROPOSED
 ELEVATIONS

DRAWN
 PLG
 CHECKED
 PLG
 DATE
 06/14/2017
 SCALE
 1/4" = 1'-0"
 JOB NO
 17-31
 SHEET

A-5

GUb'A UHc'7 ci bhmBcfh : Uj'CU_g'7 ca a i b]hm7 ci bW'A YH]b[

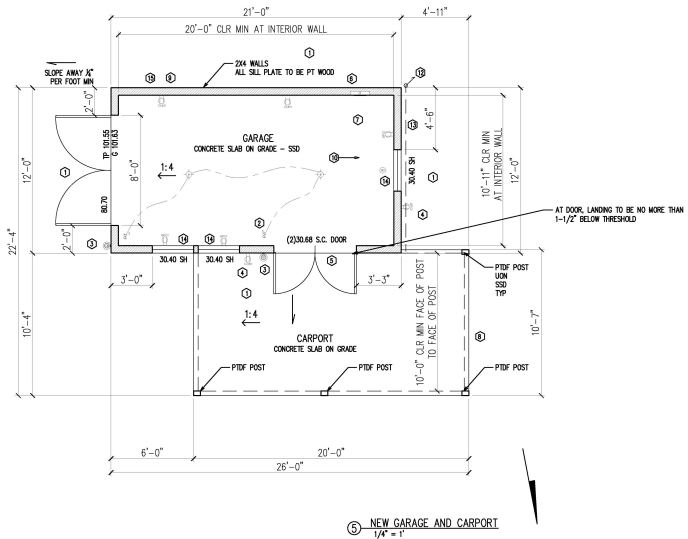
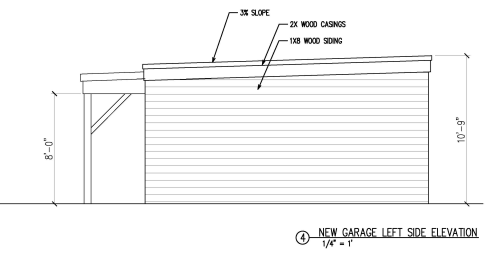
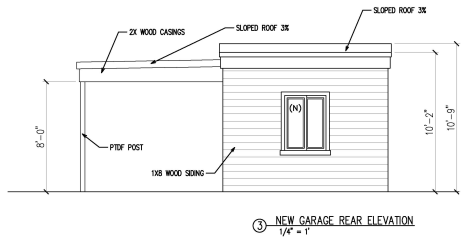
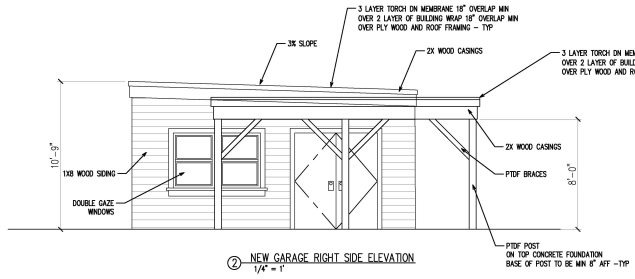
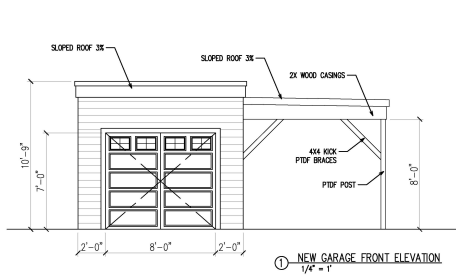
Owner/Applicant: Romaine Laboisse

Attachment: B

File Numbers: PLN2017-00007



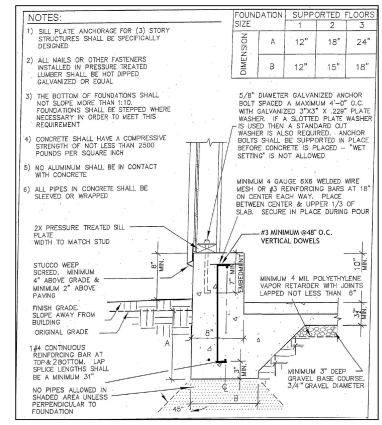
1) VERIFY ALL DIMENSIONS IN FIELD
 2) IN CASE OF DISCREPANCY, GO TO CONTACT ARCHITECT PRIOR TO CONTINUATION OF WORK
 NOTE:
 FOR FRAMING DETAILS AND FOUNDATION DESIGN, SEE STRUCTURAL SET



⊕ ELECTRICAL SYMBOLS:	⊙ CARBON MONOXIDE DETECTOR
⊖ 220V RECEPTACLE	⊕ 3 WAY SWITCH
⊖ DUPLEX RECEPTACLE	⊕ DIMMER SWITCH
GFCI GROUND FAULT INTERRUPTER	⊕ SWITCH
FAN	⊕ CREDIT BREAKER PANEL
LED LIGHT	⊕ WATER PROOF EXTERIOR LIGHT W/ SENSOR
SMOKE DETECTOR	⊕ WALL MOUNTED LIGHT
CAN LIGHT	⊕ EVCH EV CHARGING STATION

NOTE:
 EXISTING ELECTRICAL WIRING TO REMAIN U.O.N

- KEY NOTES
- 1) SLO TO SLOPE AWAY FROM FOUNDATION 1/4" MIN AT 2X
 - 2) OCCUPANCY SENSOR - WF
 - 3) ON / OFF MOTION DETECTOR
 - 4) WATERPROOF EXTERIOR GRADED OUTLET
 - 5) 1/2" THRESHOLD MAX
 - 6) (N) EXTERIOR WALL 2x4 @ 16" OC
 - 7) (N) UNDERGROUND APPROVED ELECTRICAL CONDUIT FROM (N) TO (N) 3/4" SDR PANEL TO (N) PANEL IN HOUSE
 - 8) CARPORT FRAMING TO BE PT WOOD OR (N)
 - 9) ALL (N) SILL PLATE TO BE PT WOOD
 - 10) ROOF TO SLOPE 2% MIN
 - 11) ROOF FRAMING 2X4 @ (N) 16" OC
 - 12) 1/2" PLYWOOD MIN 2 LAYERS OF BUILDING WRAP - OVERLAP 2" MIN
 - 13) 1 LAYER OF TORSION ON MEMBRANE OVERLAP 2" MIN NO CURB
 - 14) (N) SLOPE
 - 15) (N) DOWN SPOUT
 - 16) (N) DOWN SPOUT
 - 17) (N) FOUNDATION - SSD



REVISIONS	BY
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ADDITION
 3520 BAY RD
 REDWOOD CITY

NEW GARAGE &
 CARPORT PLAN

DRAWN	PLG
CHECKED	PLG
DATE	06/14/2017
SCALE	1/4"=1'-0"
JOB NO	17-31
SHEET	

A-6

Gub'A Uhc'7 ci bhmBcfh : Uj'CU_g'7 ca a i b]mi7 ci bW'A YH]b[

Owner/Applicant: Romaine Laboissee
 File Numbers: PLN2017-00007

Attachment: B

2016 CALIFORNIA GREEN BUILDING STANDARDS CODE RESIDENTIAL MANDATORY MEASURES, SHEET 2

INSPECTOR SIGNOFF

DIVISION 4.5 ENVIRONMENTAL QUALITY (continued)

4.504.3 CARPET SYSTEMS. All carpet installed in the building interior shall meet the testing and product requirements of at least one of the following:

1. Carpet and Rug Institute's Green Label Plus Program.
2. California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers" Version 1.1, February 2010 (also known as Specification 0155).
3. NSF/ANSI 140 at the Gold level.
4. Scientific Certifications Systems Indoor Advantage+ Gold.

