

Application for Design Review by the County Coastside Design Review Committee

County Government Center ■ 455 County Center ■ Redwood City CA 94063
Mail Drop PLN 122 ■ 650 • 363 • 4161 ■ FAX 650 • 363 • 4849

Permit #: PLN ~~PLN2022-00242~~ PLN-2022-00348

Other Permit #: _____

1. Basic Information

Applicant:

Name: REBECCA KATKIN

Address: PO BOX 2115 EL GRANADA CA

Zip: 94018

Phone,W: 4157060981 H: _____

Email: REBECCA@KATKINARCHITECTURE.COM

Owner (if different from Applicant):

Name: KELLY & WAYNE ROBINSON

Address: 2549 MORLEY WAY SACRAMENTO CA

Zip: 95864

Phone,W: 9166167471 H: 9168138260

Email: HEYKELLYROBINSON@GMAIL.COM

ROBINSON.WAYNE@GMAIL.COM

Architect or Designer (if different from Applicant):

Name: _____

Address: _____ Zip: _____

Phone,W: _____ H: _____ Email: _____

2. Project Information

Project location:

APN: 037-096-120

Address: BETWEEN 713-721 ETHELDORE, MOSS BEACH

Zip: 94038

Zoning: R-1/S-17/DR/CD

Parcel/lot size: 5000 sq. ft.

Site Description:

- Vacant Parcel
- Existing Development (Please describe): _____

Project:

New Single Family Residence: 1713 sq. ft

Addition to Residence: _____ sq. ft

Other: _____

Describe Project:

New [1713 sf] single family residence w/3 bedrm / 3 bath
+ [495 sf] 1 bedrm / 1 bath Junior ADU + [441 sf] 2 car
garage + [800+ sf] 2 bedrm / 1 bath ADU

Additional Permits Required:

- Certificate of Compliance Type A or Type B
- Coastal Development Permit
- Fence Height Exception (not permitted on coast)
- Grading Permit or Exemption
- Home Improvement Exception
- Non-Conforming Use Permit
- Off-Street Parking Exception
- Variance

Fill in Blanks:	Material	Color/Finish	Check if matches existing
		(If different from existing, attach sample)	
a. Exterior walls	1-HARDIE SIDING, 2-STUCCO	1-TIMBER BARK 2-BM SWISS COFFEE	<input type="checkbox"/>
b. Trim	MATCH SIDING WHERE OCCURS		<input type="checkbox"/>
c. Windows	VINYL	BLACK	<input type="checkbox"/>
d. Doors	VINYL	BLACK	<input type="checkbox"/>
e. Roof	ASPHALT SHINGLES	DARK GREY	<input type="checkbox"/>
f. Chimneys	N/A		<input type="checkbox"/>
g. Decks & railings	GLASS RAILINGS TILE DECKS	WARM GREY	<input type="checkbox"/>
h. Stairs	CONCRETE & METAL	GREY	<input type="checkbox"/>
i. Retaining walls	CONCRETE	BOARD FORMED	<input type="checkbox"/>
j. Fences	REDWOOD	NATURAL	<input type="checkbox"/>
k. Accessory buildings	N/A		<input type="checkbox"/>
l. Garage/Carport	STUCCO	BM SWISS COFFEE	<input type="checkbox"/>



To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

(optional) Applicant's Statement of project compliance with standards and guidelines (check if attached).



I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.

Neil Rubins

 Owner:

Rebecca Katkin
 Applicant:

11/23/2022
 Date:

11/21/22
 Date:

Owner Kathy Garrett Robenson & Wayne Robenson
Applicant: KATKIN ARCHITECTURE
File number: PLN2022-00348
Location: 0000 Etheldore
APN: 037-096-120
SUBJ: Coastside Design Review Permit recommendation.

The project has been reviewed for compliance with the Design Review Standards for one main and one ADU residence and **four story** Residential Development in the Midcoast, County of San Mateo Zoning Regulations Aug 2019, Chapter 28.1, Section 6565.20.

CDRC recommends **Continued** with Findings recommendations and requirements as follows:
Findings

Section 6565.20(D) ELEMENTS OF DESIGN;

1. Alignment with neighborhood: **Aligns well with the other houses of the same setback and scale.**
2. Architectural styles: **California contemporary modern on upslope**
3. Articulations, Material color palate: **Exterior articulations on all sides, house and stairs step up with the grade. Roof forms articulate sides and eaves and secondary roof forms.**
4. Neighborhood concerns : **Height, view, mass and drainage**
5. Vote Recommendation Tally (**Continued**)

Requirements (conditions of approval / recommendation)

Recommendations.

1. SECTION 6565.20(C) SITE PLANNING AND STRUCTURE PLACEMENT; 1. Integrate Structures with the Natural Setting; b. Grading. (p5)

- Consider moving entire structure down and toward the front property line. (Confirm with County Planning if the structure can have the garage at the front property line due to the slope of the topography.) Confirm impact to ADU in relation to the garage with County Planners.
- This would allow the building to move down and maintain the required driveway elevations required by Public Works.
- Consider lower plate height of garage.

2. SECTION 6565.20(D) ELEMENTS OF DESIGN; 1. Building Mass, Shape and Scale; b. Neighborhood Scale (p10)

- Reduce apparent mass and scale by considering a flat roof rather than hip roof.
- Solar panels do not need to be angled, so slightly less performance may be a necessary compromise for the Design Standards to be met.

*It is estimated the combination of these recommendations could lower overall height by 4+ feet

GENERAL CONDITIONS

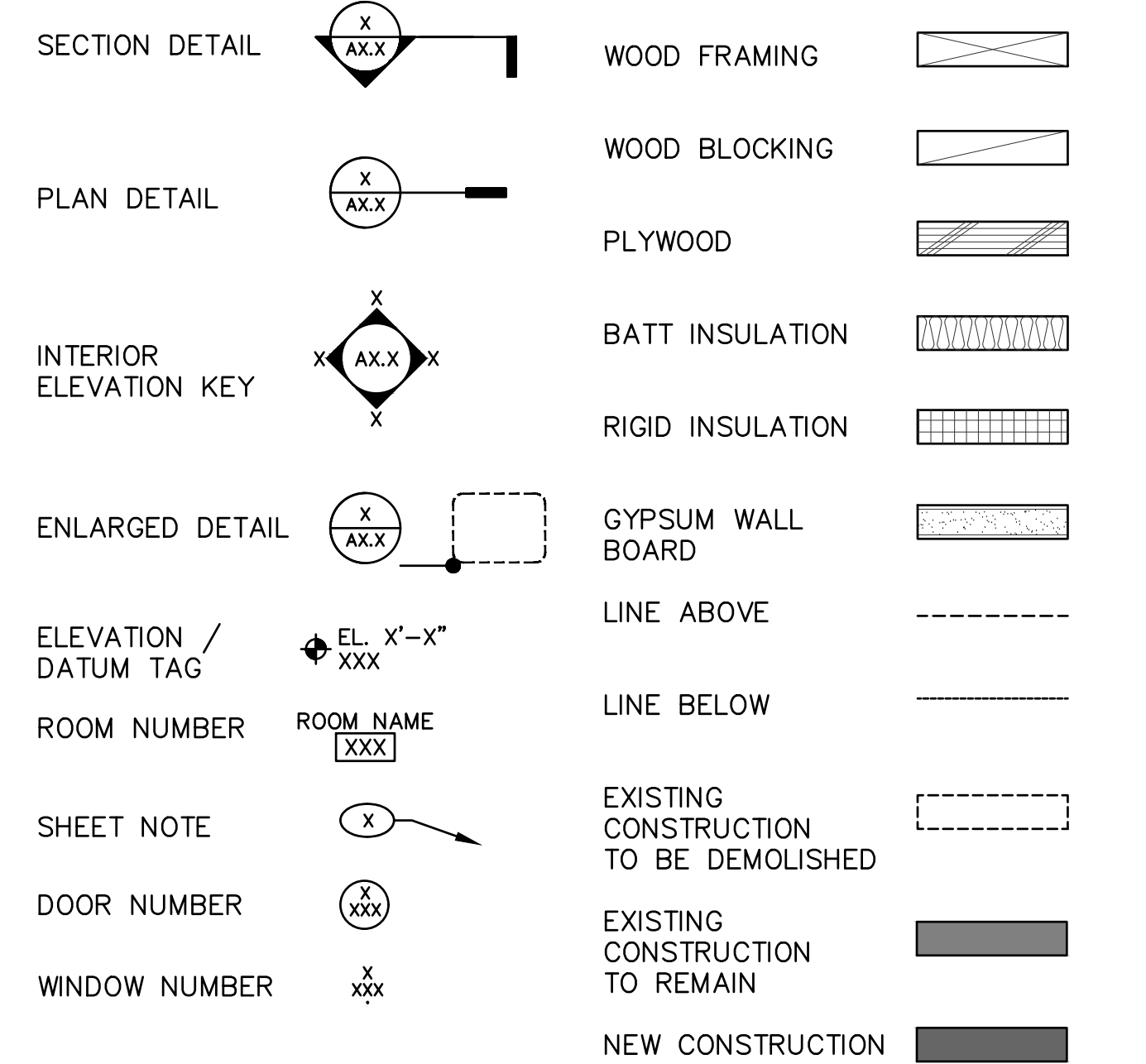
01. NEW SINGLE FAMILY HOME WITH 3 BEDROOMS/3 BATHS, + 1 BEDROOM/1 BATH JUNIOR ADU + 2 CAR GARAGE + 2 BEDROOM/1 BATH ADU.
02. GENERAL CONDITIONS: PERFORM ALL WORK REQ'D BY THE CONTRACT DOCUMENTS FOR THE ALTERATION, RENOVATION, REPAIR & REHABILITATION OF THE DESIGNATED PREMISES, INCLUDING ALL LABOR, MATERIALS, EQUIPMENT, TRANSPORTATION, SCAFFOLDING & OTHER FACILITIES & SERVICES NECESSARY FOR THE PROPER & COMPLETE EXECUTION OF THE WORK.
03. EXCLUSIONS: CONTRACTOR SHALL MAKE KNOWN TO ARCHITECT & OWNER ANY LIMITATIONS, EXCLUSIONS OR MODIFICATIONS TO THE PROJECT EXPLICITLY IN THE PROJECT ESTIMATE.
04. COMPLEMENTARY DOCUMENTS: THE ARCHITECT'S DRAWINGS, SPECIFICATIONS & CONSTRUCTION NOTES ARE COMPLEMENTARY, & WHAT IS CALLED FOR BY ONE SHALL BE BINDING AS IF CALLED FOR BY ALL.
05. INCONSISTENCIES: WHERE DIFFERENCES BETWEEN DRAWINGS, NOTES & SPECIFICATIONS OCCUR, THE DECISION OF THE ARCHITECT SHALL GOVERN AS TO WHICH TAKES PRECEDENCE.
06. MISSING INFORMATION: THE CONTRACTOR SHALL STUDY THE DRAWINGS, NOTES, SPECIFICATIONS & OTHER INSTRUCTIONS, & NOTIFY THE ARCHITECT OF ANY INCONSISTENCIES OR MISSING INFORMATION REQ'D FOR FABRICATION OR INSTALLATION OF THE WORK.
07. DOUBTFUL CONDITIONS / FIELD CONDITIONS: VERIFY ALL (E) CONDITIONS & DIMENSIONS AFFECTING THE WORK ON SITE, NOTIFY THE ARCHITECT OF ANY CONDITIONS THAT ARE FOUND CONTRARY TO THOSE SHOWN ON THE DRAWINGS, OR OF ANY DOUBTFUL CONDITIONS THAT MIGHT AFFECT QUALITY OR INTERFERE W/ THE PROPER COMPLETION OF WORK BEFORE COMMENCING WORK.
08. PERMITS AND APPROVALS: OBTAIN ALL REQUIRED PERMITS & PAY FEES FOR PERMITS, LICENSES, INSPECTIONS, FILINGS & APPROVALS REQUIRED BY LOCAL LAWS, ORDINANCES & REGULATIONS NECESSARY FOR COMPLETION OF THE PROJECT.
09. A VALID WORK PERMIT SHALL BE PROMINENTLY DISPLAYED AT THE JOB SITE FOR THE ENTIRE DURATION OF THE WORK.
10. COMPLIANCE WITH CODES: ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE SAN MATEO COUNTY PLANNING, FIRE & EMERGENCY SERVICES & LOCAL UTILITY COMPANIES.
11. MEANS AND METHODS: THE CONTRACTOR SHALL SUPERVISE THE WORK USING THE BEST SKILL & ATTENTION.
12. SAFETY: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR INITIATING, MAINTAINING & SUPERVISING SAFETY PRECAUTIONS IN CONNECTION W/ THE WORK.
13. HAZARDOUS MATERIALS: IN THE EVENT THE CONTRACTOR ENCOUNTERS ASBESTOS OR PRODUCTS CONTAINING ASBESTOS, REMOVE ALL PERSONS FROM THE PROPERTY IMMEDIATELY W/O DISTURBING THESE PRODUCTS & NOTIFY THE OWNER.
14. SCHEDULE: SUBMIT A CONSTRUCTION SCHEDULE TO ARCHITECT & OWNER PRIOR TO COMMENCING WORK.
15. SEQUENCE AND COORDINATION: THE CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES & SUBCONTRACTORS FOR ALL PORTIONS OF THE WORK UNDER THIS CONTRACT.
16. APPROVED MATERIALS: THERE SHALL BE NO SUBSTITUTION OF MATERIALS WHERE A MANUFACTURER IS SPECIFIED.
17. LICENSED TRADESPEOPLE: WORK, INCLUDING PLUMBING, ELECTRICAL & OTHER TRADES, SHALL BE PERFORMED BY CONTRACTORS LICENSED IN THEIR TRADE.
18. CURRENT DRAWINGS / REVISIONS: MAINTAIN A COMPLETE, CURRENT SET OF CONTRACT DOCUMENTS ON SITE THROUGHOUT CONST.
19. LAYOUT OF WORK: LAYOUT WORK FROM DIMENSIONS & ALIGNMENTS SHOWN ON DRAWINGS & BE RESPONSIBLE FOR ALL MEASUREMENTS IN CONNECTION THEREWITH.

20. QUALITY ASSURANCES: A) ALL WORK SHALL BE PERFORMED & SUPERVISED BY WORKERS THOROUGHLY FAMILIAR W/ THE MATERIALS & METHODS SPECIFIED. B) WORK SHALL BE INSTALLED PLUMB & LEVEL. SHOULD EX'G ADJ WORK NOT BE PLUMB & LEVEL, NEW WORK SHALL BE INSTALLED AS NECESSARY TO MEET THE EX'G WORK, W/O APPEARING TO EMPHASIZE THE VARIANCE, SUBJECT TO THE APPROVAL OF THE ARCHITECT.
21. SECURING OF PREMISES: SECURE THE PREMISES & MATERIALS WITHIN THE CONSTRUCTION AREA FOR THE DURATION OF CONSTRUCTION UNTIL OWNER'S FINAL ACCEPTANCE.
22. PROTECTION DURING CONSTRUCTION: PROVIDE & MAINTAIN ALL NECESSARY COVERINGS & PROTECTION TO PREVENT DAMAGE, DISCOLORATION OR SOILING OF (E) & NEW CONST., FINISHES & BUILDING ELEMENTS.
23. MEANS OF EGRESS: ALL EX'G MEANS OF EGRESS FOR WORKERS & VISTORS TO SITE SHALL BE MAINTAINED CLEAR & FREE OF OBSTRUCTIONS SUCH AS BUILDING MATERIALS, TOOLS, ETC.
24. DELIVERIES: CONTRACTOR SHALL MAKE ALL REQ'D ARRANGEMENTS FOR DELIVERY & TRANSFER OF EQUIPMENT AND MATERIALS TO THE JOB SITE.
25. CUTTING AND PATCHING: PERFORM ALL CUTTING AND PATCHING REQ'D BY THE INSTALLATION OF NEW FRAMING, PLUMBING FIXTURES & CONNECTIONS, WIRING, ELECTRICAL & TELEPHONE OUTLETS, SWITCHES, HEATING & VENTILATION ELEMENTS TO PROVIDE A FINISHED PRODUCT.
26. REMOVALS: MAINTAIN A CLEAN & NEAT WORK SITE AT ALL TIMES.
27. FINAL CLEANUP: ALL SPACES MUST BE LEFT VACUUM-CLEAN & ORDERLY, READY FOR OWNER OCCUPANCY.
28. PROJECT CLOSEOUT: UPON COMPLETION OF THE JOB THE CONTRACTOR SHALL SUBMIT ALL CERTIFICATES OF INSPECTION & A CERTIFICATE OF SUBSTANTIAL COMPLETION (AIA DOC. G-704) TO OWNER.
29. PROJECT COMPLETION: THE PROJECT SHALL BE CONSIDERED COMPLETE WHEN THE WORK ON ARCHITECT'S PUNCH LIST HAS BEEN COMPLETED TO THE SATISFACTION OF THE ARCHITECT AND CLIENTS.
30. WARRANTY & GUARANTEE: A) THE CONTRACTOR GUARANTEES THAT WORK COMPLETED UNDER THIS CONTRACT IS FREE FROM FAULTY MATERIALS & WORKMANSHIP.
31. PER CALIFORNIA CIVIL CODE ARTICLE 1101.1 AND CALGREEN SECTION 301.1, FOR ALL BUILDING ALTERATIONS OR IMPROVEMENTS TO A SINGLE FAMILY RESIDENTIAL PROPERTY, EXISTING PLUMBING FIXTURES IN THE ENTIRE HOUSE THAT DO NOT MEET THE CURRENT FLOW RATES WILL NEED TO BE UPGRADED.
32. WHEN ALTERATIONS REPAIRS, OR ADDITIONS REQUIRING A PERMIT OCCUR, THE INDIVIDUAL DWELLING UNIT SHALL BE EQUIPPED WITH SMOKE ALARMS LOCATED AS REQUIRED FOR NEW DWELLING PER CRC R314.2.2.

