



NORTH FAIR OAKS COMMUNITY COUNCIL

Fair Oaks Community Center, Multi-Purpose Room
2600 Middlefield Road, Redwood City

ITEM # 3

Owner/Applicant: **Jessica Britt**

File Number: . . . **PLN 2020-00046**

Location: **823 6th Avenue, North Fair Oaks**

APN: **055-082-080**

Project Description:

Consideration of an Off-Street Parking Exception, pursuant to Section 6120 of the San Mateo County Zoning Regulations, to allow for the waiver of one covered parking space and the continued use of a one-car garage, where two covered parking spaces are required, associated with a proposed 583 sq. ft. single-story rear addition to an existing 1,477 sq. ft. single-story residence located at 823 - 6th Avenue, in the unincorporated North Fair Oaks area of San Mateo County.



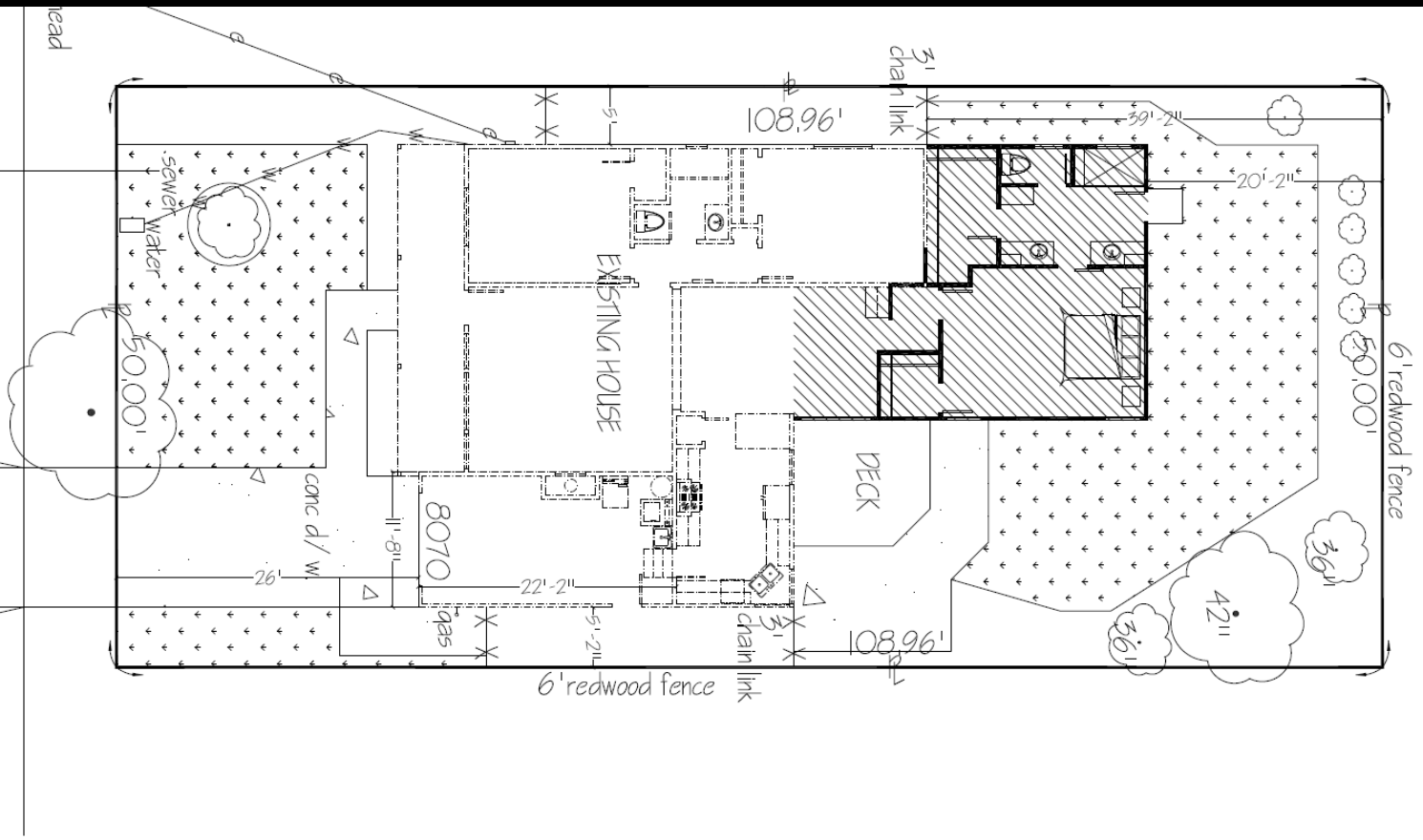
VICINITY MAP



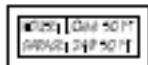
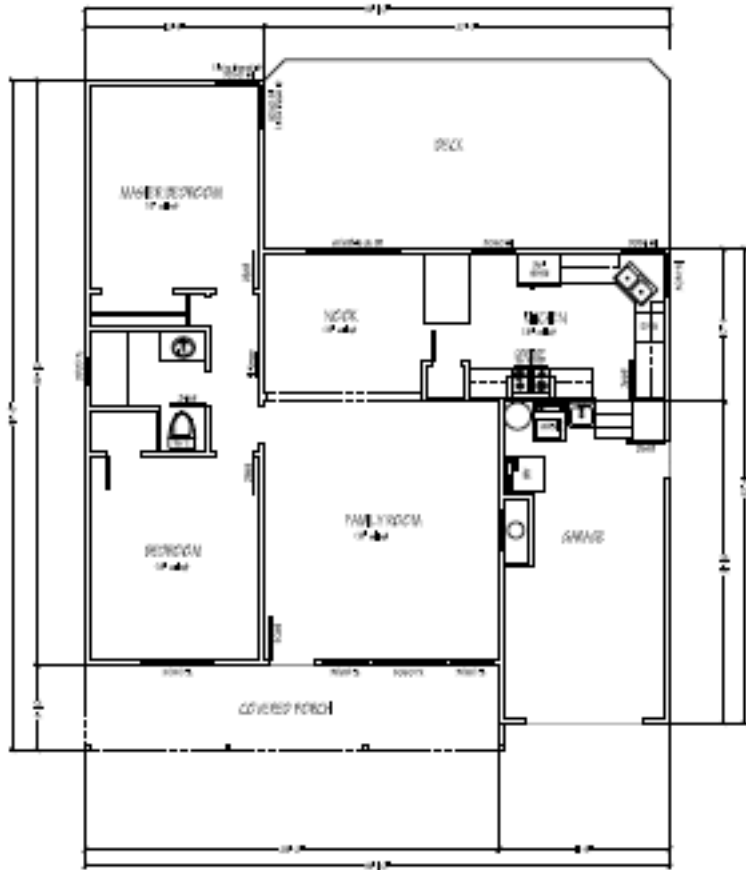
PROPOSAL

- Construction of a 583 sq. ft. single-story rear addition to an existing 1,477 sq. ft. single-story residence located at 823 - 6th Avenue, in the unincorporated North Fair Oaks area of San Mateo County.
- To allow for the waiver of one covered parking space and the continued use of a one-car garage, where two covered parking spaces are required,

6th VENUE

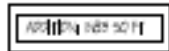
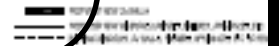
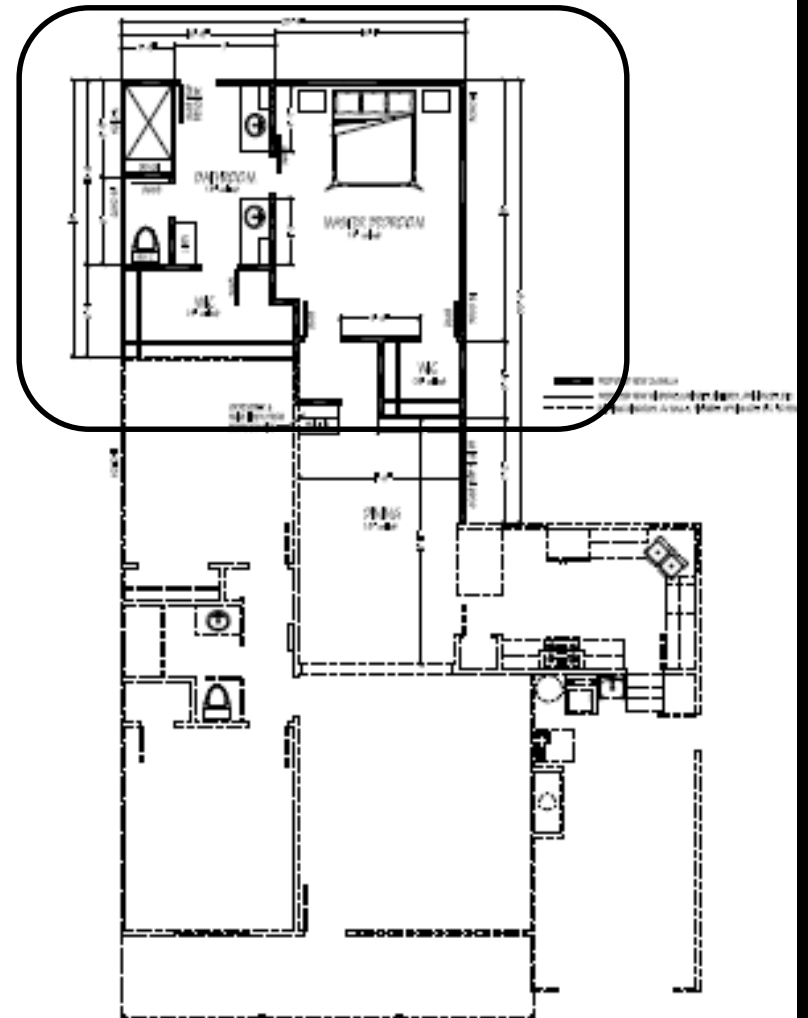