4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label program.

4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1.

4.504.4 RESILIENT FLOORING SYSTEMS. Where resilient flooring is installed, at least 80% of floor area receiving resilient flooring shall comply with one or more of the following:

1. VOC emission limits defined in the Collaborative for High Performance Schools (CHPS) High Performance Products Database.
2. Products compliant with CHPS criteria certified under the Greenguard Children & Schools program.
3. Certification under the Resilient Floor Covering Institute (RFCI) FloorScore program.
4. Meet the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers" Version 1.1, February 2010 (also known as Specification 0155).

4.504.5 COMPOSITE WOOD PRODUCTS. Hardwood plywood, particleboard and medium density fiberboard composite wood products used in the interior or exterior of the building shall meet the requirements for formaldehyde as specified in ARS All Toxics Control Measure for Composite Wood (17CCR 03120 et seq.), by or before the dates specified in those sections, as shown in Table 4.504.1.

4.504.5.1 Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:

1. Product certifications and specifications.
2. Chain of custody certifications.
3. Product labels and invoices as meeting the Composite Wood Products regulation (see CCR, Title 17, Section 03120, et seq.).
4. Exterior grade products marked as meeting the P5-1 or P5-2 standards of the Engineered Wood Association, the Australian AS/NZS 2269, European EN 338 standards, and Canadian CSA O121, CSA O121, CSA O133 AND CSA O328 standards.
5. Other methods acceptable to the enforcing agency.

4.505 INTERIOR MOISTURE CONTROL

4.505.1 General. Buildings shall meet or exceed the provisions of the California Building Standards Code.

4.505.2 CONCRETE SLAB FOUNDATIONS. Concrete slab foundations required to have a vapor retarder by California Building Code, Chapter 19, or concrete slab on ground floors required to have a vapor retarder by the California Building Code, Chapter 5, shall also comply with the section.

4.505.2.1 Capillary break. A capillary break shall be installed in compliance with at least one of the following:

1. A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) or larger clean aggregate shall be provided with a vapor barrier in direct contact with concrete and a concrete tie, which will address bleeding, shrinkage, and curing, shall be used. For additional information, see American Concrete Institute, ACI 308.2R-08.
2. Other equivalent methods approved by the enforcing agency.
3. A slab design specified by a licensed design professional.

4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content. Moisture content shall be verified in compliance with the following:

1. Moisture content shall be determined with either a probe-type or contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements found in Section 101.8 of this code.
2. Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade straight end of each piece verified.
3. At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing.

Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturer's drying recommendations prior to enclosure.

4.506 INDOOR AIR QUALITY AND EXHAUST

4.506.1 Bathroom exhaust fans. Each bathroom shall be mechanically ventilated and shall comply with the following:

1. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building.
2. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control.
 - a. Humidity controls shall be capable of adjustment between a relative humidity range less than or equal to 50% to a maximum of 80%. A humidity control may utilize manual or automatic means of adjustment.
 - b. A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in).

Notes:

1. For the purposes of this section, a bathroom is a room which contains a bathtub, shower or tub/shower combination.
2. Lighting integral to bathroom exhaust fans shall comply with the California Energy Code.

4.507 ENVIRONMENTAL COMFORT

4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. Heating and air conditioning systems shall be sized, designed and have their equipment selected using the following methods:

1. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2011 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods.
2. Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods.
3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 (Residential Equipment Selection), or other equivalent design software or methods.

Exception: Use of alternate design temperatures necessary to insure the system functions are acceptable.

INSPECTOR SIGNOFF

CHAPTER 7 INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS

702 QUALIFICATIONS

702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper installation of HVAC systems including parts and equipment by a nationally or regionally recognized training or certification program. Unaffiliated persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems. Examples of acceptable HVAC training and certification programs include but are not limited to the following:

1. State certified apprenticeship programs.
2. Public utility training programs.
3. Training programs sponsored by trade, labor or statewide energy consulting or verification organizations.
4. Programs sponsored by manufacturing organizations.
5. Other programs acceptable to the enforcing agency.

702.2 SPECIAL INSPECTION [HCE]. When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector:

1. Certification by a national or regional green building program or standard publisher.
2. Certification by a statewide energy consulting or verification organization, such as HERB raters, building performance contractors, and home energy auditors.
3. Successful completion of a third party apprentice training program in the appropriate trade.
4. Other programs acceptable to the enforcing agency.

Notes:

1. Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.
2. HERB raters are special inspectors certified by the California Energy Commission (CEC) to rate homes in California according to the Home Energy Rating System (HERS).

[BSC-CG] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a recognized state, national or international association, as determined by the local agency. The area of certification shall be closely related to the primary job function, as determined by the local agency.

Note: Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.

703 VERIFICATIONS

703.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but not be limited to: construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific documentation or special inspection is necessary to verify conformance, that method of compliance will be specified in the appropriate section or identified applicable checklist.

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ADDITION / REMODEL
3520 BAY RD
REDWOOD CITY

MANDATORY
MEASURES

DRAWN PLG
CHECKED PLG
DATE 06/14/2017
SCALE 1/4"=1'-0"
JOB NO. 17-31
SHEET

MM2

Gub'A Uhc'7 ci bhmBcfh : Ujf'CU_g'7 ca a i b]hm'7 ci bW' A YHj[b]

Owner/Applicant: Romaine Laboisso

Attachment: B

File Numbers: PLN2017-00007

Table with 2 columns: Revisions, By



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REDWOOD CITY

MANDATORY MEASURES
DRAWN: PLG
CHECKED: PLG
DATE: 06/14/2017
SCALE: 1/4"=1'-0"
JOB NO: 17-31
SHEET

Table with 2 columns: Date, Sheet

2016 LOW-RISE RESIDENTIAL MANDATORY MEASURES SUMMARY
150.00/01.3 CLEARANCES. INSTALLED AIR CONDITIONER AND HEAT PUMP OUTDOOR CONDENSING UNITS MUST HAVE A CLEARANCE OF AT LEAST 1 FEET FROM THE OUTLET OF ANY OTHER VENT.

2016 LOW-RISE RESIDENTIAL MANDATORY MEASURES SUMMARY
150.00/1.2.1 DUCT SYSTEM SOUND AND AIR FILTER GRIFFLE SOUND. SPACE CONDITIONING SYSTEMS THAT USE FORCED AIR DUCTS TO SUPPLY COOLING TO AN OCCUPABLE SPACE MUST HAVE A HOLE FOR THE PLACEMENT OF A STATIC PRESSURE PROBE (SPP).