APPLICABLE CODES

- 2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA RESIDENTIAL CODE
2019 CALIFORNIA ELECTRICAL, MECHANICAL, PLUMBING AND FIRE CODES
2019 CALIFORNIA ENERGY CODE - TITLE 24 NATIONAL ELECTRIC CODE
2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
COASTSIDE FIRE PROTECTION DISTRICT CODES AND STANDARDS
SAN MATEO COUNTY R-1/S-17/DR/CD ZONING CODE

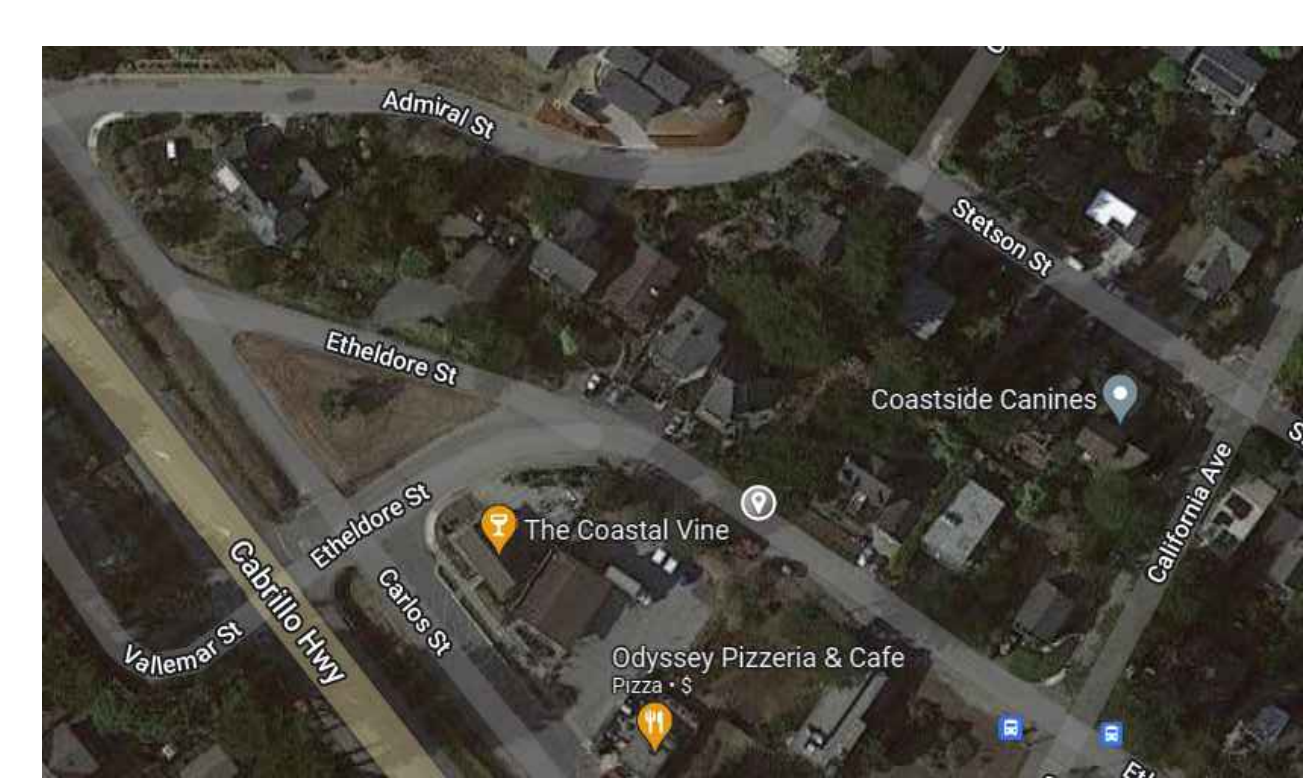
SYMBOLS & GRAPHIC CONVENTIONS



ABBREVIATIONS

Table with columns for abbreviations and full names. Includes: AT CENTERLINE, INCL JB, INCLUDING JUNCTION BOX, PROPERTY LINE, LAV LT, LAVATORY LIGHT/LIGHTING, MAINT MAT, MAINTENANCE MATERIAL, ADJ AFF, ABOVE FINISHED FLOOR, MAX MECH, MECHANICAL, ALUM, ALUMINUM, MFR MFR, MANUFACTURER, APPROX, APPROXIMATE, MIN, MINIMUM, ARCH, ARCHITECTURAL, MISC, MISCELLANEOUS, AVG, AVERAGE, MTL, MOUNTED METAL, BD, BOARD, BTWN, BETWEEN, BLDG, BUILDING, BLKG, BLOCKING, BM, BEAM, BOS, BOTTOM OF STEEL, BO, BOTTOM OF, CAB, CABINET, CEM, CEMENT, CH, CEILING HEIGHT, CLG, CEILING, CLKG, CAULKING, CLOS, CLOSET, CLR, CLEAR, CLR OPG, CLEAR OPENING, CO, CASED OPENING, COL, COLUMN, CONC, CONCRETE, CONSTR, CONSTRUCTION, CONT, CONTINUOUS, CTR, CENTER, DBL, DOUBLE, DEPT, DEPARTMENT, DET, DETAIL, DIA, DIAMETER, DIM, DIMENSION, DISP, DISPOSAL, DN, DOWN, DR, DOOR, DW, DISHWASHER, DWR, DRAWER, DWG, DRAWING, EA, EACH, E, EAST, ELEV, ELEVATION, ELEC, ELECTRICAL, EQ, EQUAL, EQPT, EQUIPMENT, EX'G, EXISTING, EXT, EXTERIOR, FA, FIRE ALARM, FIN, FINISH(ED), FIN FL, FINISHED FLOOR, FL, FLOOR, FLUOR, FLUORESCENT, FOC, FACE OF, FOC, FACE OF CONCRETE, FOF, FACE OF FINISH, FOS, FACE OF STUDS, FR, FRAME, FRZ, FREEZER, FT, FOOT OR FEET, FURR, FURRING, GA, GAUGE, GALV, GALVANIZED, GL, GLASS, GWB, GYPSUM WALL BOARD, HB, HOSE BIB, HC, HANDICAPPED, HDWR, HARDWARE, HT, HEIGHT, HTG, HEATING, UNF, UNFINISHED, UON, UNLESS OTHERWISE NOTED, UL, UNDERWRITERS LABORATORY, UTIL, UTILITY, VERT, VERTICAL, VIF, VERIFY IN FIELD, W, WEST, W/, WITH

VICINITY MAP



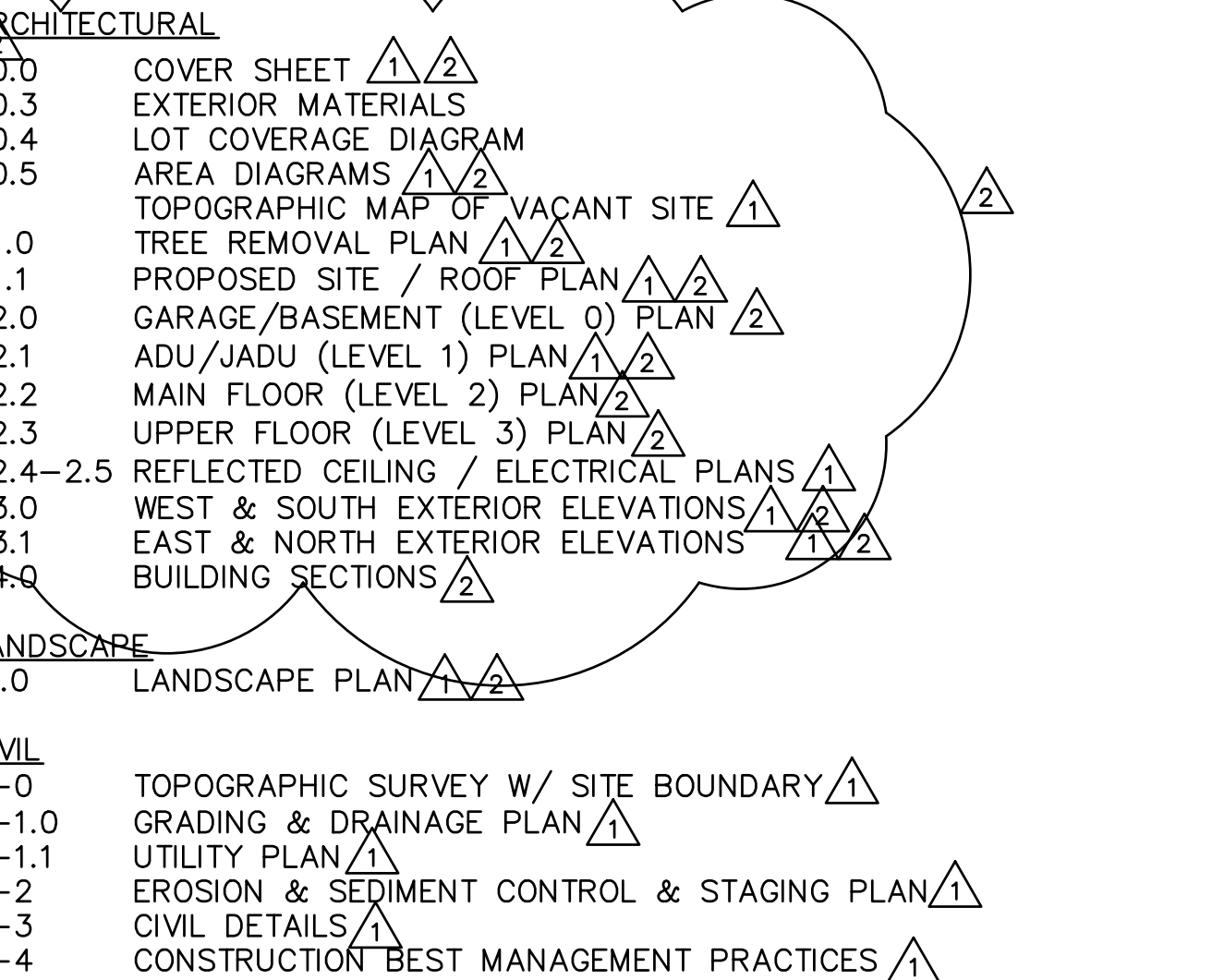
PROJECT DESCRIPTION

NEW SINGLE FAMILY HOME WITH 3 BEDROOMS/3 BATHS, + 1 BEDROOM/1 BATH JUNIOR ADU + 2 CAR GARAGE + 2 BEDROOM/1 BATH ADU

PROJECT INFORMATION

APN: 037-096-120
ZONING: R-1/S-17/DR/CD
USE TYPE: SINGLE FAMILY W/ ATTACHED ADU & JADU
OCCUPANCY: SINGLE FAMILY (R-3)
CONSTRUCTION: 5 SPRINKLERED
PARCEL AREA: 5000 SF
ALLOWED LOT COVERAGE: 35% = 1750 SF
PROPOSED LOT COVERAGE: 1746 SF
ALLOWED BLDG. AREA W/OUT ADU: 53% OF 5000 SF = 2650 SF
ALLOWED BLDG. AREA + ADU: 2650 + 800 SF = 3450 SF
ALLOWED AREA + ADU SPECIFIC ENTRY: 3450 + 150 SF = 3600 SF
PROP. BLDG. AREA W/OUT ADU: 2646 SF
PROP. BLDG. AREA (INCL. 823 SF ADU+ENTRY): 3469 SF
PROPOSED BUILDING HEIGHT: 26'-4"
FRONT SETBACK: 18'
REAR SETBACK: 22'
SIDE SETBACKS: 6' AT THE WEST SIDE, 9' AT EAST SIDE
NEW LANDSCAPING: 1725 SF

SHEET INDEX



CLIENTS:

KELLY GARRETT
ROBINSON & WAYNE ROBINSON
2549 MORLEY WAY
SACRAMENTO, CA 95864



PROJECT:

ROBINSON RESIDENCE

APN: 037-096-120
ETHELDORE STREET
MOSS BEACH, CA 94038

ISSUE:

Table with columns: NO., DESCRIPTION, DATE. Includes: 1 PLAN REVIEW RESP. 1.09.23, 2 CDRC REVISIONS 4.09.23

CDRC REVISIONS

SCALE: N/A

DATE: 11.15.2022

A0.0
CODES, VICINITY MAP, PROJECT DESCRIPTION, SHEET INDEX

KELLY GARRETT
ROBINSON &
WAYNE ROBINSON
2549 MORLEY WAY
SACRAMENTO, CA 95864

KATKIN
ARCHITECTURE
P.O. BOX 2115 EL GRANADA, CA 94018
REBECCA@KATKINARCHITECTURE.COM
415.706.0981

LICENSED ARCHITECT
REBECCA
SHAW KATKIN
NO. C-30747
1.31.25
RENEWAL DATE
STATE OF CALIFORNIA

PROJECT:

ROBINSON RESIDENCE

APN: 037-096-120
ETHELDORE STREET
MOSS BEACH, CA 94038

ISSUE:

NO.	DESCRIPTION	DATE

CDRC REVISIONS

SCALE: N/A

DATE: 11.15.2022

A0.3
EXTERIOR MATERIALS



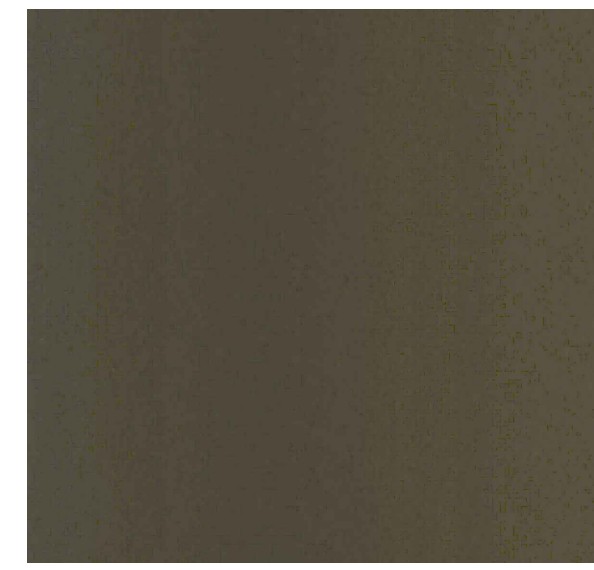
WINDOWS AND SLIDING DOORS: MILGARD TRINSIC VINYL BLACK



ENTRY DOORS: FOUR LITE FIBERGLASS OR STEEL; COLOR BLACK



GARAGE DOORS: MODERN COMPOSITE W/OBS. GLAZING; COLOR BLACK



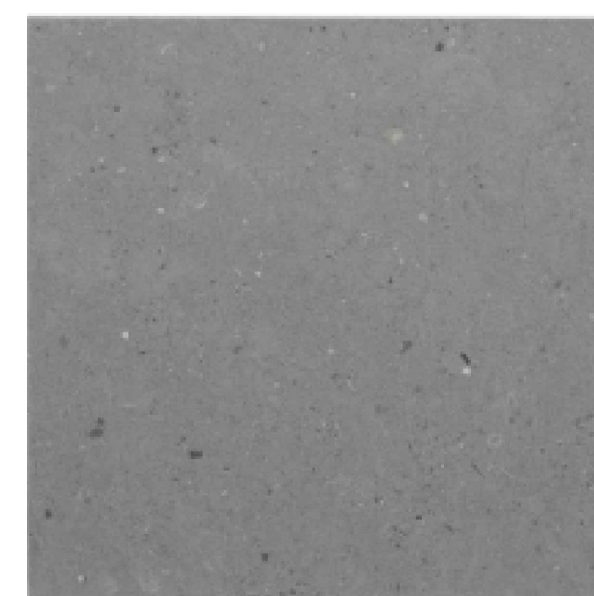
SIDING #1
HARDIE HORIZONTAL SIDING
COLOR: TIMBER BARK



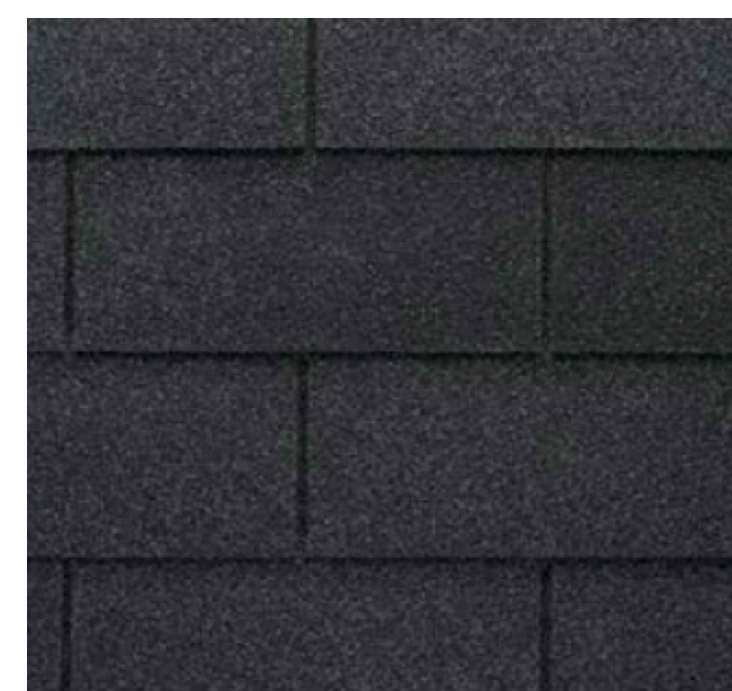
SIDING #2:
PAINTED SMOOTH STUCCO
COLOR: BM SWISS COFFEE



STAIRS, PLANTERS &
RETAINING WALLS:
BOARD-FORMED CONCRETE

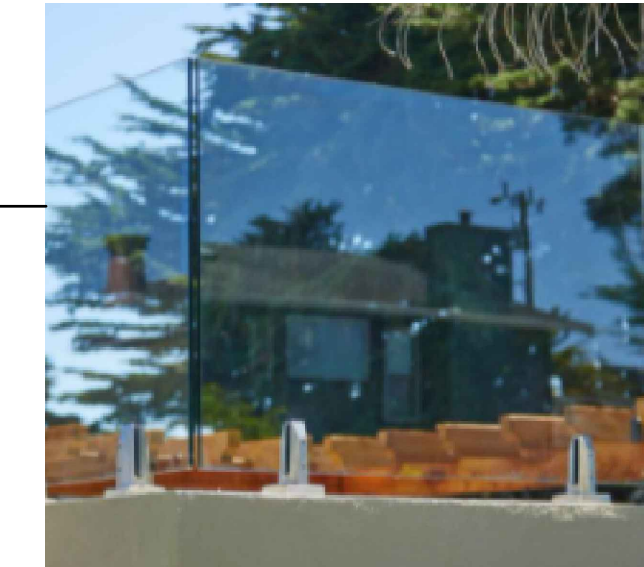


DECK PAVERS:
LA PALMA LIMESTONE



PRIMARY ROOFING
GAF ROYAL SOVEREIGN
ASPHALT SHINGLE OR SIM.
COLOR: DARK GREY

DECK RAILS: GLASS



EXTERIOR DOWNLIGHTS:
NORA LED DAMP RATED
3000 K



EXTERIOR SCNCES
JUSTICE DESIGN GROUP DOWNLT.
CYLINDER ADA, DK. SKY LED
COLOR: MATTE BLACK



EXTERIOR WALL MT.
STEP LIGHTS:
TECH LIGHTING IKON
DK. SKY, LED, COLOR: BLACK



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WAYNE ROBINSON
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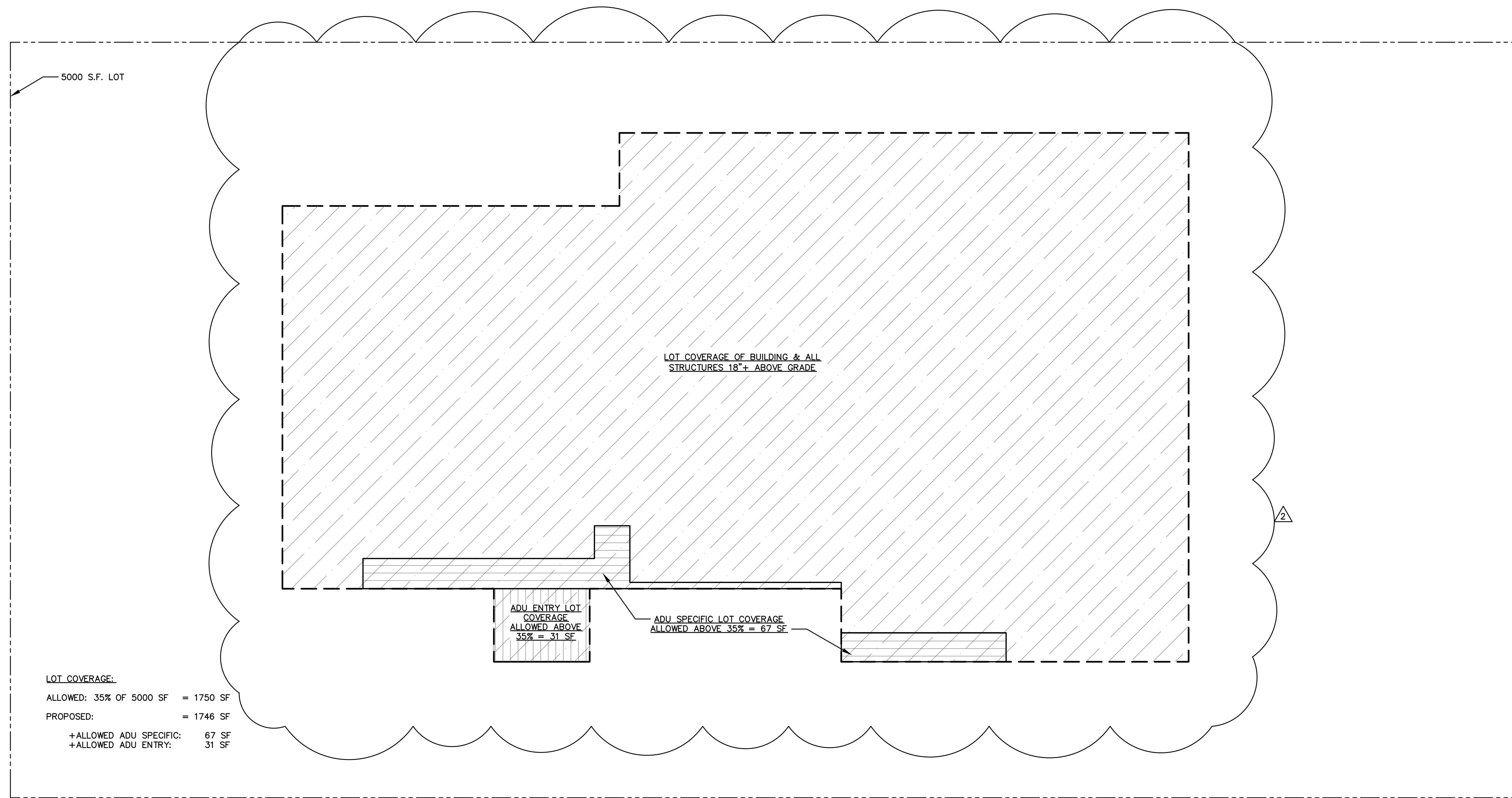
NO.	DESCRIPTION	DATE
2	CDRC REVISIONS	4.09.23

CDRC REVISIONS

SCALE: 1/4" = 1'-0"