Site Plan



EXISTING FLOOR PLAN

SCALE 1/8" = 1'-0"



PROPOSED FLOOR PLAN

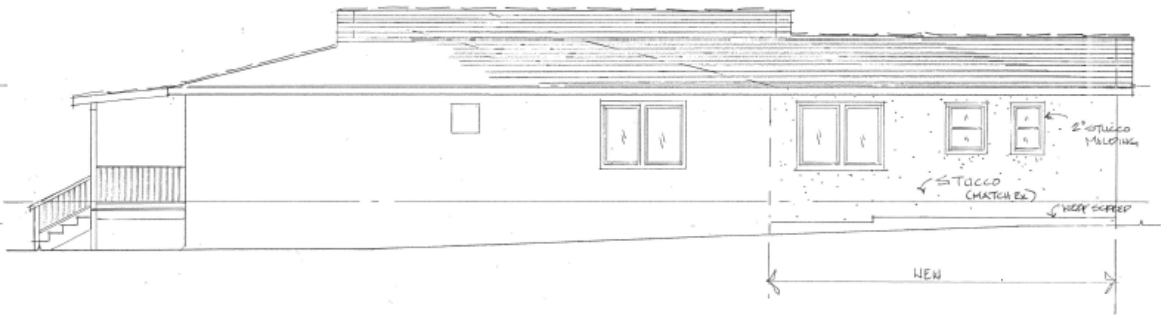
SCALE 1/8" = 1'-0"