2016 LOW-RISE RESIDENTIAL MANDATORY MEASURES SUMMARY
150.00/1.4.1.1 CEILING ENVELOPE MEASURES. MANUFACTURED FENESTRATION, EXTERIOR DOORS, AND EXTERIOR PET DOORS MUST LIMIT AIR LEAKAGE TO 0.3 CM^3/CM^2 OR LESS WHEN TESTED PER NFRC-400 OR ASTM E283 OR ANNA/MOM/ISA 1015.2.2/440-2011.

2016 LOW-RISE RESIDENTIAL MANDATORY MEASURES SUMMARY
150.00/1.5.1.1 MANUFACTURED FENESTRATION PRODUCTS MUST HAVE A LABEL MEETING THE REQUIREMENTS OF 10-110(A).
150.00/1.5.1.2 LABELS ON FENESTRATION PRODUCTS MUST HAVE A LABEL MEETING THE REQUIREMENTS OF 10-110(A).

2016 LOW-RISE RESIDENTIAL MANDATORY MEASURES SUMMARY

Owner/Architect: Romain Labaisse
File Numbers: PLN2017-0007

Attachment: B

CERTIFICATE OF COMPLIANCE **CF18-ADD-01-4**
(Page 1 of 7)

Prescriptive Residential Additions

Project Name: 3122 BAY RD - 3122 BAY RD Date Prepared: 2017-06-14

A. General Information

01	Project Name	3122 BAY RD	02	Date Prepared	2017-06-14
03	Project Location	3122 BAY RD	04	Building Description (Range)	10
05	City	Redwood City	06	Number of Dwelling Units with Additions	1
07	County	San Mateo	08	Footprint	Minimum
09	Owner Name	3	10	Total Insulated Floor Area (Sf) (Additions)	0
11	Building Type	Single Family	12	Site Area (Sf)	0
13	Project Scope	Add on greater than 400 SF or less than or equal to 300 SF	14	Compliance to Penetration U-factor and R-value	NA (Not applicable after wiring)

B. Oppaque Surface Details - Framed (Section 150.16(1))

Tag ID	01	02	03	04	05	06	07	08	09	10	11	12	13
Tag ID	Assembly Type	Frame Type	Frame Depth (Inches)	Frame Spacing (Inches)	U-Factor	R-Value	Approved Air Reference	U-Factor	Approved Air Reference	U-Factor	Approved Air Reference	U-Factor	Approved Air Reference
WALL 1	W01F	Wood	2 1/4	16 inches on center	15	0	0.095	4.3.1	AA	0.065			

Note:
Where insulation is installed above the roofing membrane, or above the layer used to seal the roof from water penetration, the insulation shall have a maximum water absorption of 0.3 percent by volume when tested according to ASTM Standard C275.

Registration Number: 217-000189088-000-0000000-0000
Registration Date/Time: 2017-06-14 16:19:04
HERS Provider: CalCERTS
CA Building Energy Efficiency Standards - 2016 Residential Compliance
Report Version: 2016.1.005
Scheme Version: rev 10/16
Report Generated: 2017-06-14 16:19:04

CERTIFICATE OF COMPLIANCE **CF18-ADD-01-4**
(Page 4 of 7)

Prescriptive Residential Additions

I. Fenestration Proposed Areas and Efficiencies

Each fenestration opening is for 200 sq. ft. or less. If a fenestration opening is assumed to meet the minimum required U-factor (U-1.0) and SHGC (0.30) if Fenestration is 100 sq. ft. or less, it shall be assumed to meet the minimum required U-factor (U-1.0) and SHGC (0.30).

Tag ID	01	02	03	04	05	06	07	08	09	10	11	12	13	14
Tag ID	Orientation Type	Frame Type	Orientation (N, S, E, W)	Number of Panes	Proposed Fenestration Area (Sf)	Proposed U-Factor	Proposed SHGC	Source	Proposed U-Factor	Proposed SHGC	Source	Source SHGC (ASHRAE 90.1)	Compliance	Comments
WN 1	Openable window	Non-wood	North	Double-pane	33	This field or section is not applicable	0.32	Table 110.8.4 and 110.8.4.1	0.25	Table 110.8.4 and 110.8.4.1	None	None	This field or section is not applicable	
WN 2	Openable window	Non-wood	North	Double-pane	14	This field or section is not applicable	0.25	Table 110.8.4 and 110.8.4.1	0.25	Table 110.8.4 and 110.8.4.1	None	None	This field or section is not applicable	
WN 3	Openable window	Non-wood	North	Double-pane	11	This field or section is not applicable	0.32	Table 110.8.4 and 110.8.4.1	0.25	Table 110.8.4 and 110.8.4.1	None	None	This field or section is not applicable	
WN 4	Openable window	Non-wood	North	Double-pane	11	This field or section is not applicable	0.32	Table 110.8.4 and 110.8.4.1	0.25	Table 110.8.4 and 110.8.4.1	None	None	This field or section is not applicable	
WN 5	Openable window	Non-wood	North	Double-pane	17	This field or section is not applicable	0.32	Table 110.8.4 and 110.8.4.1	0.25	Table 110.8.4 and 110.8.4.1	None	None	This field or section is not applicable	
15	Total Proposed Fenestration Area												95.5	
16	Maximum Allowed Fenestration Area												133.25	
17	Compliance Statement	Design complies with the total allowed fenestration area												
18	Total Proposed Window Facing Fenestration Area												0	
19	Maximum Allowed Window Facing Fenestration Area												This field or section is not applicable	

Registration Number: 217-000189088-000-0000000-0000
Registration Date/Time: 2017-06-14 16:19:04
HERS Provider: CalCERTS
CA Building Energy Efficiency Standards - 2016 Residential Compliance
Report Version: 2016.1.005
Scheme Version: rev 10/16
Report Generated: 2017-06-14 16:19:04

CERTIFICATE OF COMPLIANCE **CF18-ADD-01-4**
(Page 7 of 7)

Prescriptive Residential Additions

Documentation Author's Declaration Statement

I, I certify that this Certificate of Compliance documentation is accurate and complete.

Documentation Author Name: Roman Curtis
Signature Date: 2017-06-14 16:19:04
Address: 62 BARBER LANE, MARTINEZ CA 94553
Phone: 925-282-7076

Responsible Person's Declaration Statement

I, I certify that this Certificate of Compliance documentation is accurate and complete.

Responsible Designer Name: Roman Curtis
Signature Date: 2017-06-14 16:19:04
Address: 62 BARBER LANE, MARTINEZ CA 94553
Phone: 925-282-7076

Design by: CalCERTS.com

Registration Number: 217-000189088-000-0000000-0000
Registration Date/Time: 2017-06-14 16:19:04
HERS Provider: CalCERTS
CA Building Energy Efficiency Standards - 2016 Residential Compliance
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CERTIFICATE OF COMPLIANCE **CF18-ADD-01-4**
(Page 2 of 7)

Prescriptive Residential Additions

C. Opaque Surface Details - Non-Framed (Section 150.16(1))

This section does not apply to this project.