DATE: 11.15.2022

A0.4
LOT COVERAGE
DIAGRAM



1 LOT COVERAGE DIAGRAM
1/4"=1'-0"



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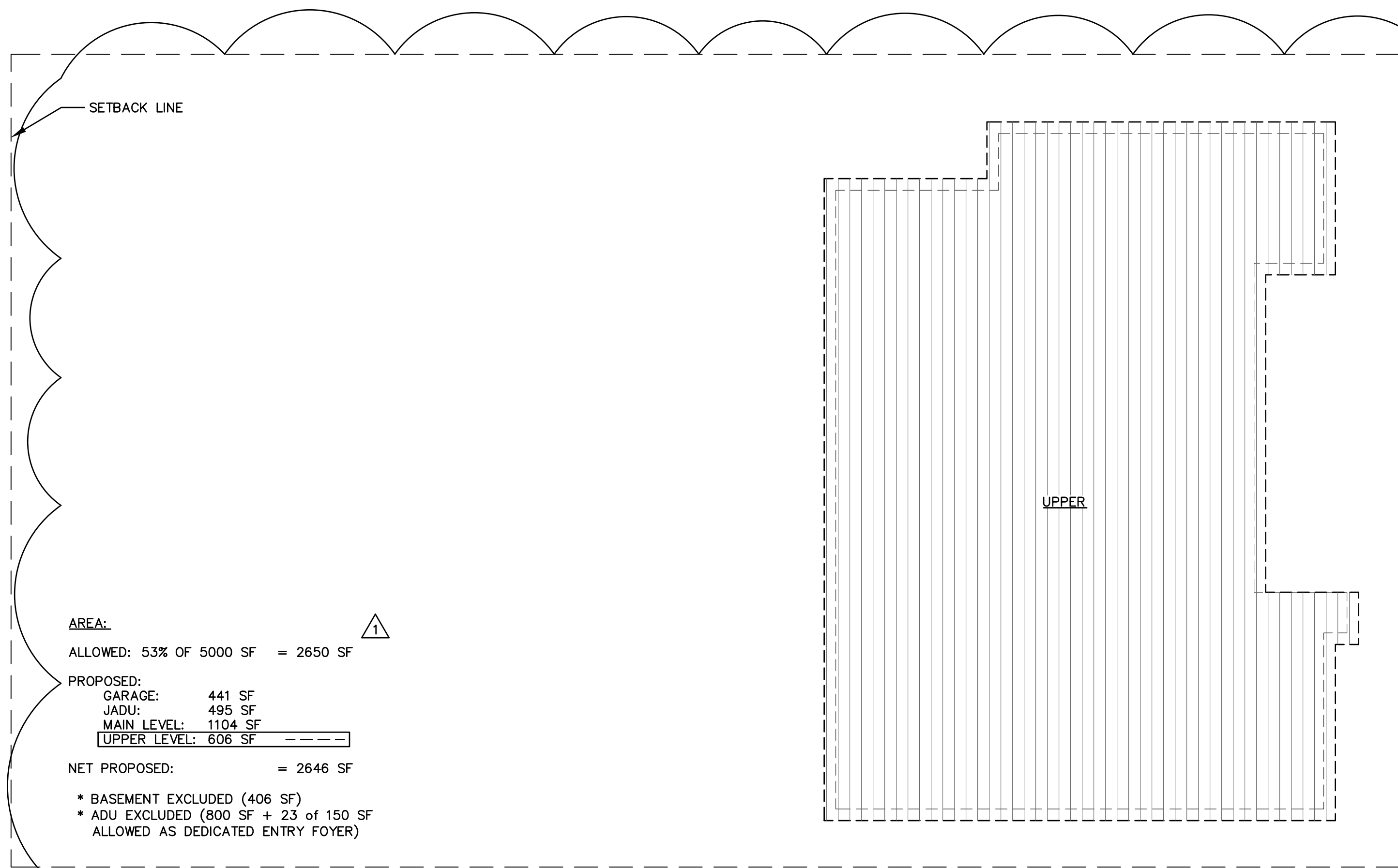
ISSUE:

NO.	DESCRIPTION	DATE
1	PLAN REVIEW RESP.	1.09.23
2	CDRC REVISIONS	4.09.23

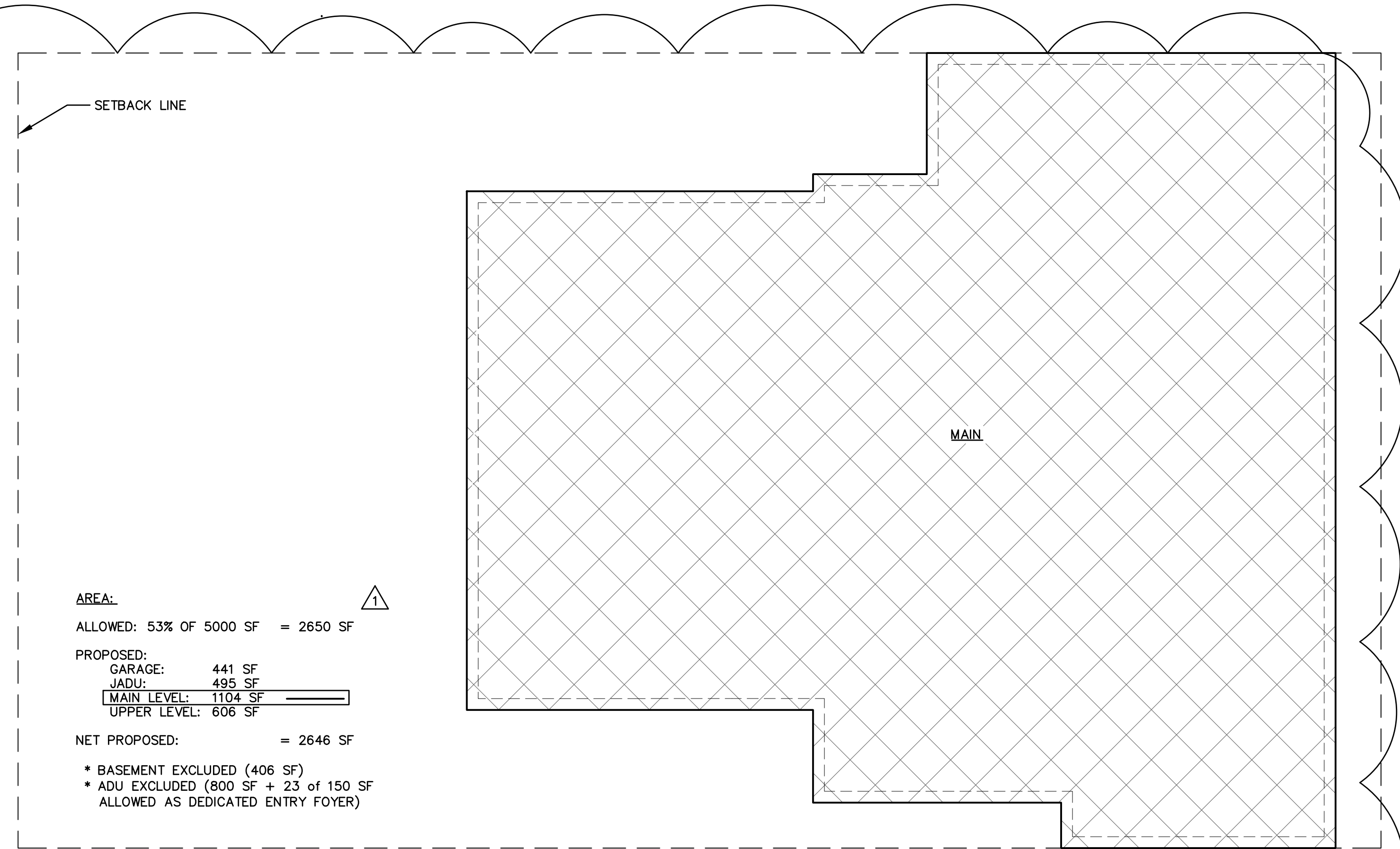
CDRC REVISIONS

SCALE: 1/4" = 1'-0"

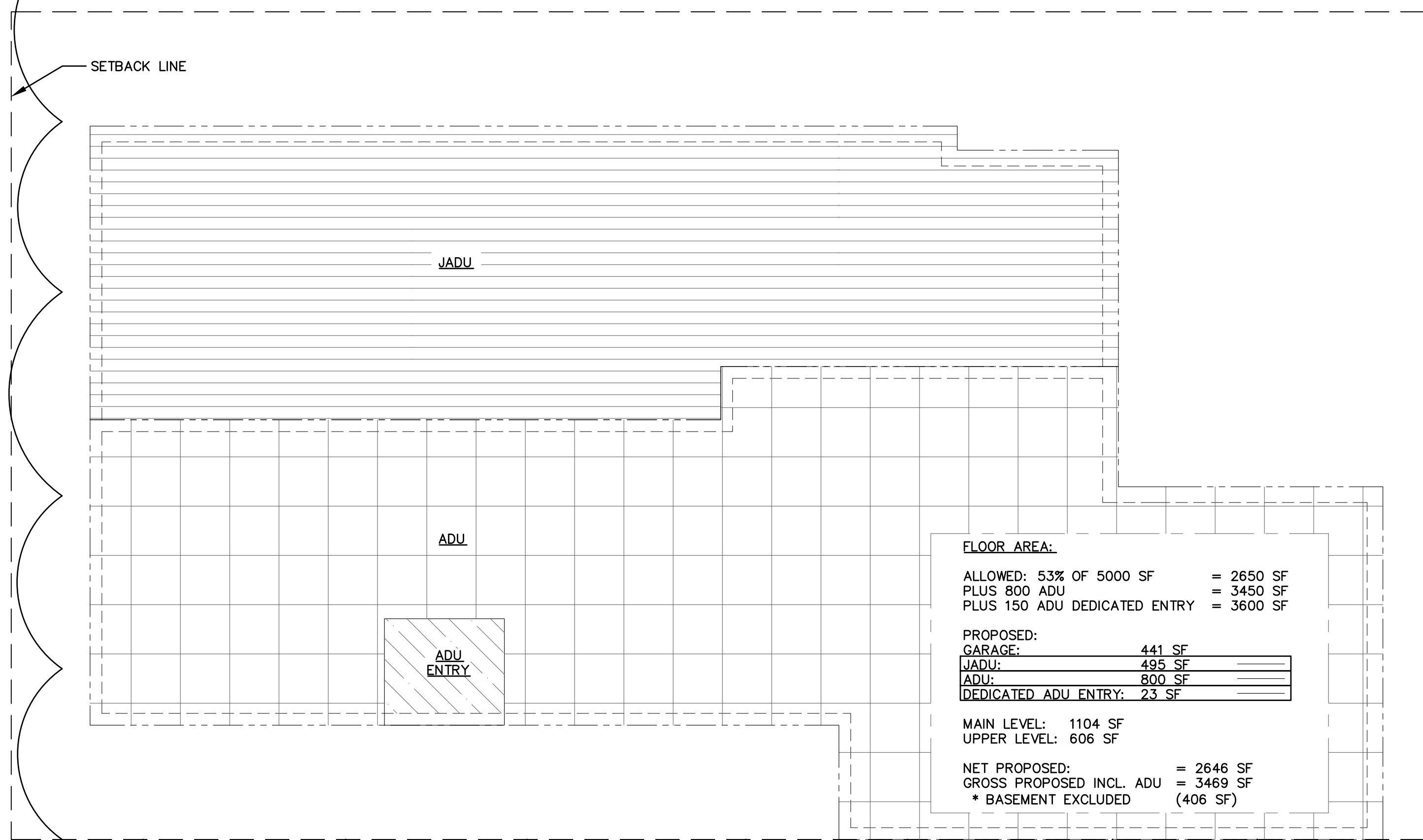
DATE: 11.15.2022



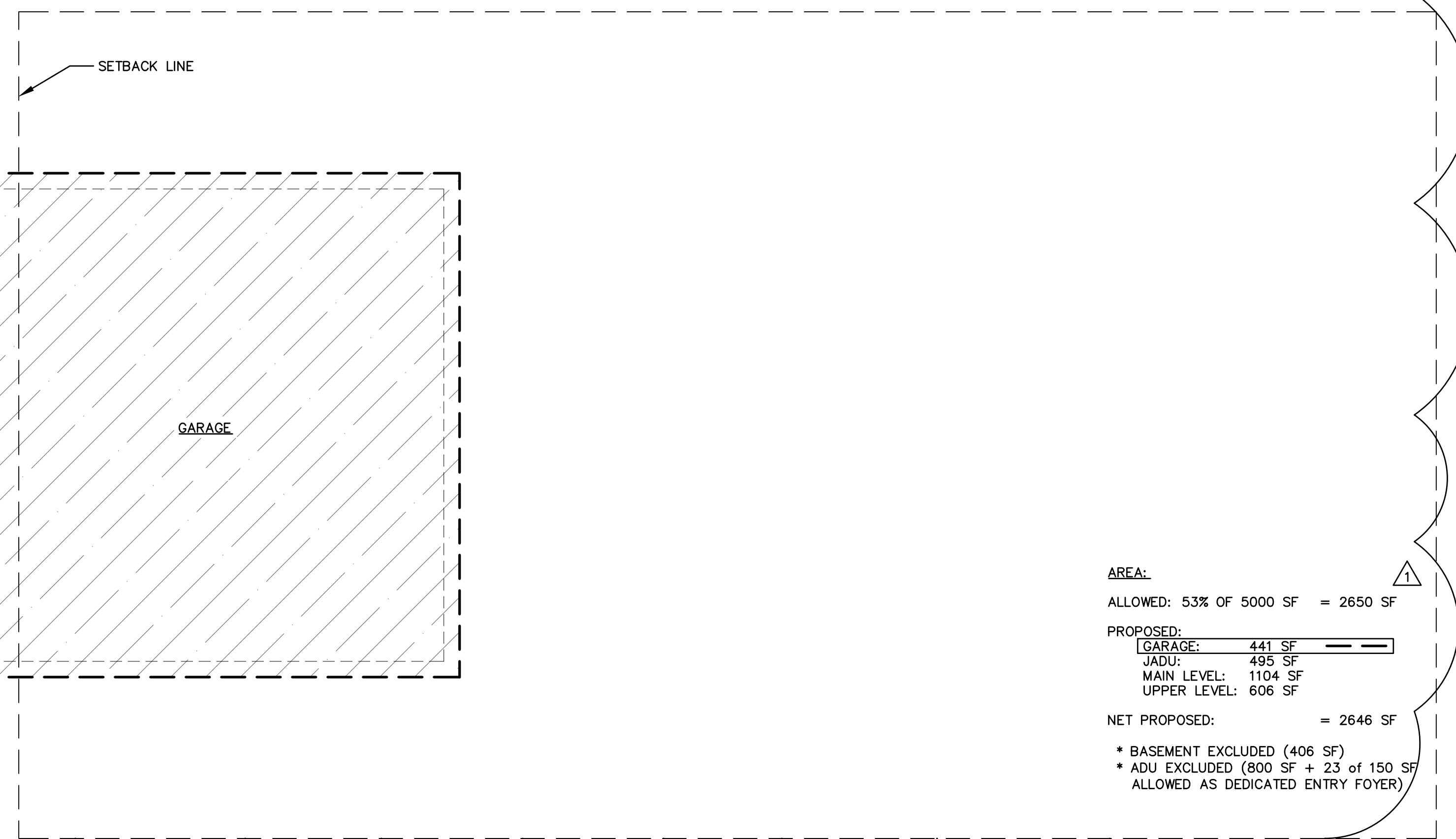
4 AREA DIAGRAM UPPER LEVEL
1/4"=1'-0"



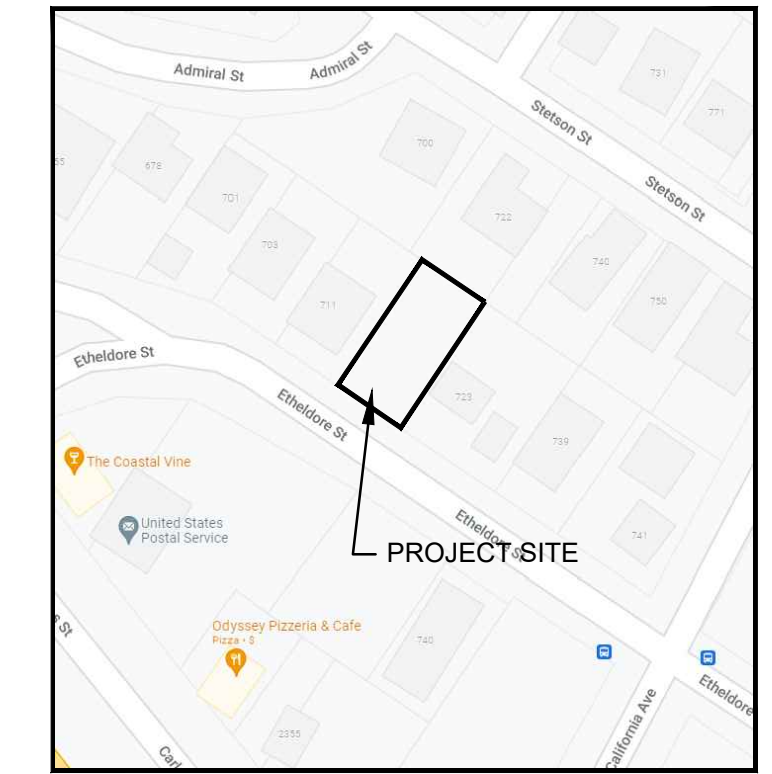
3 AREA DIAGRAM MAIN LEVEL
1/4"=1'-0"



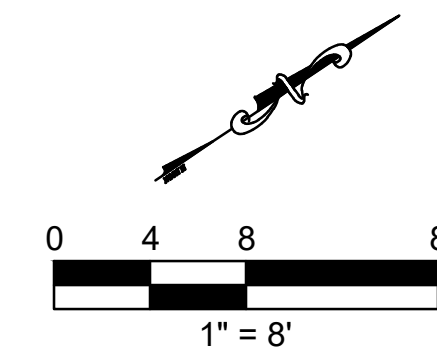
2 AREA DIAGRAM JADU LEVEL
1/4"=1'-0"



1 AREA DIAGRAM GARAGE LEVEL
1/4"=1'-0"



VICINITY MAP
NO SCALE



LEGEND

- APPROXIMATE BOUNDARY OF PROPERTY LINE
- APPROXIMATE BOUNDARY OF ADJOINING PROPERTIES
- LOT LINE PER ORIGINAL SUBDIVISION
- WOODEN FENCE LINE
- CHAIN LINK FENCE LINE
- CONTOUR LINE W/ ELEVATION
- BUILDING FOOTPRINT
- EP
- FG
- IR
- DI
- WV
- CL
- FS
- FF
- CONC
- HYD
- RL
- GF
- FD
(XXX)
- TREE
- SET MONUMENT STAMPED "L.S. 9392"
RECORD OF SURVEY BEING FILED
WITH THE COUNTY OF SAN MATEO

BASIS OF ELEVATIONS

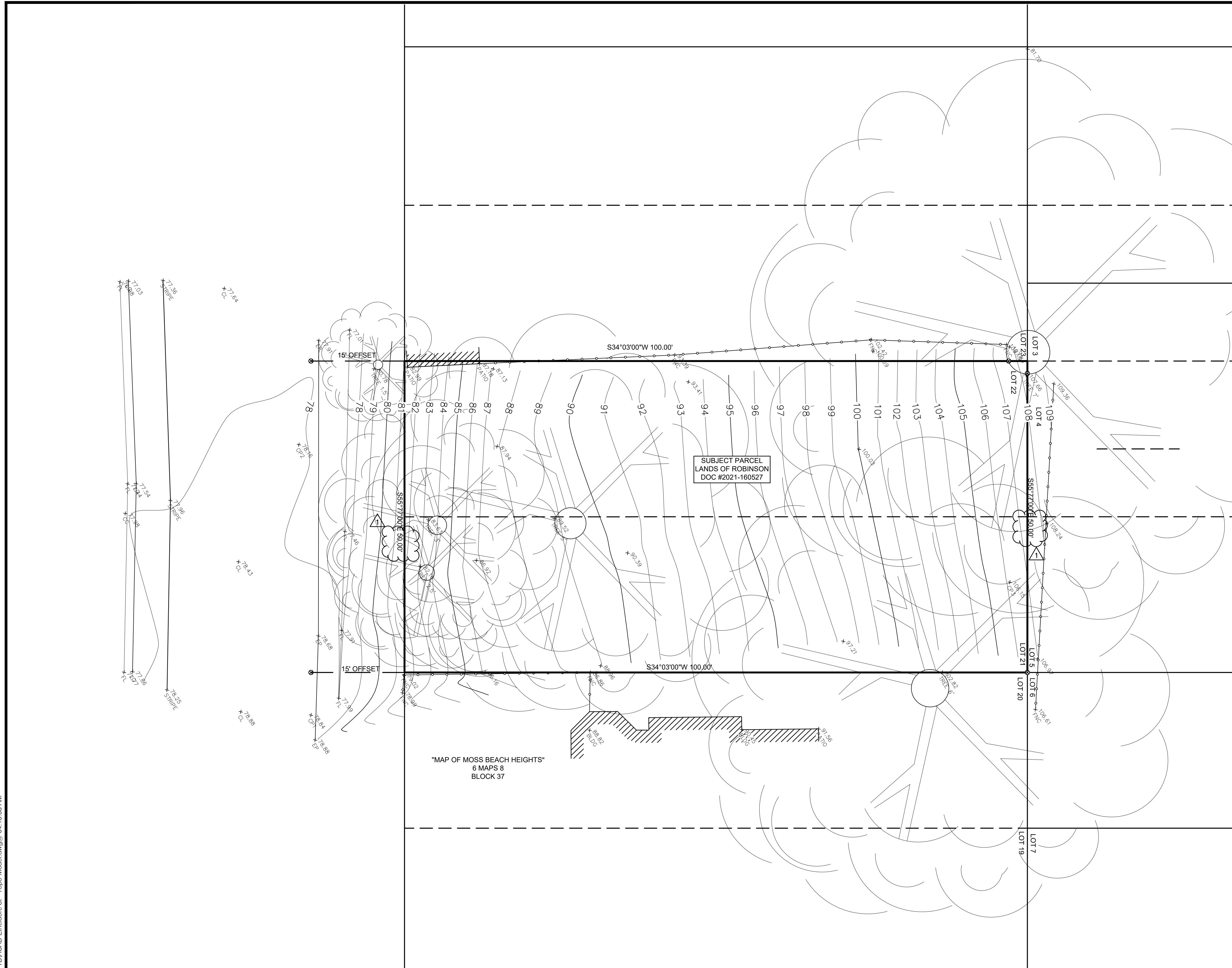
THE COORDINATES AND ELEVATION ARE BASED FROM THE CONTROL POINT CP1, BEING A COUNTY MONUMENT LOCATED AT THE INTERSECTION OF CALIFORNIA AVENUE AND ETHELDORE STREET. SAID COORDINATES BEING IN NAD83(2011)(EPOCH:2010.0000 PER OPUS SOLUTION DATED NOVEMBER 20, 2021) CALIFORNIA ZONE 3 STATE PLANE COORDINATE SYSTEM, HAVING A NORTHING OF 2,021,296.276 AND AN EASTING OF 5,977,833.730, AND SAID ELEVATION BEING NAVD88 (COMPUTED USING GEOID18) AND HAVING AN ELEVATION OF 81.70'.