Existing Floor Plan

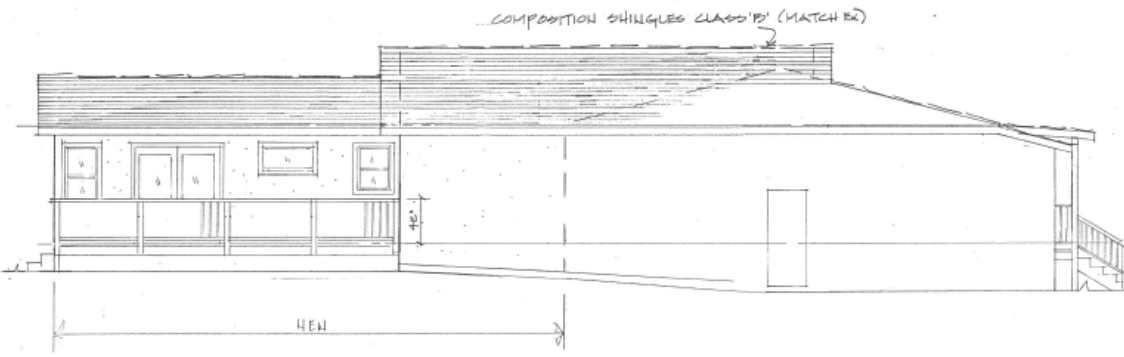
Proposed Floor Plan



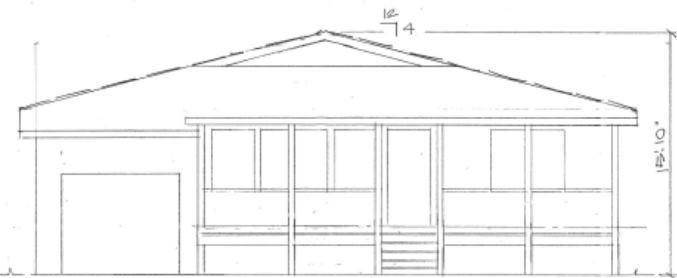
REAR ELEVATION



RIGHT ELEVATION



LEFT ELEVATION

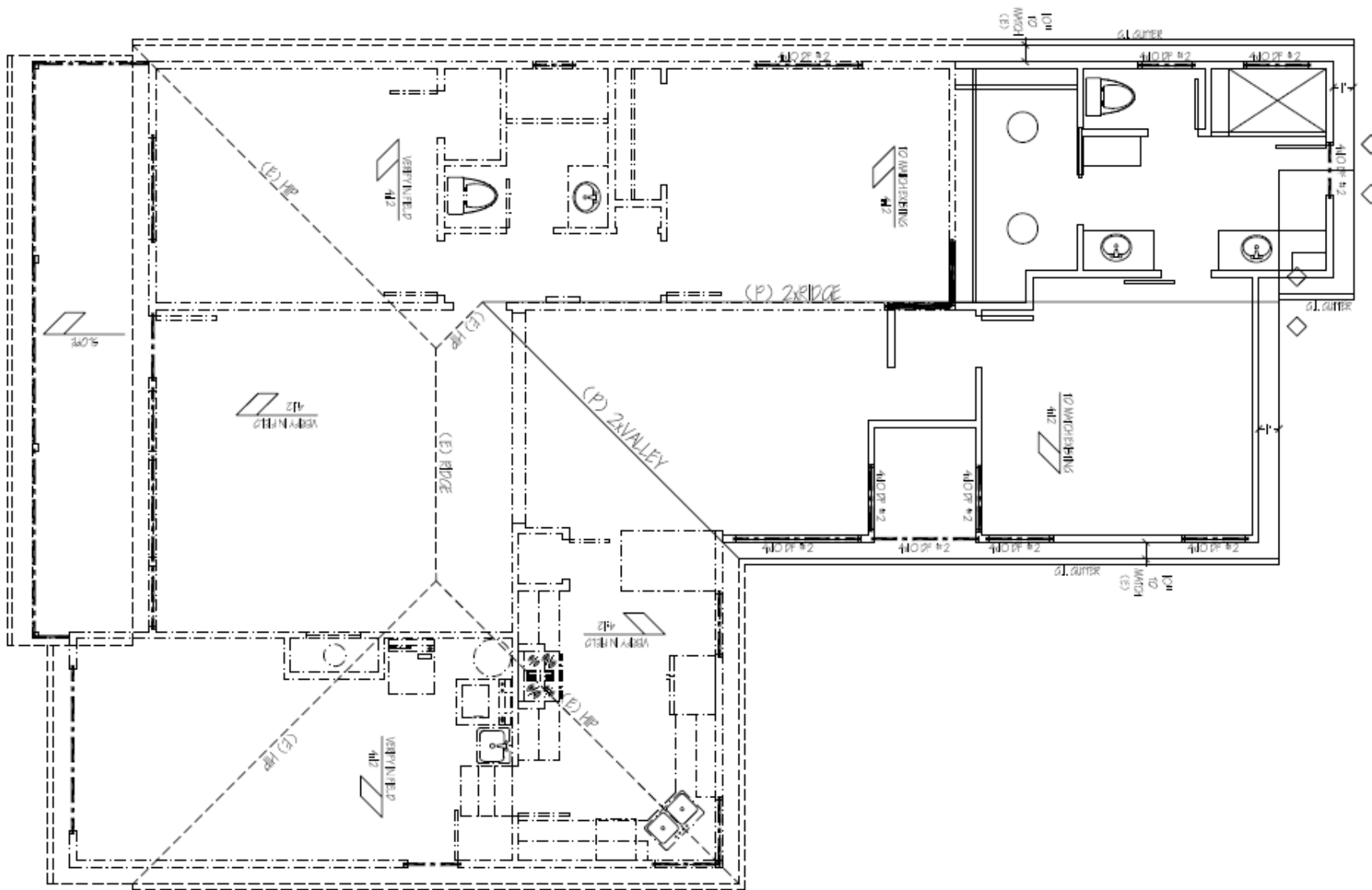


FRONT ELEVATION

SCALE: 1/4"=1'-0"

REVISED
12/12/08
State County

Existing Elevations



Proposed Roof Plan

S-73 Development Standards		Existing	Proposed
Minimum Lot Width	Average 50 ft.	50 ft.	No Change
Minimum Lot Area	5,000 sq. ft.	5,450 sq. ft.	No Change
Minimum Front Yard Setback	20 ft.	25 ft.	No Change
Minimum Rear Yard Setback	20 ft.	39 ft. – 2 in.	20 ft. – 2 in.
Minimum Right-Side Yard Setback	5 ft.	5 ft. (main residence)	21 ft. (addition)
Minimum Left-Side Yard Setback	5 ft.	5 ft. (main residence)	5 ft.(addition)
Maximum Building Height	28 ft.	15 ft.	15 ft. (addition)
Maximum Lot Coverage	50% (2,725 sq.)	27% (1,477 sq. ft.)	38% (2060 sq. ft.)
Maximum Floor Area Ratio	2,717 sq. ft.	1,477 sq. ft.	2,060 sq. ft.



RECOMMENDATION

Provide comments to Planning Staff on whether the Council concludes that the required findings for the Off-Street Parking Exception can be made:

That the establishment, maintenance, and/or conduction of the off-street parking facilities as proposed are as nearly in compliance with the requirements set forth in the County Zoning Regulations Section 6119 (*Parking*) as are reasonably possible.

That the establishment, maintenance, and/or conduction of the off-street parking facility as proposed will not, under the circumstances of the particular case, be detrimental to the public welfare or injurious to property or improvements in said neighborhood.





End