D. Opaque Surface Details - Mass Walls (Section 150.16(1))

This section does not apply to this project.

E. Slab Insulation (Table 150.1-A)

This section does not apply to this project.

F. Radiant Barrier (Section 150.16(2))

01	02
Radiant Barrier installed below the roof deck and on all gable end gables	Complies
Do Not Proceed	NA (Not Applicable)

Radiant Barrier is required for Climate Zones 2-3:

- Radiant barriers shall meet specific reflective and installation criteria to receive energy credit for compliance with the Building Energy Efficiency Standards for low-rise residential buildings. Refer to R4A.2.1.
- The emittance of the radiant barrier shall be less than or equal to 0.05 as tested in accordance with ASTM C1373 or ASTM E488.
- For Prescriptive Compliance the attic shall be ventilated to provide a minimum free ventilation area of not less than 1% of attic floor area with not less than 30% upper vents. Ridge vents or gable end vents are recommended to achieve the best performance. The material should be cut to allow for full airflow to the eaves.

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CERTIFICATE OF COMPLIANCE **CF18-ADD-01-4**
(Page 5 of 7)

Prescriptive Residential Additions

20	21	22	23	24	25	26	27	28	29	30	31	32
Compliance Statement	Design complies with the total allowed west-facing fenestration area											
21	Proposed Fenestration Factor (Windows)	0.32										
22	Required Fenestration Factor (Windows)	0.32										
23	Compliance Statement	Design complies with the total allowed fenestration area										
24	Proposed Fenestration SHGC (Windows)	0.25										
25	Required Fenestration SHGC (Windows)	This field or section is not applicable										
26	Compliance Statement	Design complies with the maximum allowed fenestration SHGC										
27	Proposed Fenestration U-Factor (Slights)	This field or section is not applicable										
28	Required Fenestration U-Factor (Slights)	0.32										
29	Compliance Statement	This field or section is not applicable										
30	Required Fenestration SHGC (Slights)	This field or section is not applicable										
31	Proposed Fenestration SHGC (Slights)	0.25										
32	Compliance Statement	This field or section is not applicable										

I. Space Conditioning (SC) Systems - Heating/Cooling/Ducts - Single Family Dwelling (Section 150.20) or (Section 150.16(7))

01	02	03
Building U-Factor	Dwelling U-Factor (Sum of Ceiling + Addition R's)	0

K. Water Heating Systems (Section 150.24(a)(1)) or (Section 150.16(8))

This section does not apply to this project.

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CERTIFICATE OF COMPLIANCE **CF18-ADD-01-4**
(Page 3 of 7)

Prescriptive Residential Additions

G. Roofing Products (Cool Roof) (Section 150.16(1))

01	02	03	04	05	06	07	08	09	10	11	12	13
Tag ID	Mass Roof (20 sq. ft. or greater)	Roof Pitch	Method of Compliance	Product Type	CRBC Product ID Number	Initial Solar Reflectance	Age-Set Reflectance	Thermal Emittance	SH (per req)	Age-Set Solar Reflectance	Thermal Emittance	SH (per req)

Note:
Any roof area covered by building integrated photovoltaic panels and solar thermal panels are exempt from the above Cool Roof requirements.
Liquid field applied coatings must comply with installation criteria from section 150.80(4)

H. Fenestration/Glazing Additions and Efficiencies (Section 150.24(a))

01	02	03	04	05	06	07	08	09	10	
Tag ID	Maximum Allowed Fenestration Area for All Orientations (Sf)	Maximum Allowed Fenestration Area for North Orientation (Sf)	Maximum Allowed Fenestration Area for South Orientation (Sf)	Maximum Allowed Fenestration Area for East Orientation (Sf)	Maximum Allowed Fenestration Area for West Orientation (Sf)	Maximum Allowed Fenestration Area for Other Orientations (Sf)	Maximum Allowed Fenestration Area for All Orientations (Sf)	Maximum Allowed Fenestration Area for North Orientation (Sf)	Maximum Allowed Fenestration Area for South Orientation (Sf)	
ADDITION Type A*	133.25	120					0.32	0.32		0.25

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CERTIFICATE OF COMPLIANCE **CF18-ADD-01-4**
(Page 6 of 7)

Prescriptive Residential Additions

L. Space Conditioning Systems And Water Heating Systems in Multifamily Dwelling Units

This section does not apply to this project.

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HERS Provider: CalCERTS
CA Building Energy Efficiency Standards - 2016 Residential Compliance
Report Version: 2016.1.005
Scheme Version: rev 10/16
Report Generated: 2017-06-14 16:19:04

REVISIONS	BY



ROMAN CURTIS
ARCHITECT #35019
POLYGON DESIGN STUDIO
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PLEASANT HILL, CA 94523
916.912.8345
romanc@polygondesignstudio.com

ADDITION
3520 BAY RD
REDWOOD CITY

TITLE 24

DRAWN
PLG
CHECKED
PLG
DATE
05/06/2017
SCALE
JOB NO
17-31
SHEET

E-1

Gub'A UYc'7ci bhmBcfh': Uf'CU_g'7ca a i b]m'7ci bW' A YHb[

Owner/Applicant: Roman Laboisso
File Numbers: PLN2017-00007



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CERTIFICATE OF COMPLIANCE		CF18-A11-02-4							
Alterations to Space Conditioning Systems (Formerly CF-18-A11-HVAC)		(Page 1 of 3)							
Project Name:	3520 BAY RD A11-02	Date Prepared:	2017-06-14						
A. General Information CF18-A11-02 is applicable to multiple space conditioning systems contained within a single dwelling unit. When multiple dwelling units must be documented, use one CF18-A11-02 document for each dwelling unit.									
01 Project Name	3520 BAY RD A11-02	02 Date Prepared	2017-06-14						
03 Project Location	3520 BAY RD	04 Building Type	Single Family						
05 CA City	Redwood City	06 Dwelling Unit Name	3520 BAY RD A11-02						
07 Zip Code	94063	08 Dwelling Unit Conditioned Floor Area (ft ²)	531						
09 Climate Zone	3	10 Number of Space Conditioning (SC) Systems in this Dwelling Unit:	1						
B. Space Conditioning (SC) System Information									
01	02	03	04	05	06	07	08	09	10
SC System Identification or Name	SC System Location or Area Served	SCA served by this SC System (ft ²)	Is the SC system a ducted system?	Is installing a refrigerant containing component?	Is installing a new SC system?	Is installing from than 40 feet of ducts?	Is installing entirely new duct system?	Is installing entirely new SC system?	Alteration Type
System 1	Location 1	2046	Yes	No	No	No	No	No	No alteration performed.
C. Extension of Existing Duct System, Greater Than 40 Feet (Section 150.2(b)(1)(B)) This section does not apply to this project.									