ELEVATIONS AND CONTOURS SHOWN HEREIN ARE BASED ON A SURVEY DONE ON NOVEMBER 20, 2021.

Michael S. Mahoney

MICHAEL S. MAHONEY

PLS 5577



NO.	REVISIONS	DATE

JOB#: 2021.1015
DATE: 12/15/21
100% SUBMITTAL

(650) 244-9667
jgmahoney@pls-corp.com
901 Sneath Ln, Suite 117
San Bruno, CA 94066

Professional Land Services
LAND DEVELOPMENT SPECIALISTS

DESIGNED: AC
DRAWN: AC
APPROVED: JKO

PREPARED FOR:
KELLY GARRETT ROBINSON
2549 MORLEY WAY
SACRAMENTO, CA 95864

TITLE:
**TOPOGRAPHIC MAP OF
VACANT LAND APN #037-096-120
MOSS BEACH, CA 94038**

SHEET 1
OF
1

KELLY GARRETT
ROBINSON &
WAYNE ROBINSON
2549 MORLEY WAY
SACRAMENTO, CA 95864



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APN: 037-096-120
ETHELDORE STREET
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1	PLAN REVIEW RESP.	1.09.23
2	CDRC REVISIONS	4.09.23

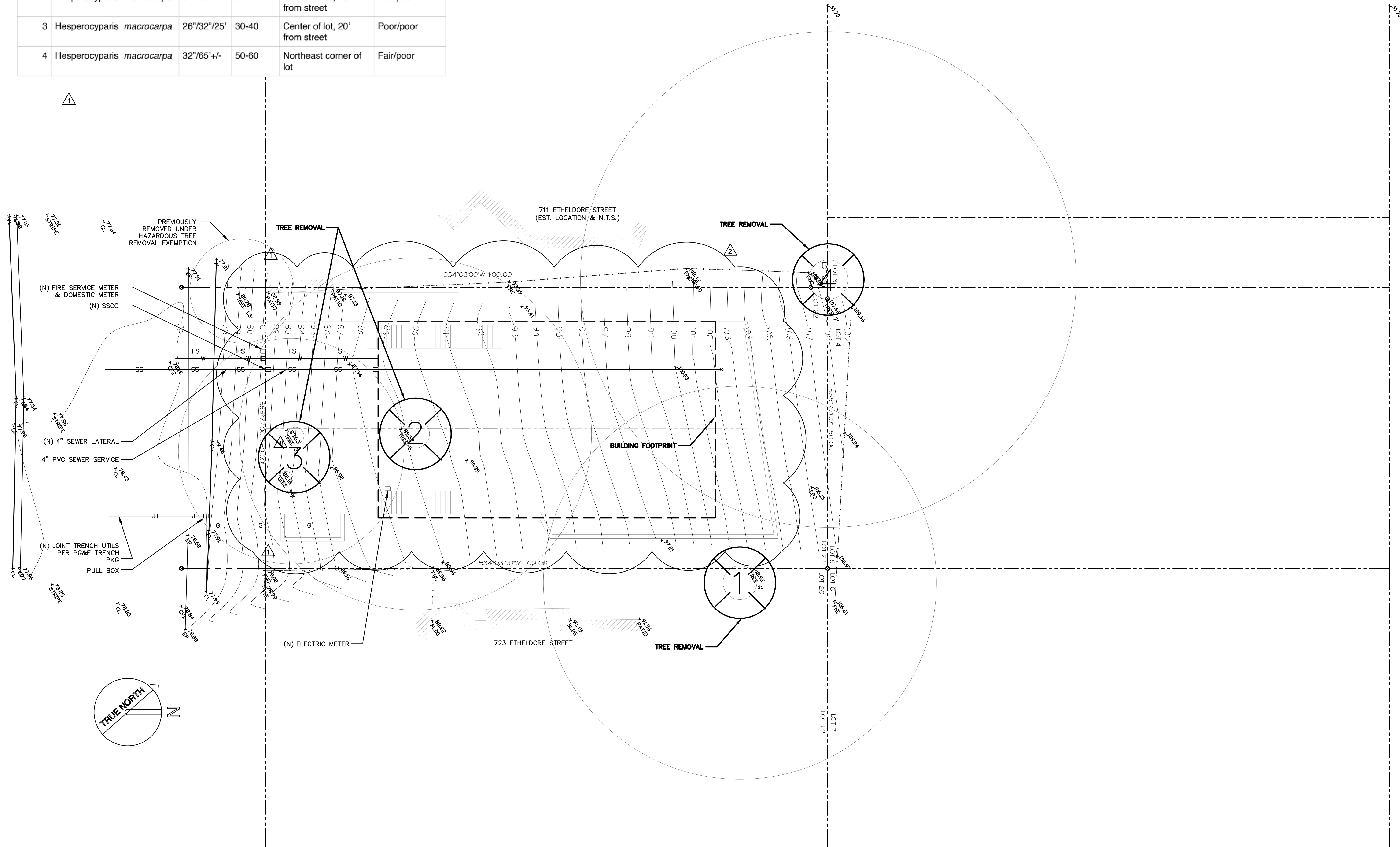
CDRC REVISIONS

SCALE: 1/8" = 1'-0"

DATE: 11.15.2022

A1.0
TREE PLAN

Tree#	Species	DBH/ Height	Age	Location	Health/ Structure
1	Hesperocyparis macrocarpa	70"/65'+/-	50-60	Southeast corner of lot	Fair/poor
2	Hesperocyparis macrocarpa	57"/30'	50-60	Center of lot, 35' from street	Fair/poor
3	Hesperocyparis macrocarpa	26"/32"/25'	30-40	Center of lot, 20' from street	Poor/poor
4	Hesperocyparis macrocarpa	32"/65'+/-	50-60	Northeast corner of lot	Fair/poor



**KELLY GARRETT
ROBINSON &
WAYNE ROBINSON**
2549 MORLEY WAY
SACRAMENTO, CA 95864



P.O. BOX 2115 EL GRANADA, CA 94018
REBECCA@KATKINARCHITECTURE.COM
415.706.0981



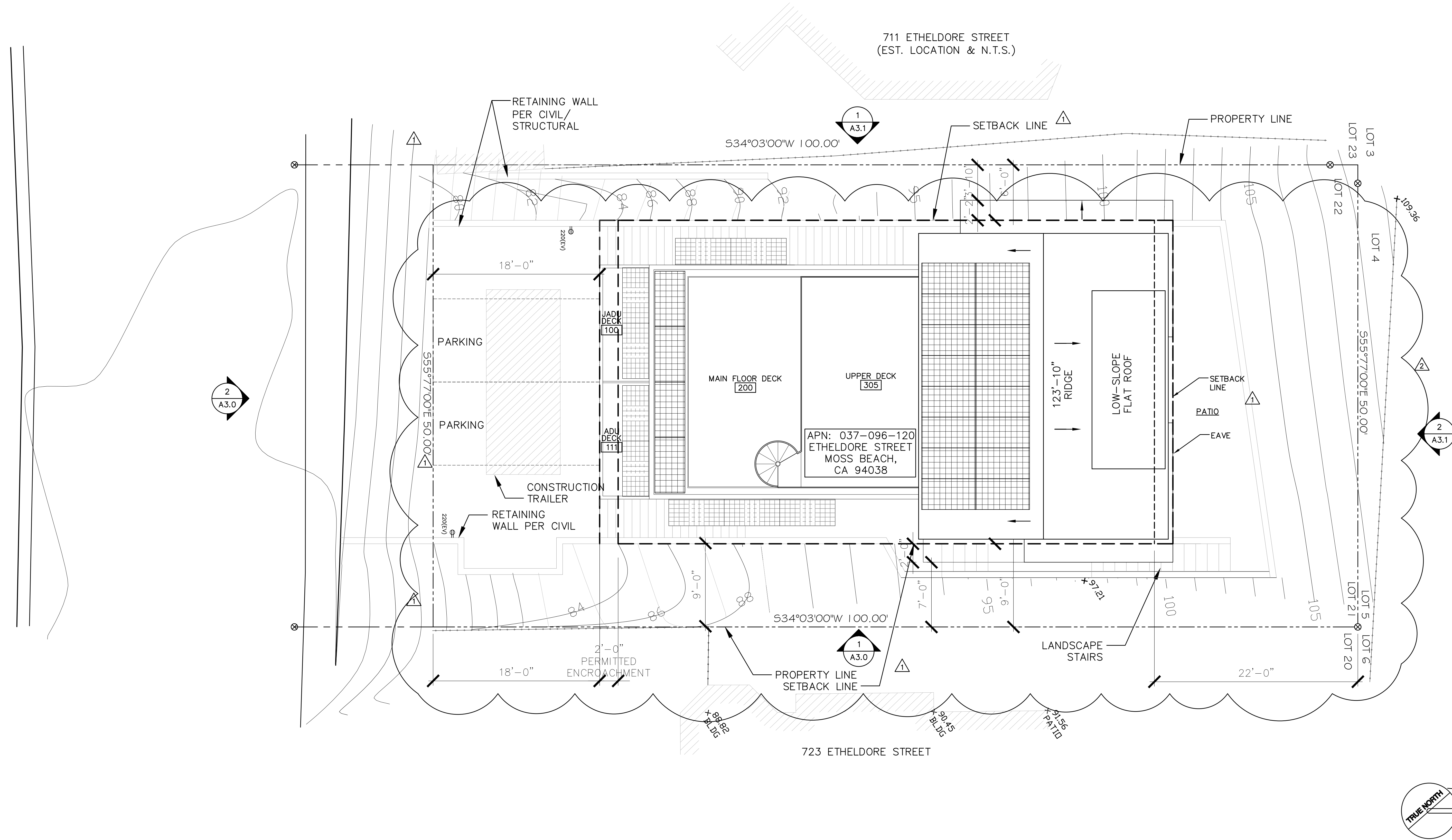
PROJECT:

ROBINSON RESIDENCE

APN: 037-096-120
ETHELDORE STREET
MOSS BEACH, CA 94038

ISSUE:

NO.	DESCRIPTION	DATE
1	PLAN REVIEW RESP.	1.09.23
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GENERAL NOTES:

- As per Coastside Fire District Ordinance 2019-03, the roof covering of every new building or structure, and materials applied as part of a roof covering assembly, shall have a minimum fire rating of Class "B" as defined in the current edition of the California Building Code.
- SOLAR ARRAY FINAL LOCATIONS AND PANELS VS. SHINGLE TYPE, T.B.D. WITH P.V. VENDOR.



CDRC REVISIONS

SCALE: 3/16 = 1'-0"

DATE: 11.15.2022

A1.1

PROPOSED
SITE / ROOF PLAN



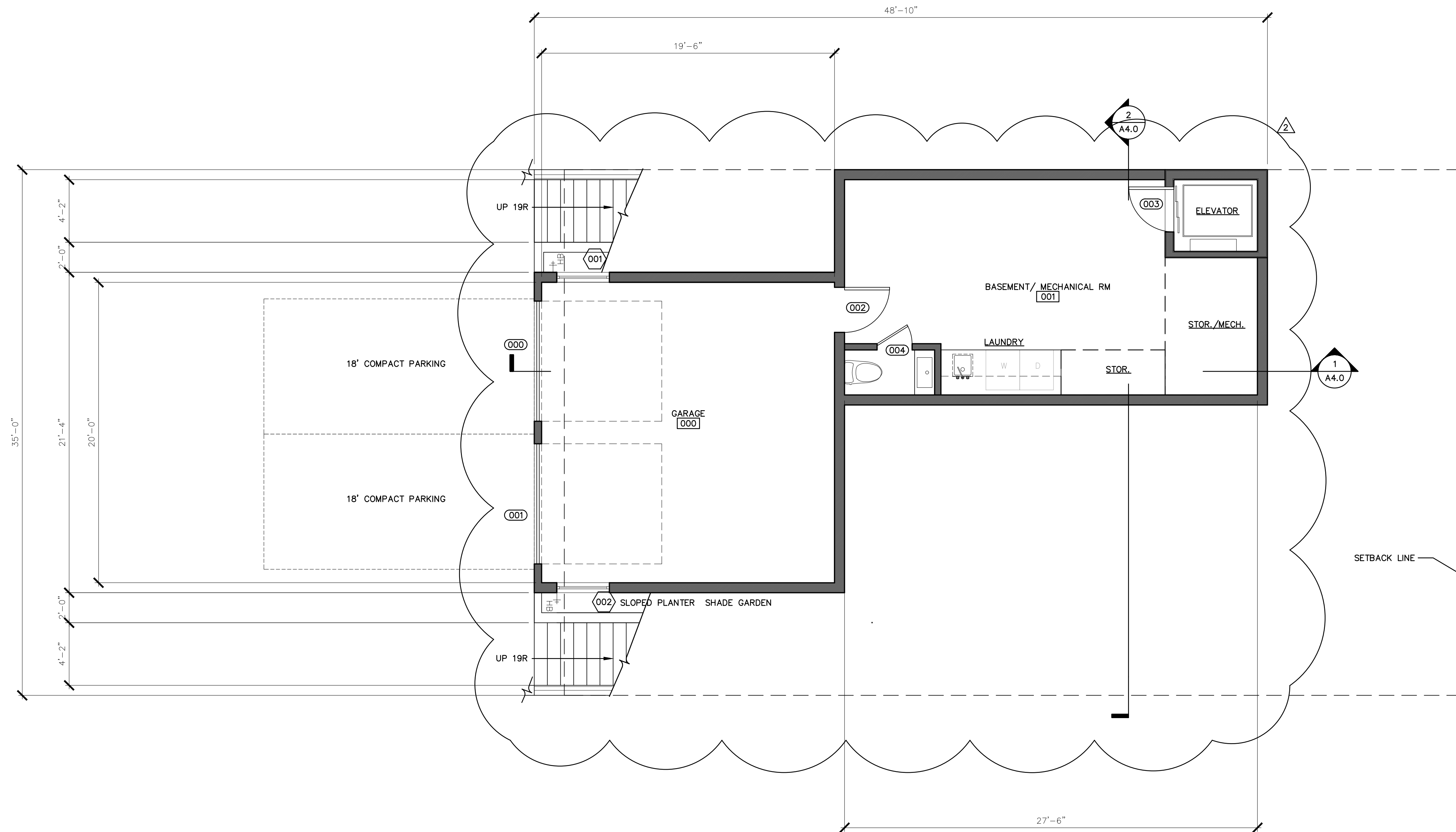
PROJECT:

ROBINSON RESIDENCE

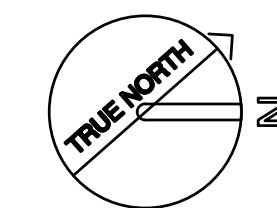
APN: 037-096-120
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MOSS BEACH, CA 94038

ISSUE:

NO.	DESCRIPTION	DATE
2	CDRC REVISIONS	4.09.23



1 GARAGE & BASEMENT (LEVEL 0) PLAN
1/4" = 1'-0"



CDRC REVISIONS

SCALE: 1/4" = 1'-0"

DATE: 11.15.2022

A2.0
GARAGE (LEVEL 0)
PLAN



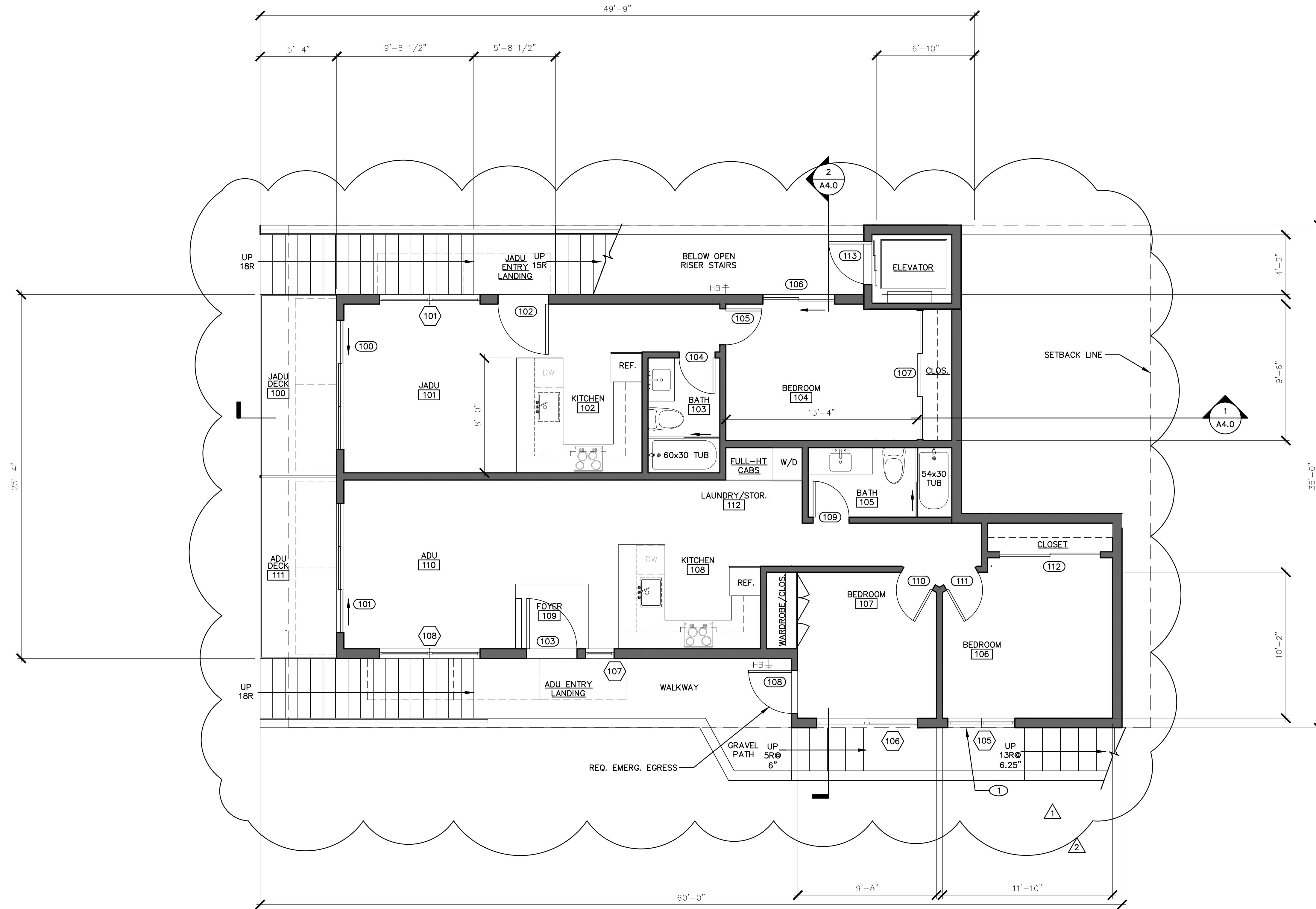
PROJECT:

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2 JADU/ADU (LEVEL 1) PLAN
1/4"=1'-0"

SHEET NOTES:

1 Escape or rescue windows shall have a minimum net clear openable area of 5.7 square feet, 5.0 sq. ft. allowed at grade. The minimum net clear openable height dimension shall be 24 inches. The net clear openable width dimension shall be 20 inches. Finished sill height shall be not more than 44 inches above the finished floor. (CFC 2019 section 1030.2).



CDRC REVISIONS

SCALE: 1/4" = 1'-0"

DATE: 11.15.2022

A2.1
JADU/ADU (LEVEL 1)
PLAN



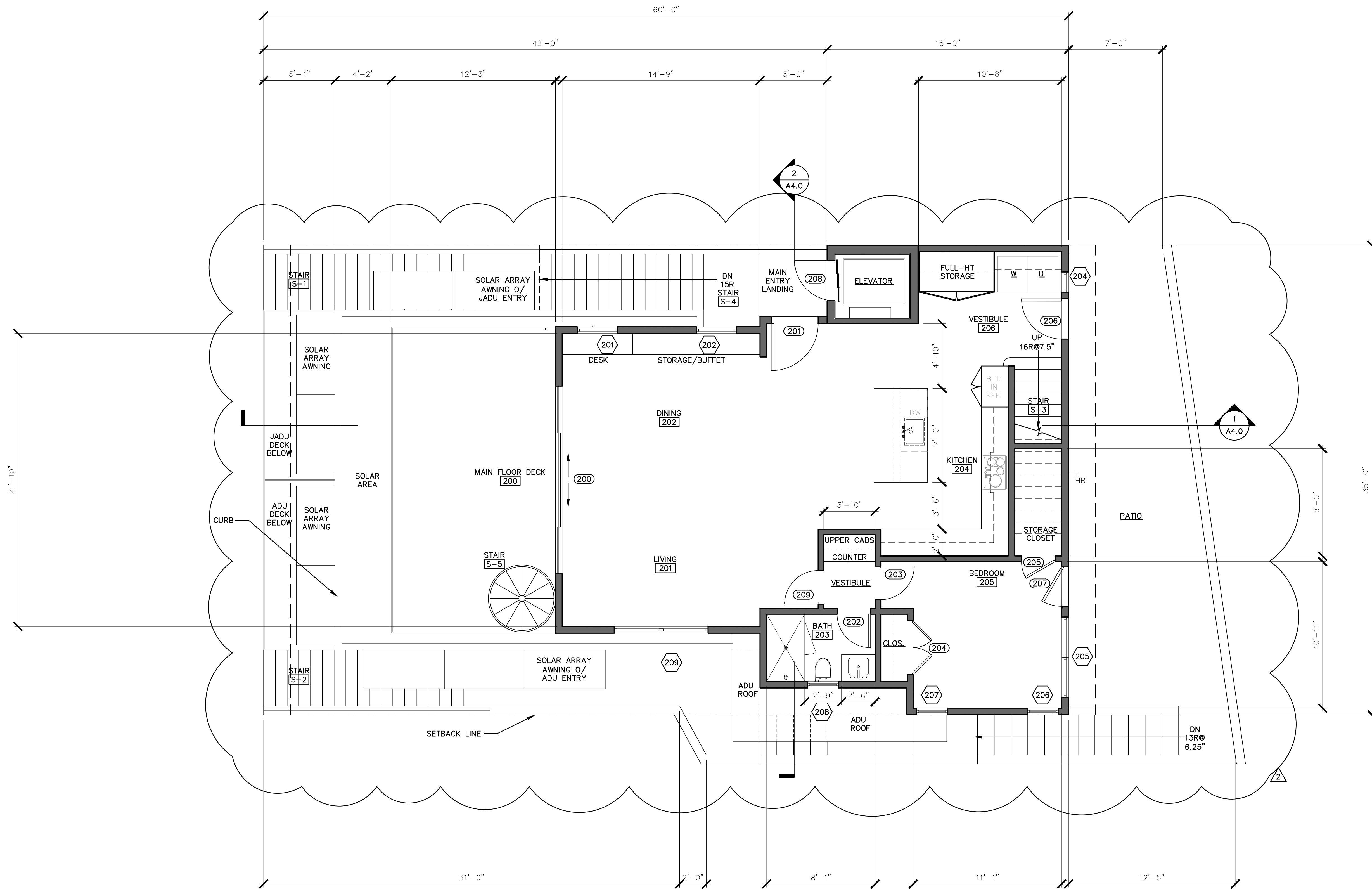
PROJECT:

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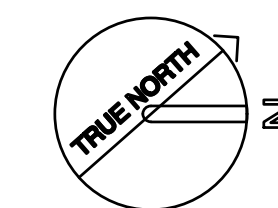
APN: 037-096-120
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ISSUE:

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1 MAIN (LEVEL 2) PLAN



CDRC REVISIONS

SCALE: 1/4" = 1'-0"

DATE: 11.15.2022

A2.2
MAIN FL. (LEVEL 2)
PLAN

CLIENTS:

KELLY GARRETT
ROBINSON &
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2549 MORLEY WAY
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P.O. BOX 2115 EL GRANADA, CA 94018
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PROJECT:

ROBINSON RESIDENCE

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MOSS BEACH, CA 94038

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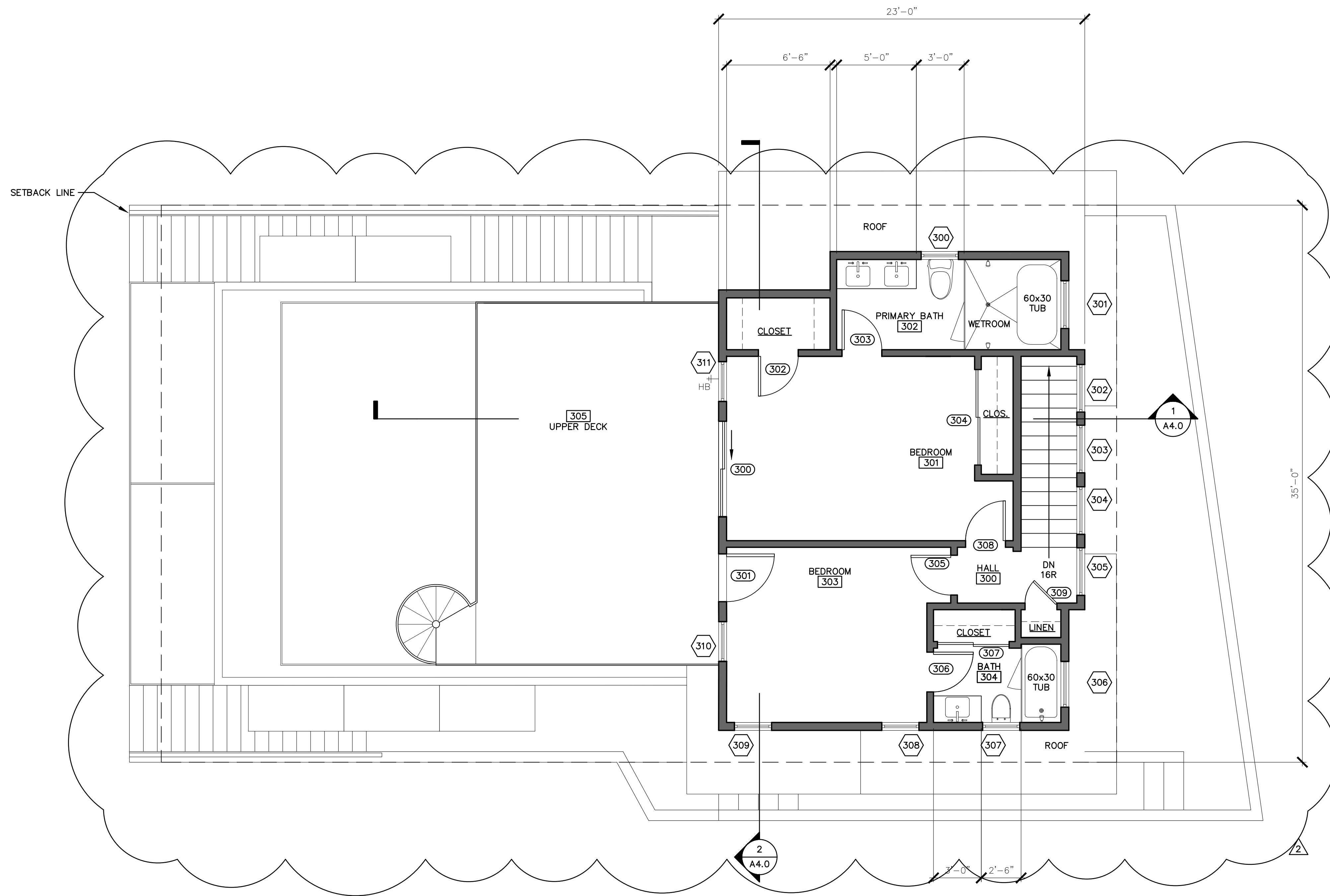
CDRC REVISIONS

SCALE: 1/4" = 1'-0"

DATE: 11.15.2022

A2.3

UPPER FL. (LEVEL 3)
PLAN



2 UPPER (LEVEL 3) PLAN
1/4"=1'-0"

LIGHTING LEGEND:

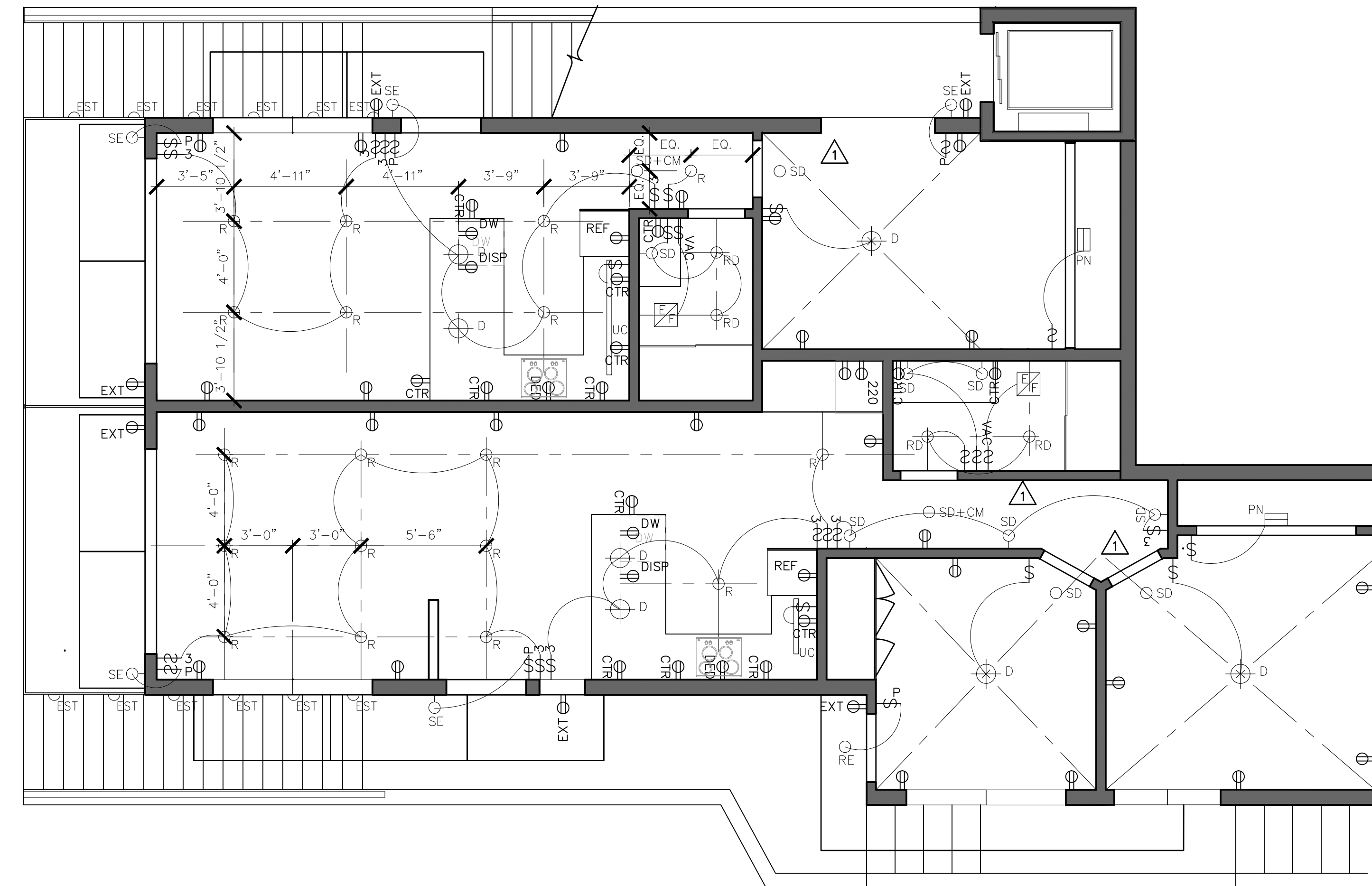
- R LED CAN DOWNLIGHT
- RD LED CAN DOWNLIGHT – DAMP RATED
- RW LED CAN DOWNLIGHT – WET LOCATION
- RWW LED CAN WALL WASH
- RE LED CAN DOWNLIGHT – EXTERIOR
- ⊕ D DECORATIVE CEILING FIXTURE
- ⊕ F CEILING FAN
- ⊕ S WALL SCONCE
- ⊕ SD BATH SCONCE–DAMP RATED
- ⊕ SW BATH SCONCE WET RATED
- ⊕ SE EXTERIOR SCONCE – DARK SKY
- ▮ LIN LINEAR SUSPENSION
- ▮ UC LED TAPE LIGHT
- ▮ PN LED PANEL
- ⊕ EST EXTERIOR STEP LIGHT
- ⊕ EXHAUST FAN
- SD HARD WIRED SMOKE DETECTOR W/ BATTERY BACKUP
- CM HARD WIRED CARBON MONOXIDE DETECTOR W/ BATTERY BACKUP
- SD+CM HARD WIRED W/ BATTERY BACKUP SMOKE (W/ CARBON MONOXIDE DETECTOR IF REQ)

ELECTRICAL LEGEND:

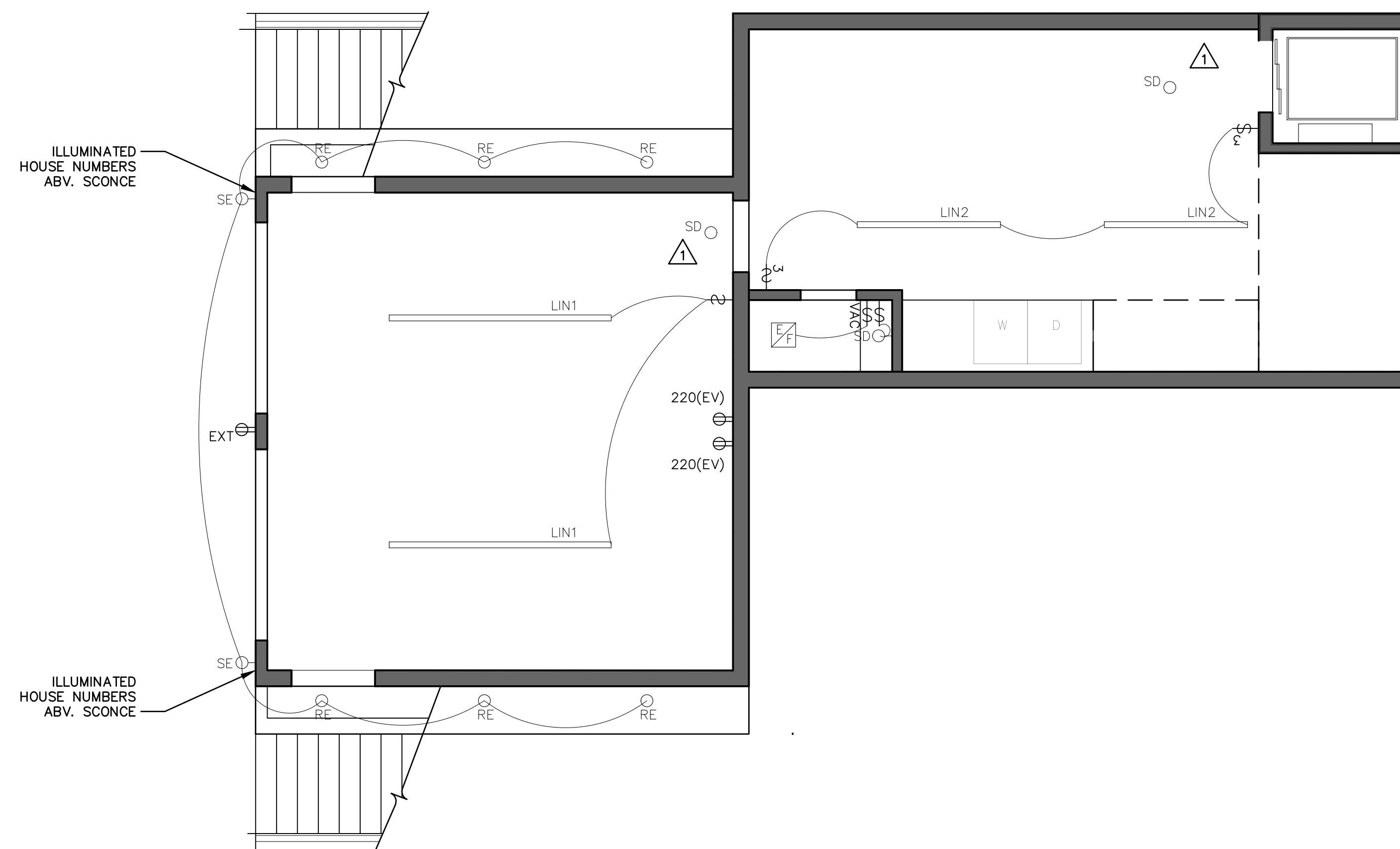
- ⊕ DUPLEX RECEPTACLE
- ⊕ GFCI GFCI RECEPTACLE
- ⊕ CTR COUNTER HT. GFCI RECEPTACLE
- ⊕ DED DEDICATED CIRCUIT
- ⊕ EXT EXTERIOR GFCI RECEPTACLE WP COVER
- ⊕ QUAD RECEPTACLE
- ⊕ 220 220V RECEPTACLE
- ⊕ SWITCH – WIFI ENABLED DIMMABLE CONTROL
- ⊕ JS JAMB SWITCH
- ⊕ 3 3=3WAY, 4=4-WAY – WIFI ENABLED DIMMABLE CONTROL
- ⊕ G2 SWITCH GANGED: 2,3,4, ETC.
- ⊕ VAC VACANCY SENSOR
- ⊕ P TO PHOTOCELL SENSOR FIXTURE
- ⊕ DATA DATA PORT – CAT 6
- ⊕ HVAC SUPPLY/RETURN/WHOLE HOUSE FAN
- ⊕ JUNCTION BOX

LIGHTING & ELECTRICAL NOTES:

1. ALL SWITCHES TO BE WIFI CAPABLE AND WITH DIMMING CONTROL. LUTRON PD-5ANS-WH-R OR SIM. COORD. W/ ARCH. & OWNERS
2. ALL LIGHTING TO BE HIGH EFFICACY
4. ALL LIGHTING CONTROLS TO BE DIMMABLE
5. PROVIDE NEW 400 AMP ELECTRICAL SERVICE
6. SPEAKERS, A/V SYSTEMS, AND SMART HOME FUNCTIONS T.B.D.
7. EFFECTIVE 7/1/19, FOR ANY (N) RESIDENTIAL GARAGE DOOR INSTALLED/REPLACED AND WHEN A GARAGE DOOR OPENER EQUIPMENT IS REPLACED, OPENER MUST HAVE BATTERY BACKUP, PER CA SB-969 & R309.4.
8. Smoke Alarms which are hard wired: As per the California Building Code, and State Fire Marshal regulations, the applicant is required to install State Fire Marshal approved and listed smoke detectors which are hard wired, interconnected, and have battery backup. These detectors are required to be placed in each new and reconditioned sleeping room and at a point centrally located in the corridor or area giving access to each separate sleeping area. In existing sleeping rooms, areas may have battery powered smoke alarms. A minimum of one detector shall be placed on each floor. Smoke detectors shall be tested and approved prior to the building final. Date of installation must be added to the exterior of the smoke alarm and will be checked at final.