Registration Number: 217-A02001461A-000-000-000000-0000
 CA Building Energy Efficiency Standards - 2016 Residential Compliance
 Registration Date/Year: 2017-06-14 16:22:16
 Report Version: 2016.1.005
 Schema Version: rev 10/16
 HERS Provider: CalCERTS
 Report Generated: 2017-06-14 16:22:46

CERTIFICATE OF COMPLIANCE		CF18-A11-02-4	
Alterations to Space Conditioning Systems (Formerly CF-18-A11-HVAC)		(Page 2 of 3)	
D. Altered Space Conditioning System (Sections 150.2(b)(1)(E) and F) This section does not apply to this project.			
E. Entirely New or Complete Replacement Duct System, with or without Equipment Changeout (Sections 150.2(b)(1)(I) and 150.2(b)(1)(F)) This section does not apply to this project.			
F. Entirely New or Complete Replacement Space Conditioning System (Section 150.2(b)(1)(C)) This section does not apply to this project.			

Registration Number: 217-A02001461A-000-000-000000-0000
 CA Building Energy Efficiency Standards - 2016 Residential Compliance
 Registration Date/Year: 2017-06-14 16:22:16
 Report Version: 2016.1.005
 Schema Version: rev 10/16
 HERS Provider: CalCERTS
 Report Generated: 2017-06-14 16:22:46

CERTIFICATE OF COMPLIANCE		CF18-A11-02-4	
Alterations to Space Conditioning Systems (Formerly CF-18-A11-HVAC)		(Page 3 of 3)	
Documentation Author's Declaration Statement			
I. I certify that this Certificate of Compliance documentation is accurate and complete. Documentation Author Name: Curtin, Romain Signature Date: 2017-06-14 16:22:16 Address: 42 BARBER LANE City/ZIP: Martinez CA 94553 Phone: 925-331-7076		Documentation Author Signature: 	
Responsible Person's Declaration Statement I certify the following under penalty of perjury under the laws of the State of California: 1. The information provided on this Certificate of Compliance is true and correct. 2. I am a registered professional engineer or architect in the State of California and I have taken responsibility for the building design or system design identified on this Certificate of Compliance conforms to the requirements of the Title 24 Part of the California Code of Regulations. 3. The energy analysis and performance calculations, methods, programs, and input/output data for the building design or system design identified on this Certificate of Compliance conforms to the requirements of the Title 24 Part of the California Code of Regulations. 4. The building design features or systems design details specified on this Certificate of Compliance are designed to comply with the applicable energy code requirements, standards, methods, programs, and input/output data for the building design or system design identified on this Certificate of Compliance. 5. The building design features or systems design details specified on this Certificate of Compliance are designed to comply with the applicable energy code requirements, standards, methods, programs, and input/output data for the building design or system design identified on this Certificate of Compliance. I understand that a registered copy of this Certificate of Compliance is required to be retained with the documentation the author provides to the building owner at occupancy.			
Responsible Person Name: Curtin, Romain Signature Date: 2017-06-14 16:22:16 Address: 42 BARBER LANE City/ZIP: Martinez CA 94553 Phone: 925-331-7076		Responsible Person Signature: 	
Digitally signed by CalCERTS. This digital signature is provided in order to secure the content of this registered document, and to verify the Registered Provider responsibility for the accuracy of the information provided on this Certificate of Compliance.			

Registration Number: 217-A02001461A-000-000-000000-0000
 CA Building Energy Efficiency Standards - 2016 Residential Compliance
 Registration Date/Year: 2017-06-14 16:22:16
 Report Version: 2016.1.005
 Schema Version: rev 10/16
 HERS Provider: CalCERTS
 Report Generated: 2017-06-14 16:22:46

REVISIONS	BY
△	
△	
△	
△	



ROMAIN CURTIS
 ARCHITECT #C35019
 387 CIVIC DR #5
 PLEASANT HILL, CA 94523
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 roma@royjonesstudio.com

ADDITION
 3520 BAY RD
 REDWOOD CITY

TITLE 24

DRAWN
 PLG
 CHECKED
 PLG
 DATE
 05/06/2017
 SCALE

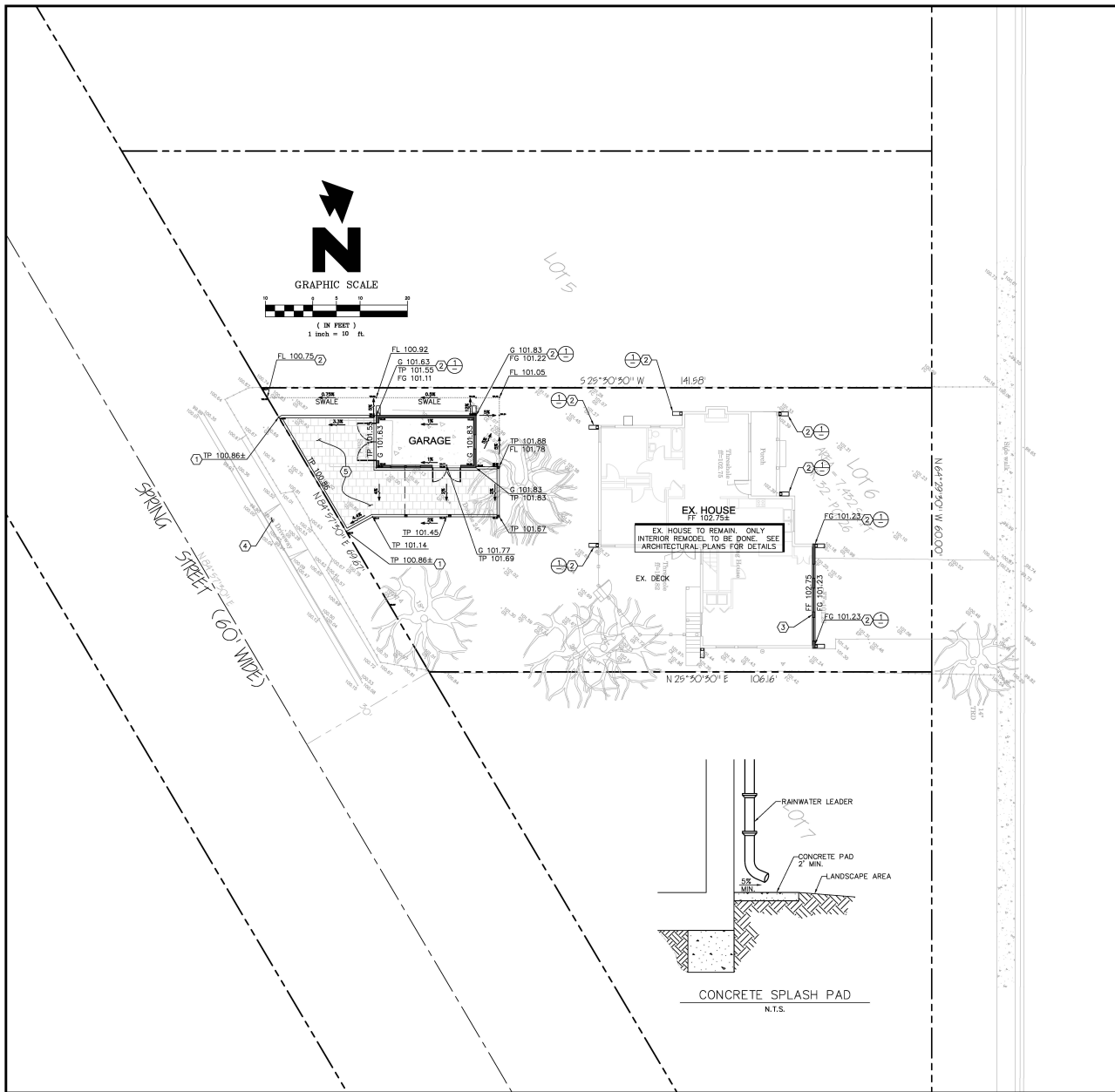
JOB NO
 17-31
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E-2