② JADU/ADU (LEVEL 1) ELECTRICAL / REFLECTED CEILING PLAN
1/4"=1'-0"



① GARAGE & BASEMENT (LEVEL 0) ELECTRICAL / REFLECTED CEILING PLAN
1/4"=1'-0"

CLIENTS:

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PROJECT:

ROBINSON RESIDENCE

APN: 037-096-120
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CDRC REVISIONS

SCALE: 1/4 = 1'-0"

DATE: 11.15.2022

A2.4

GARAGE (LEVEL 0) &
JADU/ADU (LEVEL 1)
ELECTRICAL / REFLECTED
CEILING PLANS

LIGHTING LEGEND:

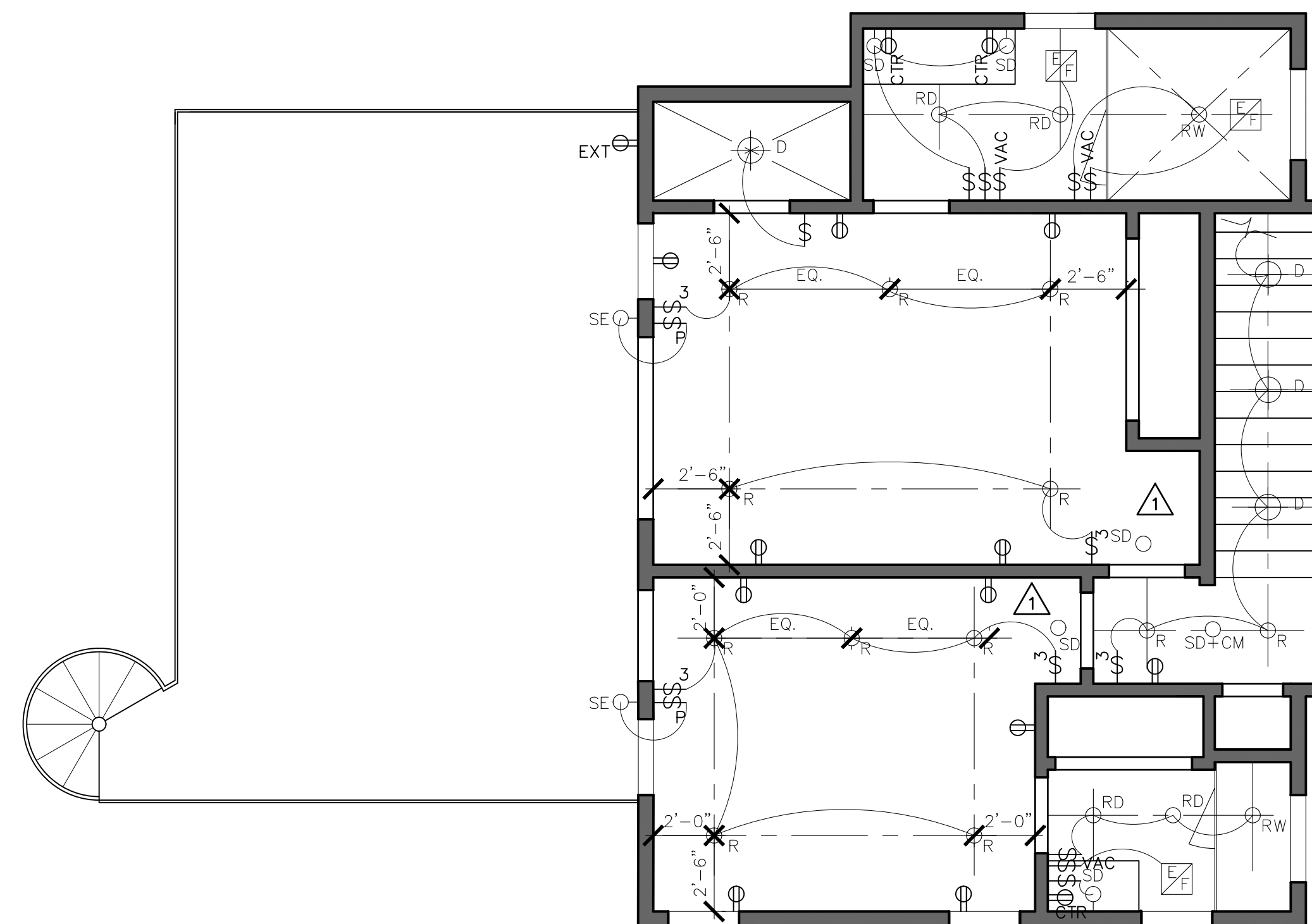
- R LED CAN DOWNLIGHT
- RD LED CAN DOWNLIGHT – DAMP RATED
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- CM HARD WIRED CARBON MONOXIDE DETECTOR W/ BATTERY BACKUP
- SD+CM HARD WIRED W/ BATTERY BACKUP SMOKE (W/ CARBON MONOXIDE DETECTOR IF REQ

ELECTRICAL LEGEND:

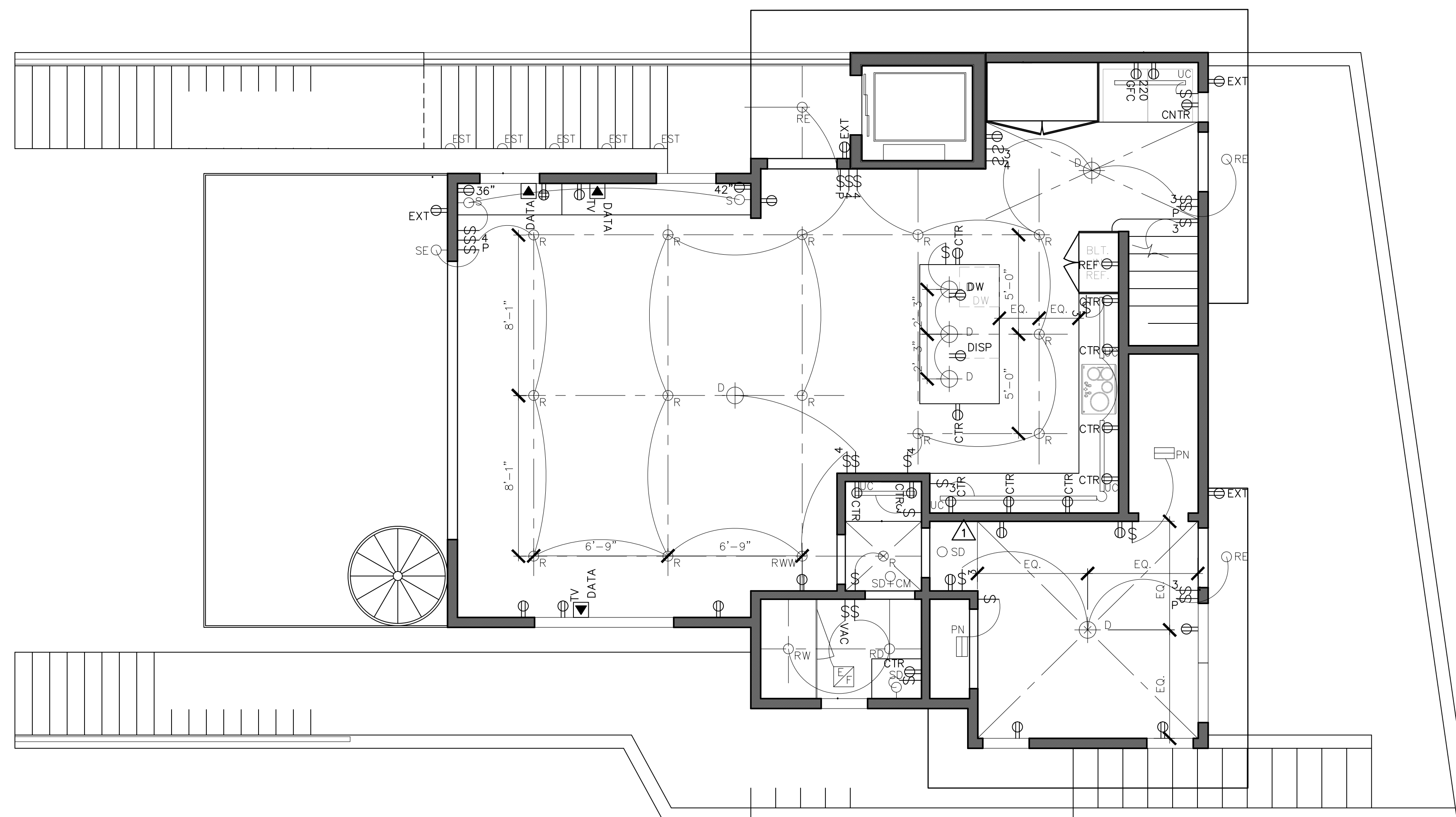
- ⊖ DUPLEX RECEPTACLE
- ⊖ GFCI GFCI RECEPTACLE
- ⊖ CTR COUNTER HT. GFCI RECEPTACLE
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2 UPPER (LEVEL 3) ELECTRICAL / REFLECTED CEILING PLAN
1/4"=1'-0"



1 MAIN (LEVEL 2) ELECTRICAL / REFLECTED CEILING PLAN
1/4"=1'-0"

CLIENTS:

KELLY GARRETT
ROBINSON &
WAYNE ROBINSON
2549 MORLEY WAY
SACRAMENTO, CA 95864



PROJECT:

ROBINSON RESIDENCE

APN: 037-096-120
ETHELDORE STREET
MOSS BEACH, CA 94038

ISSUE:

NO.	DESCRIPTION	DATE
1	PLAN REVIEW RESP.	1.09.23

CDRC REVISIONS

SCALE: 1/4" = 1'-0"

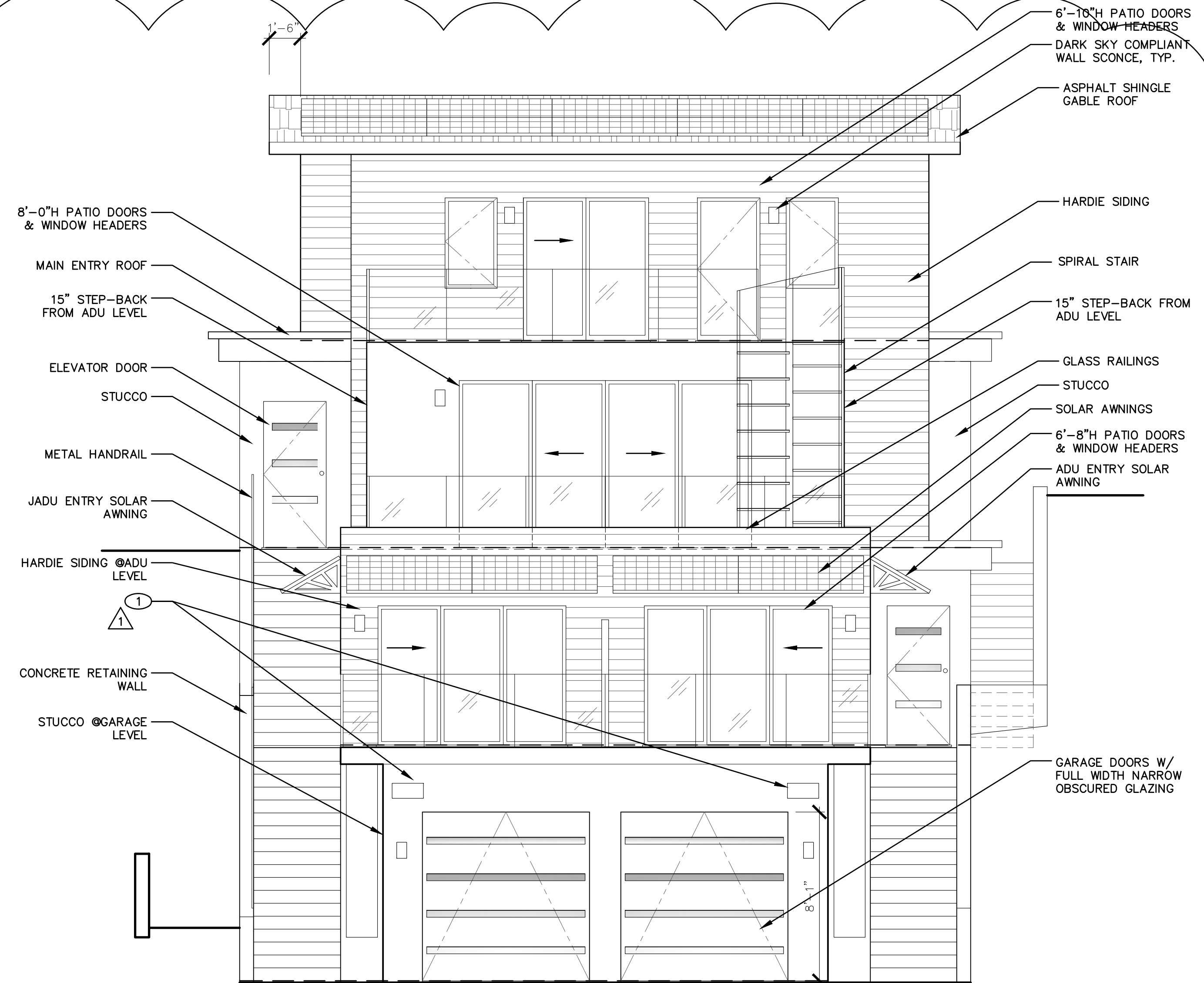
DATE: 11.15.2022

A2.5

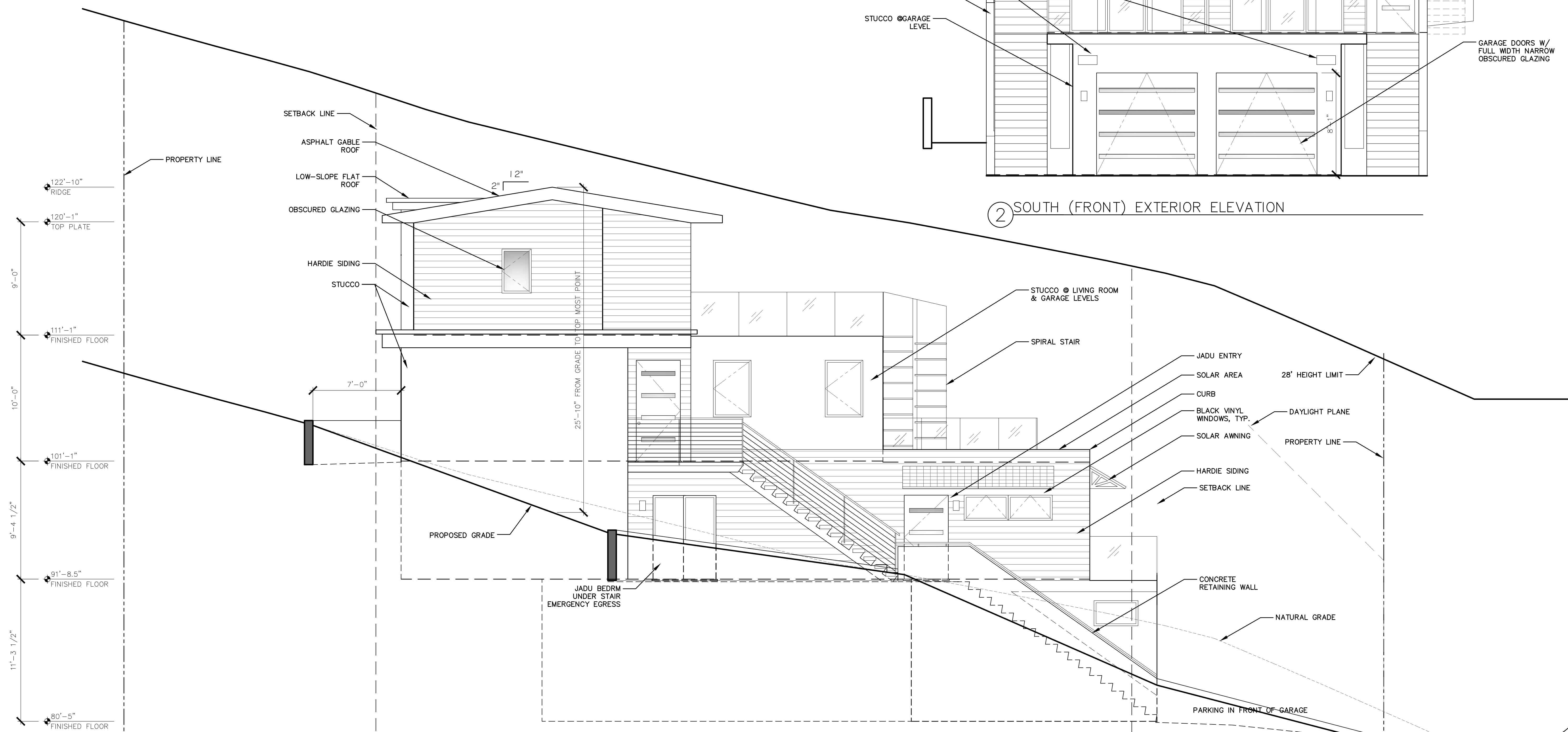
MAIN FL. (LEVEL 2) &
UPPER FL. (LEVEL 3)
ELECTRICAL / REFLECTED
CEILING PLANS

SHEET NOTES:

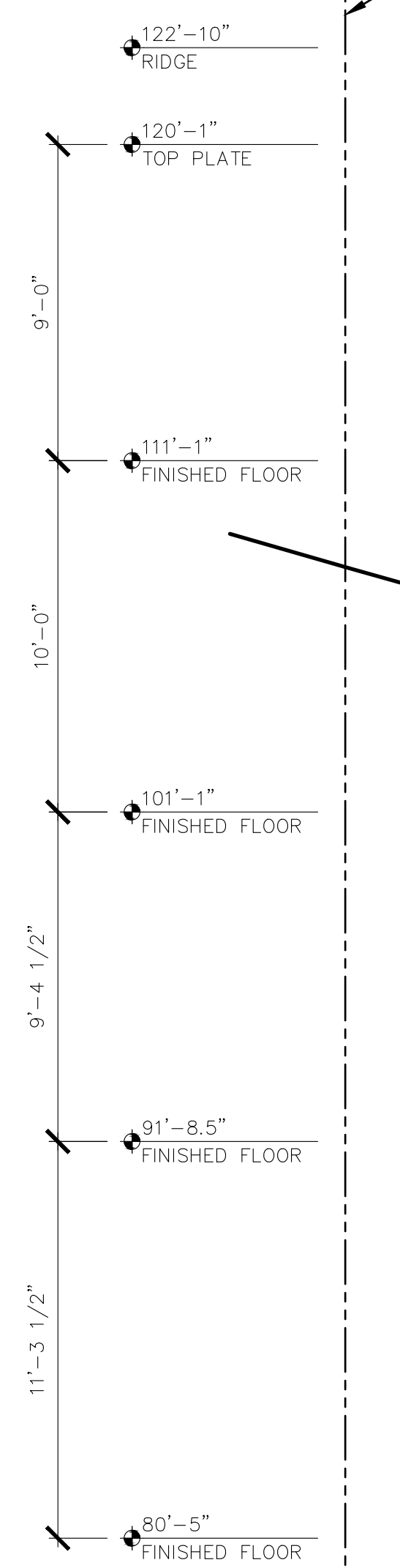
① New residential buildings shall have internally illuminated address numbers contrasting with the background so as to be seen from the public way fronting the building. The letters/numerals for permanent address signs shall be 4 inches in height with a minimum 1/2-inch stroke. Residential address numbers shall be at least six feet above the finished surface of the driveway.