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Owner/Applicant: Romain Laboisse
 File Numbers: PLN2017-00007

Attachment: B



GENERAL NOTES:

- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- CONTRACTOR SHALL PROTECT ALL PROPERTY CORNERS.
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
- CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDING FOR ALL NATURAL AND PAVED AREAS.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- UTILITY VAULTS, TRANSFORMERS, UTILITY CABINETS, CONCRETE BASES, OR OTHER STRUCTURES CANNOT BE PLACED OVER WATER MAINS/SERVICES. MAINTAIN 1' HORIZONTAL CLEAR SEPARATION FROM THE VAULTS, CABINETS & CONCRETE BASES TO EXISTING UTILITIES AS FOUND IN THE FIELD. IF THERE IS CONFLICT WITH EXISTING UTILITIES, CABINETS, VAULTS & BASES SHALL BE RELOCATED FROM THE PLAN LOCATION AS NEEDED TO MEET FIELD CONDITIONS. TREES MAY NOT BE PLANTED WITHIN 10' OF EXISTING WATER MAINS/SERVICES OR METERS. MAINTAIN 10' BETWEEN TREES AND WATER SERVICES, MAINS & METERS.
- CONTRACTOR SHALL REFER TO ARCH. PLANS FOR EXACT LOCATIONS OF UTILITIES SERVICES TO NEW BUILDING. COORDINATE WITH LOCAL UTILITIES COMPANIES FOR SERVICE CONNECTIONS.

LEGEND

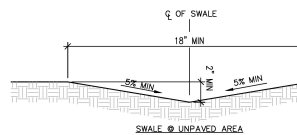
SYMBOL	FLOW DIRECTION	ABBREVIATIONS
	FLOW DIRECTION	EG = EXISTING GRADE
	FLOW LINE	EX = EXISTING
		FF = FINISH FLOOR ELEVATION
		FG = FINISH GRADE ELEVATION
		FL = FLOWLINE
		G = GARAGE
		TP = TOP OF PAVERS

GRADING NOTES

- MATCH EXISTING ELEVATION. GRADING LIMIT IS TO PROPERTY LINE. NO GRADING ALLOWED ON ADJACENT PROPERTIES
- RAIN WATER LEADER WITH CONCRETE SPLASH BLOCK. MATCH EXISTING ELEVATION. SEE ARCH. PLANS FOR EXACT LOCATION
- EXISTING GARAGE DOOR TO BE REMOVED. INSTALL NEW BUILDING WALL. SEE ARCH. PLANS FOR DETAILS
- EXISTING DRIVEWAY TO REMAIN
- PERVIOUS PAVERS PER ARCH. PLANS.

PRE & POST DEVELOPMENT PERVIOUS/IMPERVIOUS AREAS:		
AREA TYPE	EXISTING	PROPOSED
LOT AREA	7,432 SF	7,432 SF
LOT AREA	0.171 ACRE	0.171 ACRE
TOTAL LAND DISTURBANCE		1,500
EX. HOUSE	1,778 *	1,778 *
EX. DRIVEWAY	404	404
EX. DECK/PATIO	326	326
EX. SHED	130	0
EX. HARDSCAPE	214	0
NEW GARAGE	-	250
TOTAL IMPERVIOUS AREA	2,852	2,758 **
PERVIOUS PAVERS	-	600
LANDSCAPE	4,580	4,074
TOTAL PERVIOUS AREA	4,580	4,674

* TOTAL HOUSE AREA INCLUDES ROOF OVERHANG AREA
 ** POST DEVELOPED IMPERVIOUS AREA LESS THAN PRE DEVELOPED CONDITIONS. THEREFORE, THE POST DEVELOPMENT FLOW IS RELEASING LESS OR EQUAL TO THE PRE DEVELOPMENT FLOW. THIS DRAINAGE DESIGN IS IN COMPLIANCE TO COUNTY OF SAN MATEO DRAINAGE POLICY.



DESCRIPTION

DATE

REV

GRADING AND DRAINAGE PLAN
 3520 BAY ROAD
 REDWOOD CITY, CA. 94063

GREEN
 CIVIL ENGINEERING INC
 GREEN@GMAIL.COM
 204 E 2ND AVE #620
 SAN MATEO, CA 94401

SCALE
 VERTICAL: 1" = 8' SHOWN
 HORIZONTAL: 1" = 40' SHOWN

DATE: 6/12/2017
 DESIGNED: HCL
 DRAWN: HCL
 REVIEWED: HCL
 JOB NO.: 17111012

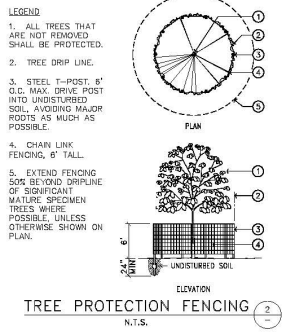
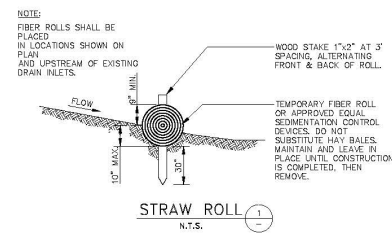
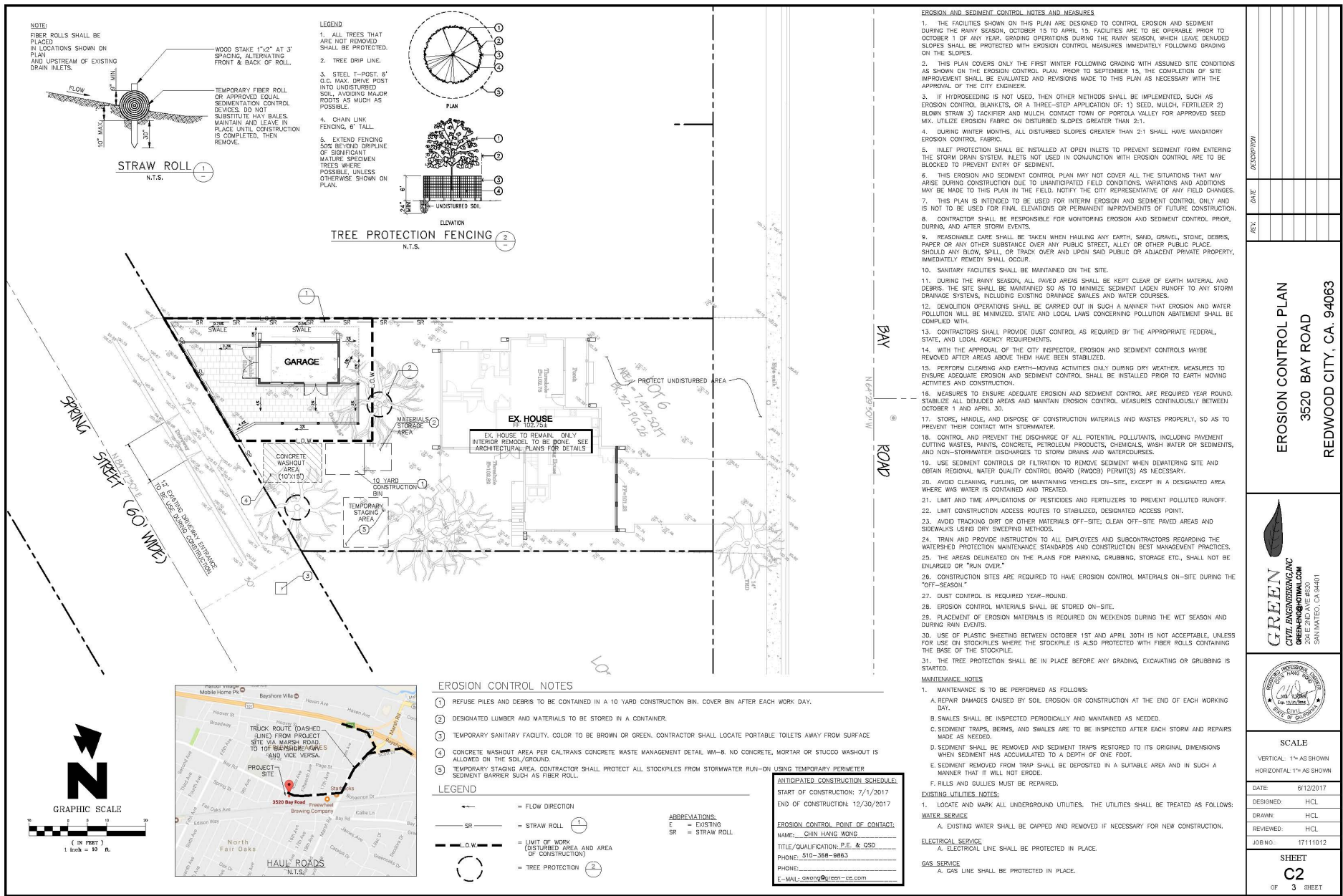
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 OF 3 SHEET

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Owner/Applicant: Romain Laboisse

Attachment: B

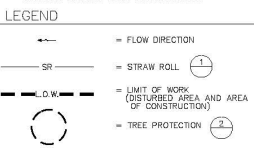
File Numbers: PLN2017-00007



- EROSION AND SEDIMENT CONTROL NOTES AND MEASURES**
- THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15 TO APRIL 15. FACILITIES ARE TO BE OPERABLE PRIOR TO OCTOBER 1 OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON, WHICH LEAVE BLENDED SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
 - THIS PLAN COVERS ONLY THE FIRST WATER FOLLOWING GRADING WITH ASSUMED SITE CONDITIONS AS SHOWN ON THE EROSION CONTROL PLAN. PRIOR TO SEPTEMBER 15, THE COMPLETION OF SITE IMPROVEMENT SHALL BE EVALUATED AND REVISIONS MADE TO THIS PLAN AS NECESSARY WITH THE APPROVAL OF THE CITY ENGINEER.
 - IF HYDROSEEDING IS NOT USED, THEN OTHER METHODS SHALL BE IMPLEMENTED, SUCH AS EROSION CONTROL BLANKETS, OR A THREE-STEP APPLICATION OF: 1) SEED, MULCH, FERTILIZER 2) BLOWN STRAW 3) TACKIFIER AND MULCH. CONTACT TOWN OF PORTOLA VALLEY FOR APPROVED SEED MIX. UTILIZE EROSION FABRIC ON DISTURBED SLOPES GREATER THAN 2:1.
 - DURING WINTER MONTHS, ALL DISTURBED SLOPES GREATER THAN 2:1 SHALL HAVE MANDATORY EROSION CONTROL FABRIC.
 - INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT.
 - THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS, VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. NOTIFY THE CITY REPRESENTATIVE OF ANY FIELD CHANGES.
 - THIS PLAN IS INTENDED TO BE USED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY AND IS NOT TO BE USED FOR FINAL ELEVATIONS OR PERMANENT IMPROVEMENTS OF FUTURE CONSTRUCTION.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL, PRIOR, DURING, AND AFTER STORM EVENTS.
 - REASONABLE CARE SHALL BE TAKEN WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY OR OTHER PUBLIC PLACE. SHOULD ANY BLOW, SPILL, OR TRACK OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY, IMMEDIATELY REMEDIATION SHALL OCCUR.
 - SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.
 - DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEMS, INCLUDING EXISTING DRAINAGE SWALES AND WATER COURSES.
 - DEMOLITION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. STATE AND LOCAL LAWS CONCERNING POLLUTION ABATEMENT SHALL BE COMPLIED WITH.
 - CONTRACTORS SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE, AND LOCAL AGENCY REQUIREMENTS.
 - WITH THE APPROVAL OF THE CITY INSPECTOR, EROSION AND SEDIMENT CONTROLS MAYBE REMOVED AFTER AREAS ABOVE THEM HAVE BEEN STABILIZED.
 - PERFORM CLEARING AND EARTH-MOVING ACTIVITIES ONLY DURING DRY WEATHER. MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED PRIOR TO EARTH MOVING ACTIVITIES AND CONSTRUCTION.
 - MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL ARE REQUIRED YEAR ROUND. STABILIZE ALL BLENDED AREAS AND MAINTAIN EROSION CONTROL MEASURES CONTINUOUSLY BETWEEN OCTOBER 1 AND APRIL 30.
 - STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
 - CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASH WATER OR SEDIMENTS, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.
 - USE SEDIMENT CONTROLS OR FILTRATION TO REMOVE SEDIMENT WHEN Dewatering SITE AND OBTAIN REGIONAL WATER QUALITY CONTROL BOARD (RWQCB) PERMIT(S) AS NECESSARY.
 - AVOID CLEANING, FUELING, OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASH WATER IS CONTAINED AND TREATED.
 - LIMIT AND THE APPLICATIONS OF PESTICIDES AND FERTILIZERS TO PREVENT POLLUTED RUNOFF.
 - LIMIT CONSTRUCTION ACCESS ROUTES TO STABILIZED, DESIGNATED ACCESS POINT.
 - AVOID TRACKING DIRT OR OTHER MATERIALS OFF-SITE; CLEAN OFF-SITE PAVED AREAS AND SIDEWALKS USING DRY SWEEPING METHODS.
 - TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES AND SUBCONTRACTORS REGARDING THE WATERSHED PROTECTION MAINTENANCE STANDARDS AND CONSTRUCTION BEST MANAGEMENT PRACTICES.
 - THE AREAS DELINEATED ON THE PLANS FOR PARKING, GRUBBING, STORAGE ETC., SHALL NOT BE ENLARGED OR "RUN OVER."
 - CONSTRUCTION SITES ARE REQUIRED TO HAVE EROSION CONTROL MATERIALS ON-SITE DURING THE "OFF-SEASON."
 - DUST CONTROL IS REQUIRED YEAR-ROUND.
 - EROSION CONTROL MATERIALS SHALL BE STORED ON-SITE.
 - PLACEMENT OF EROSION MATERIALS IS REQUIRED ON WEEKENDS DURING THE WET SEASON AND DURING RAIN EVENTS.
 - USE OF PLASTIC SHEETING BETWEEN OCTOBER 1ST AND APRIL 30TH IS NOT ACCEPTABLE, UNLESS FOR USE ON STOCKPILES WHERE THE STOCKPILE IS ALSO PROTECTED WITH FIBER ROLLS CONTAINING THE BASE OF THE STOCKPILE.
 - THE TREE PROTECTION SHALL BE IN PLACE BEFORE ANY GRADING, EXCAVATING OR GRUBBING IS STARTED.