② SOUTH (FRONT) EXTERIOR ELEVATION



① WEST (SIDE) EXTERIOR ELEVATION
1/4" = 1'-0"



CLIENTS:

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**KATKIN
ARCHITECTURE**
P.O. BOX 2115 EL GRANADA, CA 94018
REBECCA@KAKINARCHITECTURE.COM
415.706.0981

LICENSED ARCHITECT
REBECCA
SHAW KATKIN
NO. C-30747
1.31.25
RENEWAL DATE
11.31.25
STATE OF CALIFORNIA

PROJECT:

ROBINSON RESIDENCE
APN: 037-096-120
ETHELDORE STREET
MOSS BEACH, CA 94038

ISSUE:

NO.	DESCRIPTION	DATE
①	PLAN REVIEW RESP.	1.09.23
②	CDRC REVISIONS	4.09.23

CDRC REVISIONS

SCALE: 1/4" = 1'-0"

DATE: 11.15.2022

A3.0
WEST & SOUTH
EXTERIOR
ELEVATIONS

CLIENTS:

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ROBINSON &
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2549 MORLEY WAY
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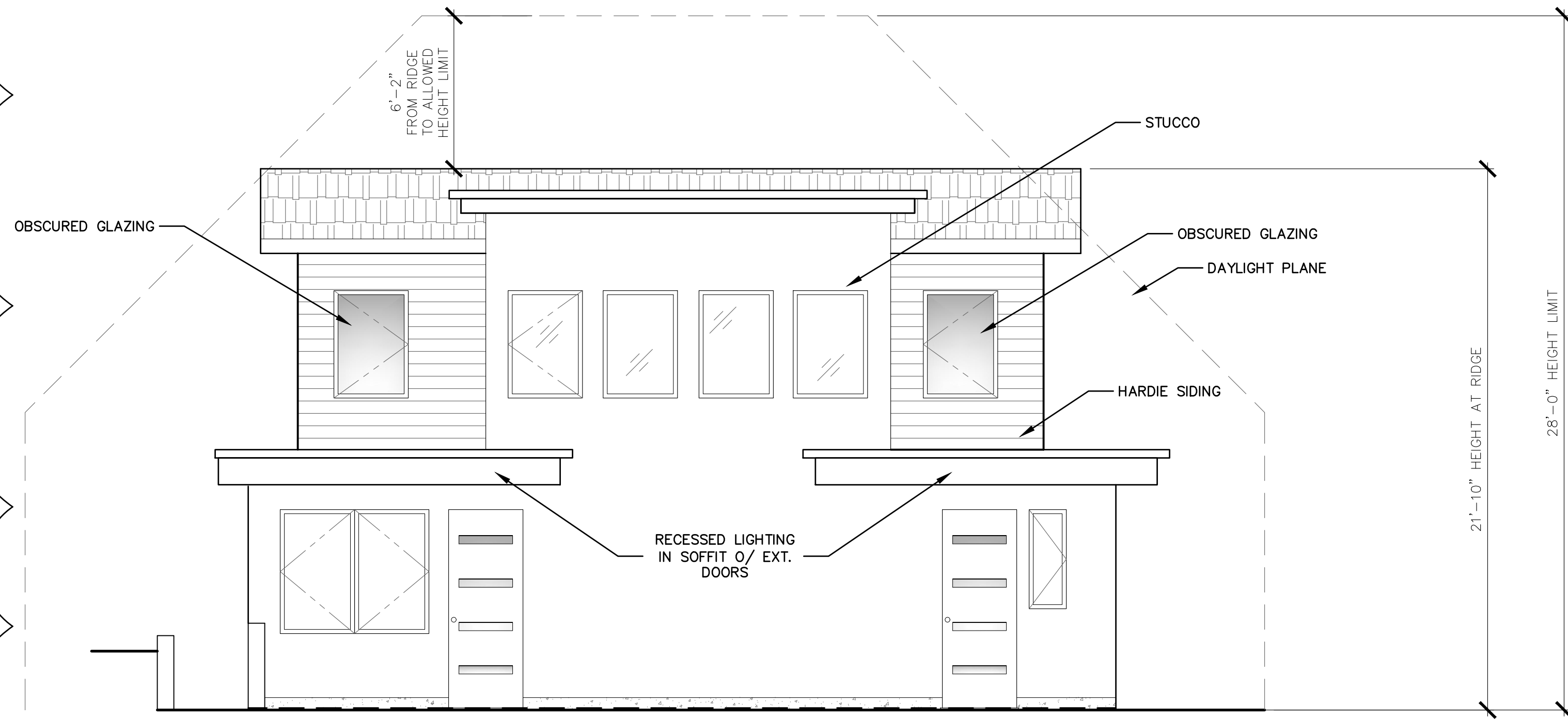
CDRC REVISIONS

SCALE: 1/4" = 1'-0"

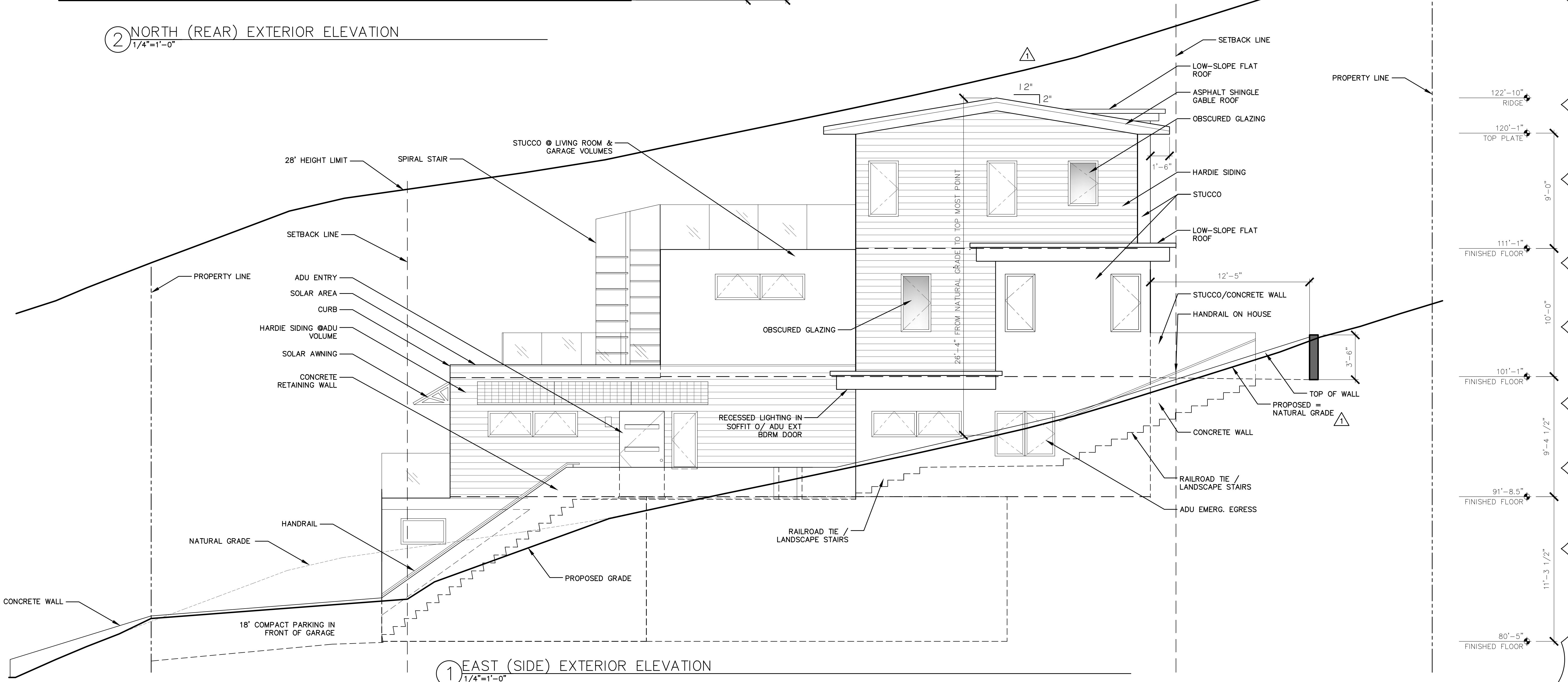
DATE: 11.15.2022

A3.1

EAST & NORTH
EXTERIOR
ELEVATIONS



2 NORTH (REAR) EXTERIOR ELEVATION
1/4"=1'-0"



1 EAST (SIDE) EXTERIOR ELEVATION
1/4"=1'-0"

CLIENTS:

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CDRC REVISIONS

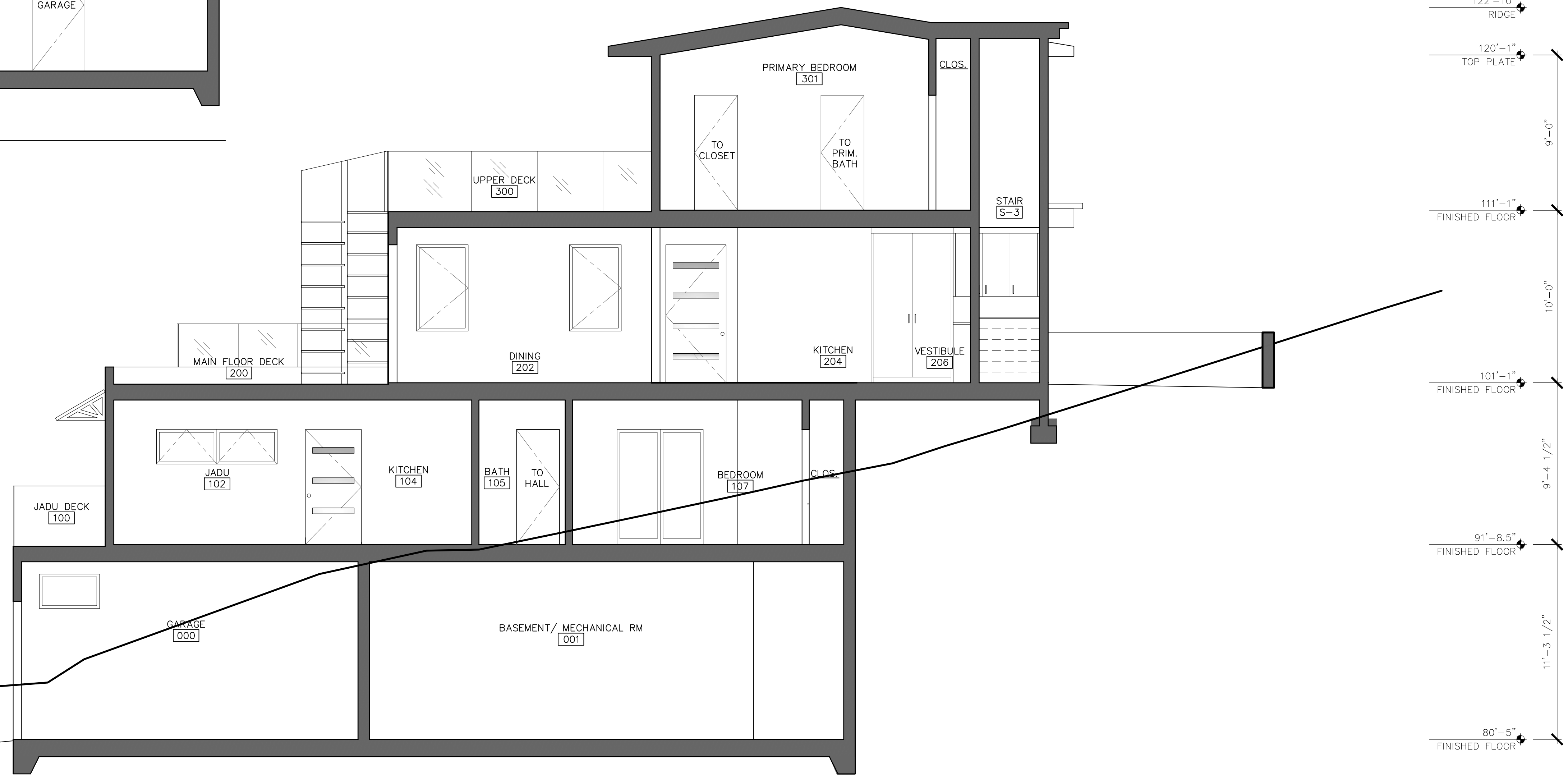
SCALE: 1/4" = 1'-0"

DATE: 11.15.2022

A4.0
BUILDING SECTIONS



2 EAST TO WEST BUILDING SECTION
1/4"=1'-0"



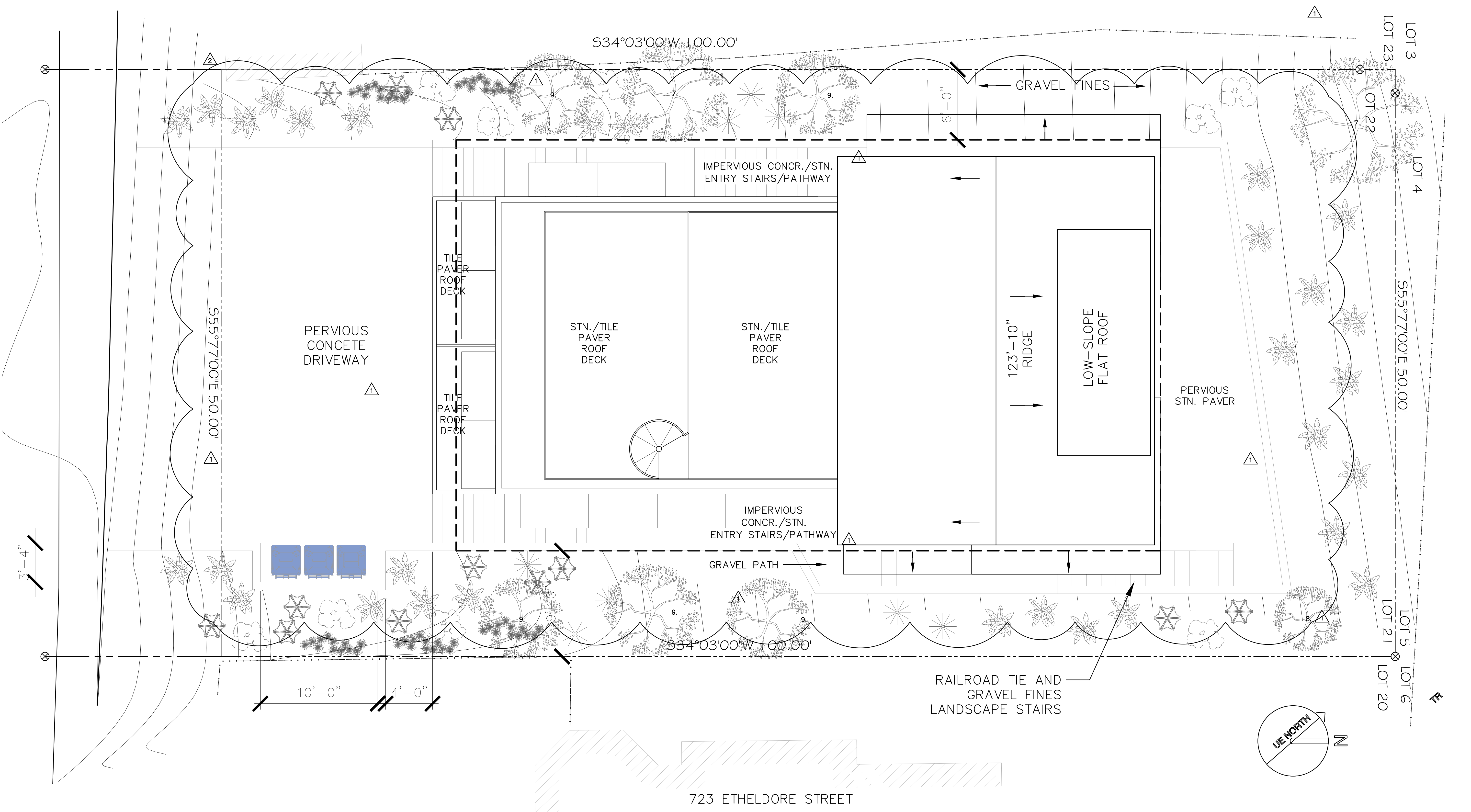
1 SOUTH TO NORTH BUILDING SECTION
1/4"=1'-0"

PLANT LEGEND	TYPE	SPECIES	SIZE	QUANT.	TYPE	SPECIES	SIZE	QUANT.	
1.	PERENNIAL GRASS	CHONDROPETALUM ELEPHANTINUM	4'-6" TALL"	8	6.	SUCCULENT	SEDUM MIX	2"-12" TALL	50 FLATS
2.	FLOWERING PERENNIAL	ANIGOZANTHOS GOLD VELVET "KANGAROO PAW"	3'-4' TALL"	5	7.	FLOWERING REPLACEMENT TREE	CEANOTHUS RAY HARTMAN	15'	2
3.	FLOWERING PERENNIAL	GREVILLIA PEACHES AND CREAM	4'-6' TALL"	9	8.	FRUIT TREE	CITRUS MEYER-PROVED MEYER LEMON	6'-10'	1
4.	FLOWERING PERENNIAL	ERIGERON GLAUCUS (SEASIDE DAISY)	2"-12" TALL	30 FLATS	9.	EVERGREEN REPLACEMENT TREE	DODONAEA VISCOSA PURPUREA	8'-10'	5
5.	FLOWERING PERENNIAL	ACACIA COGNATAACACIA (COUSIN ITT)	6" TALL	7					

LANDSCAPE NOTES:

- 1,1725 SF OF NEW LANDSCAPING FOR NEW DWELLING IN MONTARA WATER & SANITARY DISTRICT
- A MINIMUM THREE INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS, EXCEPT TURF AREAS, CREEPING OR ROOTING GROUND COVERS, OR DIRECT SEEDING APPLICATIONS, WHERE MULCH IS CONTRA INDICATED.
- MINIMUM 75% OF PLANTINGS SHALL HAVE A WUCOLS PLANT FACTOR OF 0.3
- AT THE TIME OF FINAL INSPECTION THE PERMIT APPLICANT MUST SUPPLY THE OWNER WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE & IRRIGATION MAINTENANCE, AS APPLICABLE.
- UNLESS CONTRADICTED BY THE SOILS TEST, COMPOST AT A RATE OF MIN. 4 CUBIC YARDS PER 1,000 S.F. OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.
- WATERING OF LANDSCAPE SHALL BE HAND WATERING TO MATURITY. NO IRRIGATION. PLANTS SHALL BE DROUGHT TOLERANT AND NON-INVASIVE.
- Vegetation Management (LRA) - The 2019 California Fire Code Chapter 49 and Public Resources Code 4291. A fuel break of defensible space is required around the perimeter of all structures to a distance of not less than 30 feet and may be required to a distance of 100 feet or to the property line. This is neither requirement nor an authorization for the removal of living trees. Trees located within the defensible space shall be pruned to remove dead and dying portions, and limbed up 6 feet above the ground. New trees planted in the defensible space shall be located no closer than 10' to adjacent trees when fully grown or at maturity. Remove that portion of any existing trees, which extends within 10 feet of the outlet of a chimney or stovepipe or is within 5' of any structure. Maintain any tree adjacent to or overhanging a building free of dead or dying wood.
- IMPERVIOUS SURFACES AS NOTED = 6.6% OF PARCEL AREA

711 ETHELDRE STREET
(EST. LOCATION & N.T.S.)



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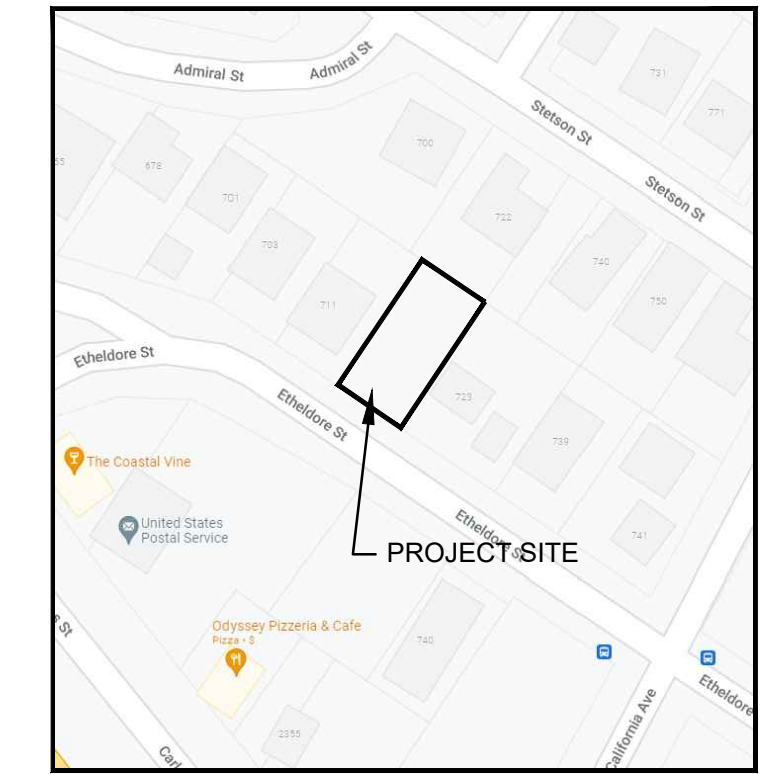
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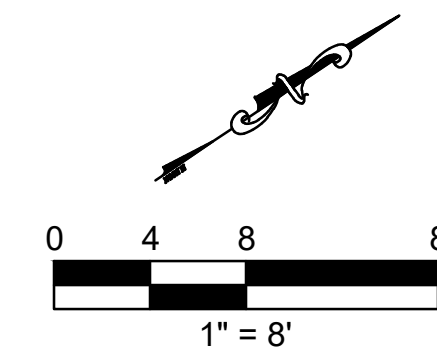
CDRC REVISIONS

SCALE: 1/4" = 1'-0"
DATE: 11.15.2022

L1.0
LANDSCAPE PLAN



VICINITY MAP
NO SCALE



LEGEND

- APPROXIMATE BOUNDARY OF PROPERTY LINE
- APPROXIMATE BOUNDARY OF ADJOINING PROPERTIES
- LOT LINE PER ORIGINAL SUBDIVISION
- WOODEN FENCE LINE
- CHAIN LINK FENCE LINE
- CONTOUR LINE W/ ELEVATION
- BUILDING FOOTPRINT
- EP
- FG
- IR
- DI
- WV
- CL
- FS
- FF
- CONC
- HYD
- RL
- GF
- FD
(XXX)
- TREE
- SET MONUMENT STAMPED "L.S. 9392"
RECORD OF SURVEY BEING FILED
WITH THE COUNTY OF SAN MATEO