EROSION CONTROL NOTES

- REFUSE PILES AND DEBRIS TO BE CONTAINED IN A 10 YARD CONSTRUCTION BIN. COVER BIN AFTER EACH WORK DAY.
- DESIGNATED LUMBER AND MATERIALS TO BE STORED IN A CONTAINER.
- TEMPORARY SANITARY FACILITY. COLOR TO BE BROWN OR GREEN. CONTRACTOR SHALL LOCATE PORTABLE TOILETS AWAY FROM SURFACE.
- CONCRETE WASHOUT AREA PER CALTRANS CONCRETE WASTE MANAGEMENT DETAIL WM-8. NO CONCRETE, MORTAR OR STUCCO WASHOUT IS ALLOWED ON THE SOIL/GROUND.
- TEMPORARY STAGING AREA. CONTRACTOR SHALL PROTECT ALL STOCKPILES FROM STORMWATER RUN-ON USING TEMPORARY PERIMETER.



ABBREVIATIONS:
E = EXISTING
SR = STRAW ROLL

ANTICIPATED CONSTRUCTION SCHEDULE:
START OF CONSTRUCTION: 7/1/2017
END OF CONSTRUCTION: 12/30/2017

EROSION CONTROL POINT OF CONTACT:
NAME: CHIN HANG WONG
TITLE/QUALIFICATION: P.E. & GSD
PHONE: 510-368-8863
PHONE:
E-MAIL: swong@green-c2.com

DESCRIPTION	
DATE	
REV.	
EROSION CONTROL PLAN	
3520 BAY ROAD	
REDWOOD CITY, CA. 94063	
SCALE	
VERTICAL: 1"=AS SHOWN	
HORIZONTAL: 1"=AS SHOWN	
DATE	6/12/2017
DESIGNED	HCL
DRAWN	HCL
REVIEWED	HCL
JOB NO.	17111012
SHEET	C2
OF	3 SHEET

Gub'A UhYc'7 ci bhmBcfh' : Uj'CU_g'7 ca a i b]mi7 ci bW' A YHb[

Owner/Applicant: Romain Laboisie

File Numbers: PLN2017-00007

Attachment: B

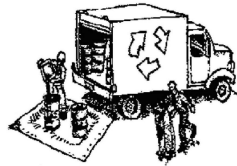


SAN MATEO COUNTYWIDE
**Water Pollution
Prevention Program**
Clean Water. Healthy Community.

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



- Non-Hazardous Materials**
- ❑ Bern and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
 - ❑ Use (but don't overuse) reclaimed water for dust control.

- Hazardous Materials**
- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
 - ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
 - ❑ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
 - ❑ Arrange for appropriate disposal of all hazardous wastes.

- Waste Management**
- ❑ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
 - ❑ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
 - ❑ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
 - ❑ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
 - ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

- Construction Entrances and Perimeter**
- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to efficiently control erosion and sediment discharges from site and tracking off site.
 - ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



- Maintenance and Parking**
- ❑ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
 - ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
 - ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
 - ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
 - ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, steam cleaning equipment, etc.

- Spill Prevention and Control**
- ❑ Keep spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
 - ❑ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
 - ❑ Clean up spills or leaks immediately and dispose of cleanup materials properly.
 - ❑ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
 - ❑ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
 - ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
 - ❑ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthwork & Contaminated Soils



- Erosion Control**
- ❑ Schedule grading and excavation work for dry weather only.
 - ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
 - ❑ Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.

- Sediment Control**
- ❑ Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, fiber rolls, berms, etc.
 - ❑ Prevent sediment from migrating offsite by installing and maintaining sediment controls, such as fiber rolls, silt fences, or sediment basins.
 - ❑ Keep excavated soil on the site where it will not collect into the street.
 - ❑ Transfer excavated materials to dump trucks on the site, not in the street.
 - ❑ Contaminated Soils
 - ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work



- ❑ Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.
- ❑ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ❑ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ❑ Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

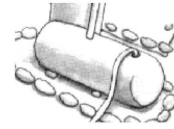
- ❑ Completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ❑ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!)
- ❑ If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



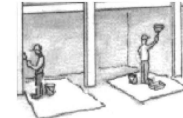
- ❑ Store concrete, grout and mortar under cover, on pallets and away from drainage areas. These materials must never reach a storm drain.
- ❑ Wash out concrete equipment/trucks offsite or in a contained area, so there is no discharge into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ❑ Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal offsite.

Dewatering



- ❑ Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site. Divert run-on water from offsite away from all disturbed areas or otherwise ensure compliance.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer to determine whether testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.

Painting & Paint Removal



- Painting cleanup**
- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or surface waters.
 - ❑ For water-based paints, paint out brushes to the extent possible. Rinse to the sanitary sewer once you have gained permission from the local wastewater treatment authority. Never pour paint down a drain.
 - ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of residue and unusable thinner/solvents as hazardous waste.

Paint removal

- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead or tributyltin must be disposed of as hazardous waste.
- ❑ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.

Landscape Materials



- ❑ Contain stockpiled landscaping materials by storing them under tarps when they are not actively being used.
- ❑ Stack erodible landscape material on pallets. Cover or store these materials when they are not actively being used or applied.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

Storm drain polluters may be liable for fines of up to \$10,000 per day!

REV.	DATE	DESCRIPTION
CONSTRUCTION BMPs 3620 BAY ROAD REDWOOD CITY, CA. 94063		
 GREEN <small>OFFICE OF ENVIRONMENTAL & NATURAL RESOURCES 204 E 2ND AVE #620 SAN MATEO, CA 94063</small>		
SCALE VERTICAL: 1" = AS SHOWN HORIZONTAL: 1" = AS SHOWN		
DATE: 6/12/2017		
DESIGNED: HCL		
DRAWN: HCL		
REVIEWED: HCL		
JOB NO: 17111012		
SHEET C3 <small>OF 3 SHEETS</small>		

Gub`A UYc`7 ci bhmBcfh` : Ujf`CU_g`7 ca a i b]mi7 ci bWj`A YHj[b]

Owner/Applicant: Romain Laboissee
File Numbers: PLN2017-00007

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