BASIS OF ELEVATIONS

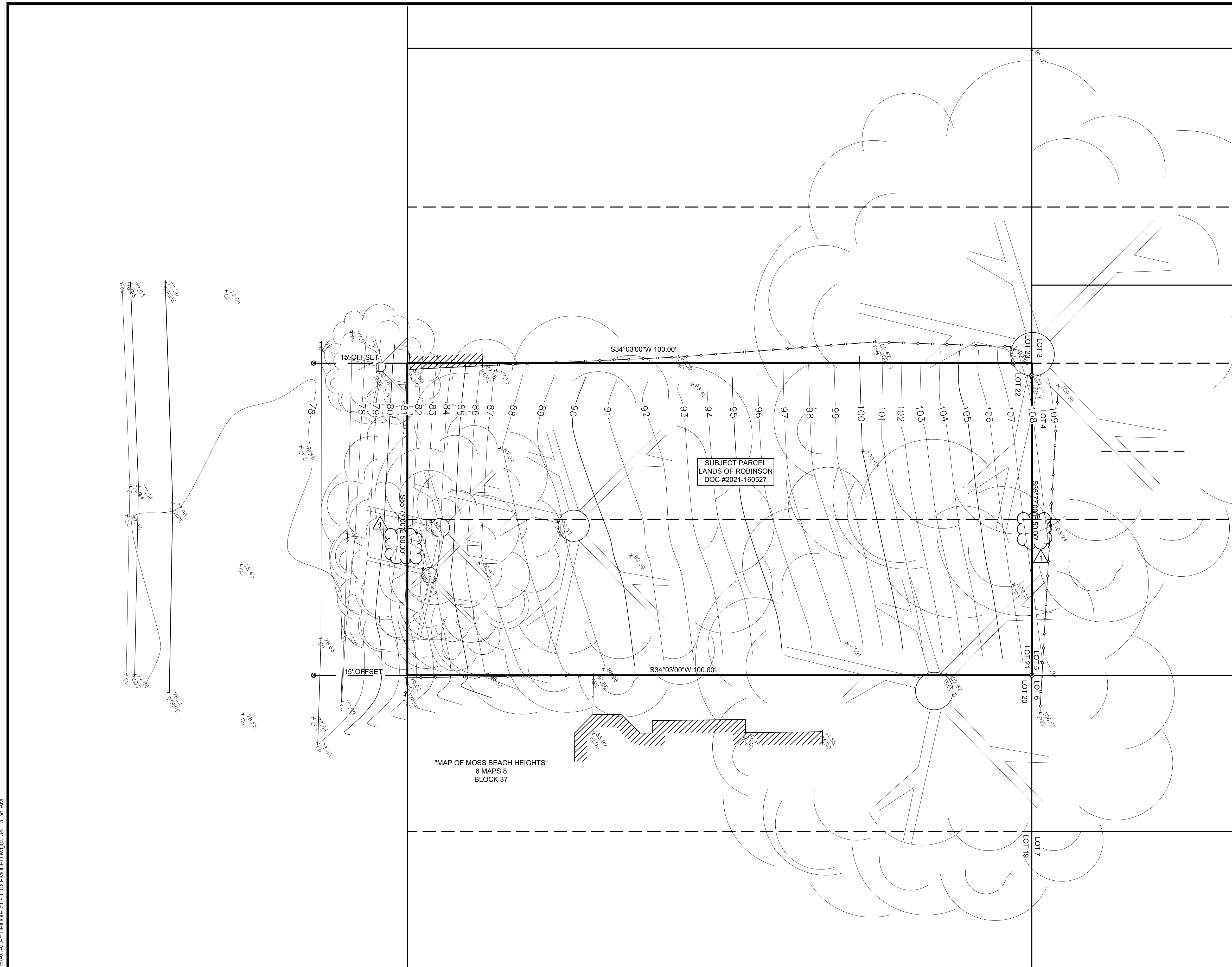
THE COORDINATES AND ELEVATION ARE BASED FROM THE CONTROL POINT CP1, BEING A COUNTY MONUMENT LOCATED AT THE INTERSECTION OF CALIFORNIA AVENUE AND ETHELDORE STREET. SAID COORDINATES BEING IN NAD83(2011)(EPOCH:2010.0000 PER OPUS SOLUTION DATED NOVEMBER 20, 2021) CALIFORNIA ZONE 3 STATE PLANE COORDINATE SYSTEM, HAVING A NORTHING OF 2,021,296.276 AND AN EASTING OF 5,977,833.730, AND SAID ELEVATION BEING NAVD88 (COMPUTED USING GEOID18) AND HAVING AN ELEVATION OF 81.70'.

ELEVATIONS AND CONTOURS SHOWN HEREIN ARE BASED ON A SURVEY DONE ON NOVEMBER 20, 2021.

Michael S. Mahoney

MICHAEL S. MAHONEY

PLS 5577



NO.	REVISIONS	DATE

JOB#: 2021.1015
DATE: 12/15/21
100% SUBMITTAL

(650) 244-9667
jgmahoney@pls-corp.com
901 Sneath Ln, Suite 117
San Bruno, CA 94066

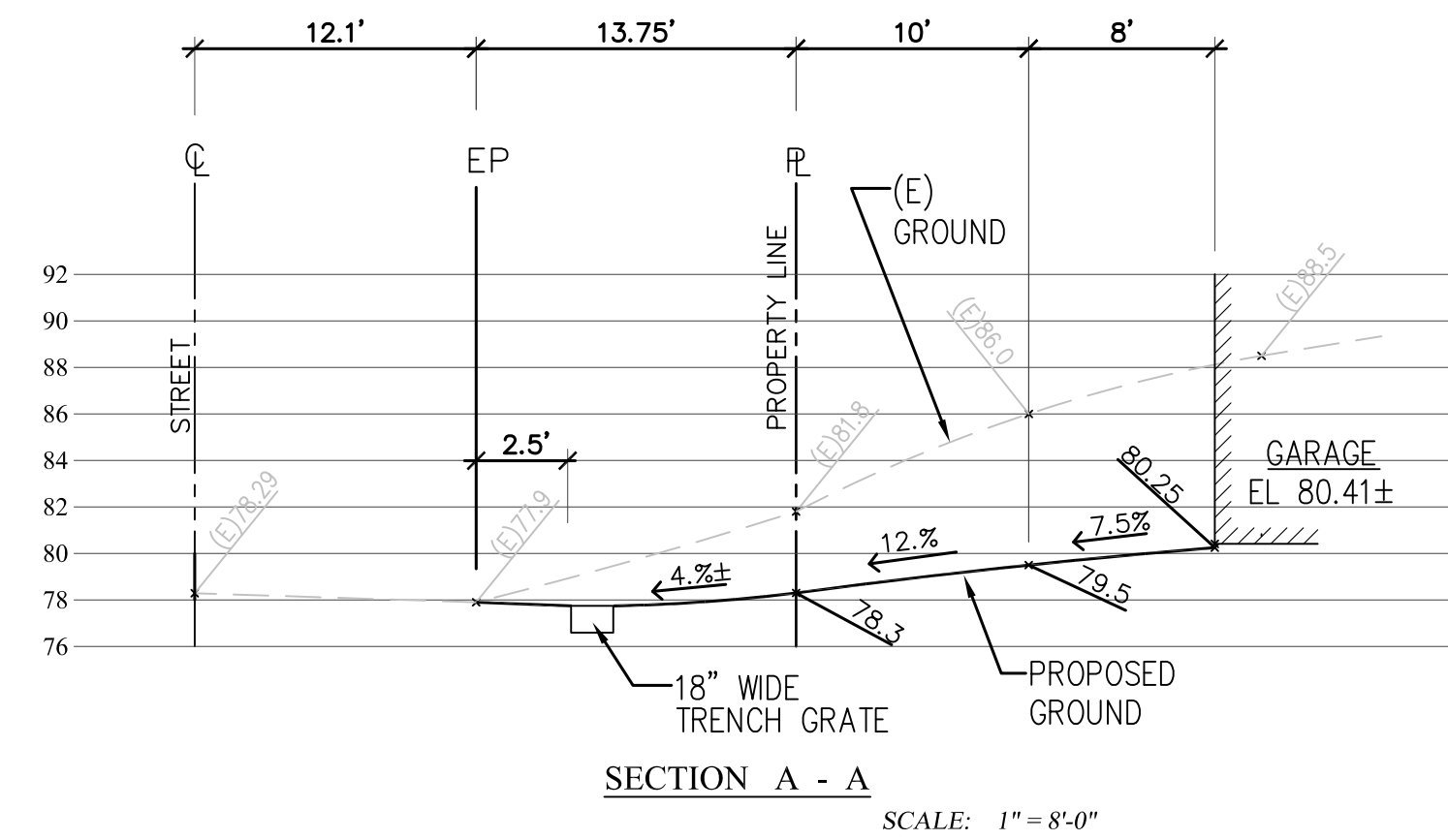
Professional Land Services
LAND DEVELOPMENT SPECIALISTS

DESIGNED: AC
DRAWN: AC
APPROVED: JKO

PREPARED FOR:
KELLY GARRETT ROBINSON
2549 MORLEY WAY
SACRAMENTO, CA 95864

TITLE:
**TOPOGRAPHIC MAP OF
VACANT LAND APN #037-096-120
MOSS BEACH, CA 94038**

C-0

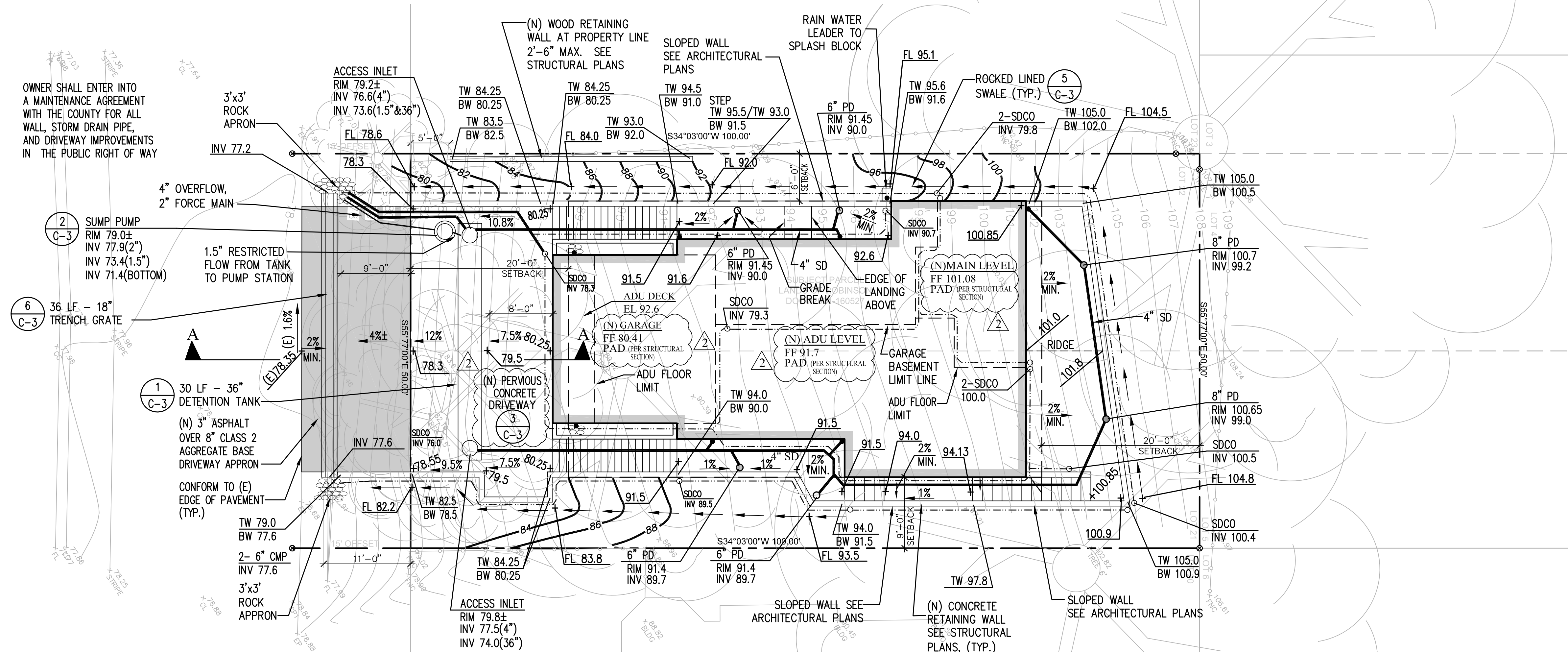


SITE DRAINAGE MAINTENANCE REQUIREMENTS

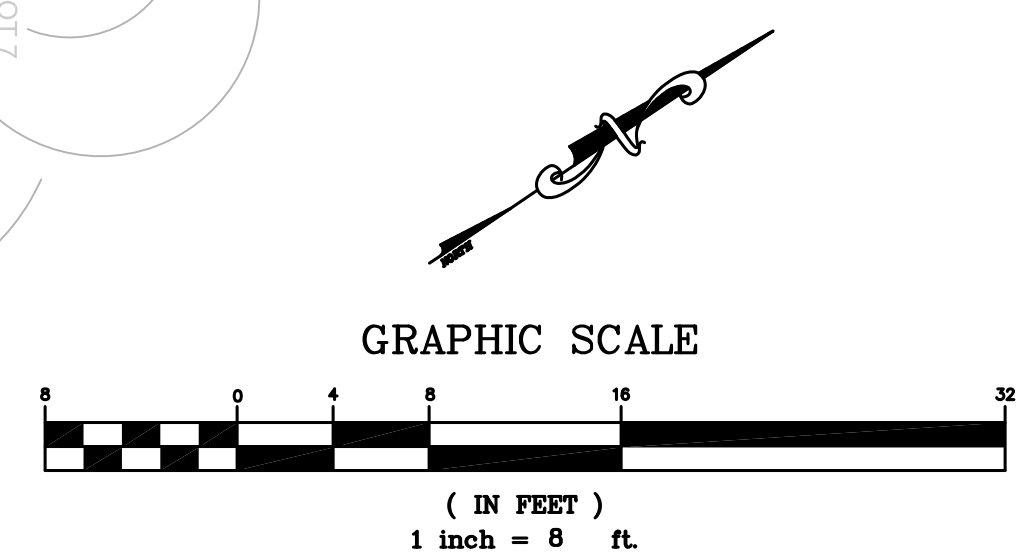
1. FALL, CLEAN ALL DRAINAGE INLETS AND MOW THE VEGETATION WITHIN THE SIDE YARD VEGETATED SWALES. SEDIMENT REMOVED AND VEGETATION CLIPPINGS SHALL BE DISPOSED OF OFF SITE OR IN TRASH BIN.
2. SPRING, (ONCE A YEAR) REMOVE ALL SEDIMENT BUILD UP IN THE BOTTOM OF DETENTION TANK. SEDIMENT TO BE DISPOSED OF OFF SITE OR IN TRASH BIN.
3. SPRING, REMOVE ALL SEDIMENT BUILD UP IN ALL DRAIN INLETS AND CURB DRAINS. DISPOSE OF SEDIMENT OFF SITE OR IN TRASH BIN.

GENERAL NOTES:

1. CONTRACTOR TO VERIFY ALL CONTROLLING DIMENSIONS & SETBACKS WITH ARCHITECTURAL PLANS.
2. TOPOGRAPHIC INFORMATION PROVIDED BY PROFESSIONAL LAND SERVICES, DATED DECEMBER 15, 2021.
3. SLOPE PORCHES, LANDINGS AND TERRACES 2% AWAY FROM RESIDENCE.
4. PROVIDE POSITIVE SURFACE DRAINAGE AWAY FROM THE HOUSE PERIMETER BY SLOPING THE FINISHED GROUND SURFACE AT LEAST 5% AWAY FROM RESIDENCE.
5. CONTRACTOR TO CONTACT SOILS ENGINEER TO COORDINATE INSPECTIONS AT LEAST ONE WEEK PRIOR TO PENDING INSPECTIONS.
6. ALL EARTHWORK, SUBSLAB PREPARATION, FOUNDATION AND SLAB CONSTRUCTION, BACKFILLING, SITE DRAINAGE, AND GEOTECHNICAL OBSERVATION AND TESTING SHALL BE IN ACCORDANCE WITH GEOTECHNICAL REPORT RECOMMENDATIONS.
7. THE OWNER RECOGNIZES THAT THE DRAINAGE FACILITIES AND DEPRESSED LANDSCAPE AREAS WILL NEED TO BE PERIODICALLY CLEANED OF DEBRIS DURING THE FUNCTIONAL LIFE OF THE SYSTEM.
8. CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ALL EXISTING CONDITIONS. THEY SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING. VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES BEFORE STARTING CONSTRUCTION.
9. ANY SITE WORK THAT DEVIATES FROM WHAT IS SHOWN ON THE PLANS SHALL HAVE THE ENGINEER'S APPROVAL PRIOR TO PROCEEDING WITH THE DEVIATING WORK ITEM.
10. CONTRACTOR SHALL CALL "UNDERGROUND SERVICE ALERT" (800) 642-2444, 48 HOURS PRIOR TO EXCAVATION.
11. FOR ADDITIONAL SITE LAYOUT INFORMATION SEE ARCHITECTURAL PLANS.
12. PRIOR TO CONSTRUCTING ANY IMPROVEMENT WITHIN THE PUBLIC RIGHT OF WAY, CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE COUNTY'S ENGINEERING DIVISION PRIOR TO STARTING ANY WORK. APPLICANT SHALL OBTAIN PERMITS FROM UTILITY COMPANIES PRIOR TO APPLYING TO CITY FOR ENCROACHMENT PERMIT.
13. CONTRACTOR SHALL ADHERE TO "BEST MANAGEMENT PRACTICES" (BMP'S) GUIDELINES DURING CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR STORING, USING, AND DISPOSING OF ALL HAZARDOUS MATERIALS, IN ACCORDANCE WITH ALL STATE AND LOCAL LAWS.
14. CONTRACTOR SHALL REVIEW AND UNDERSTAND GRADING AND DRAINAGE GUIDELINES SET FORTH IN THE GEOTECHNICAL REPORT PRIOR TO STARTING ANY SITE WORK.
15. CONTRACTOR SHALL ADHERE TO CAL OSHA STANDARD WHEN GRADING AND EXCAVATING.
16. CONTRACTOR AND OWNER SHALL OBTAIN ALL NECESSARY COUNTY STANDARD DETAILS, FROM THE COUNTY, TO PERFORM ALL TRENCHING AND SITE WORK IN THE PUBLIC RIGHT-OF-WAY.
17. APPLICANT/CONTRACTOR SHALL REMOVE AND REPLACE ALL CRACKED, DAMAGED, UPLIFTED OR DEPRESSED FRONTAGE IMPROVEMENTS, EXISTING OR DAMAGED BY CONSTRUCTION ACTIVITIES, PER CITY STANDARDS ALONG THE ENTIRE PROPERTY FRONTAGE ON MILLS AVENUE.
18. STORM WATER RUNOFF GENERATED BY THE NEW DEVELOPMENT SHALL NOT DRAIN ONTO ADJACENT PROPERTIES. THE EXISTING STORM DRAINAGE FROM THE ADJACENT PROPERTIES SHALL NOT BE BLOCKED BY THE NEW DEVELOPMENT.



EARTHWORK TABLE	CUT	FILL
HOUSE	530 CY	10 CY
DRIVEWAY	190 CY	0 CY
REAR/FRONT/SIDE YARD	50 CY	0 CY
TOTAL	770 CY	10 CY
EXPORT	760 CY	



GRADING & DRAINAGE PLAN 1/8" = 1'-0"

CLIFFORD BECHTEL AND ASSOCIATES, LLC.
Engineering and Project Management
1321 25th Place, SE
SAMMAMISH, WA 98075
650-333-0103
cliffbechtel@comcast.net

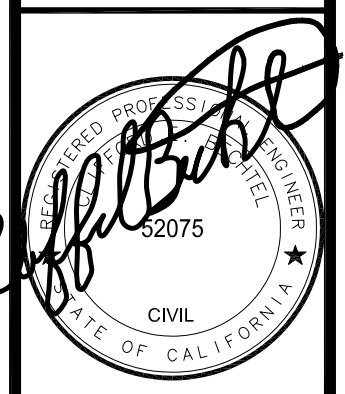
Professional Engineer
No. 32075
CIVIL
STATE OF CALIFORNIA

California
ROBINSON RESIDENCE
717 ETHELDORRE STREET
SAN MATEO COUNTY
Moss Beach

CONTENTS:
GRADING & DRAINAGE PLAN

DATE 11/09/22
SCALE AS NOTED
REVISIONS:
REV. 01/09/22
REV. 05/09/23

DRAWN J.G.
CHECKED C.B.
JOB No. 2022803
SHEET NO.
C-1.0
OF 5 SHEETS



California
ROBINSON RESIDENCE
717 ETHELDRE STREET
SAN MATEO COUNTY
Moss Beach

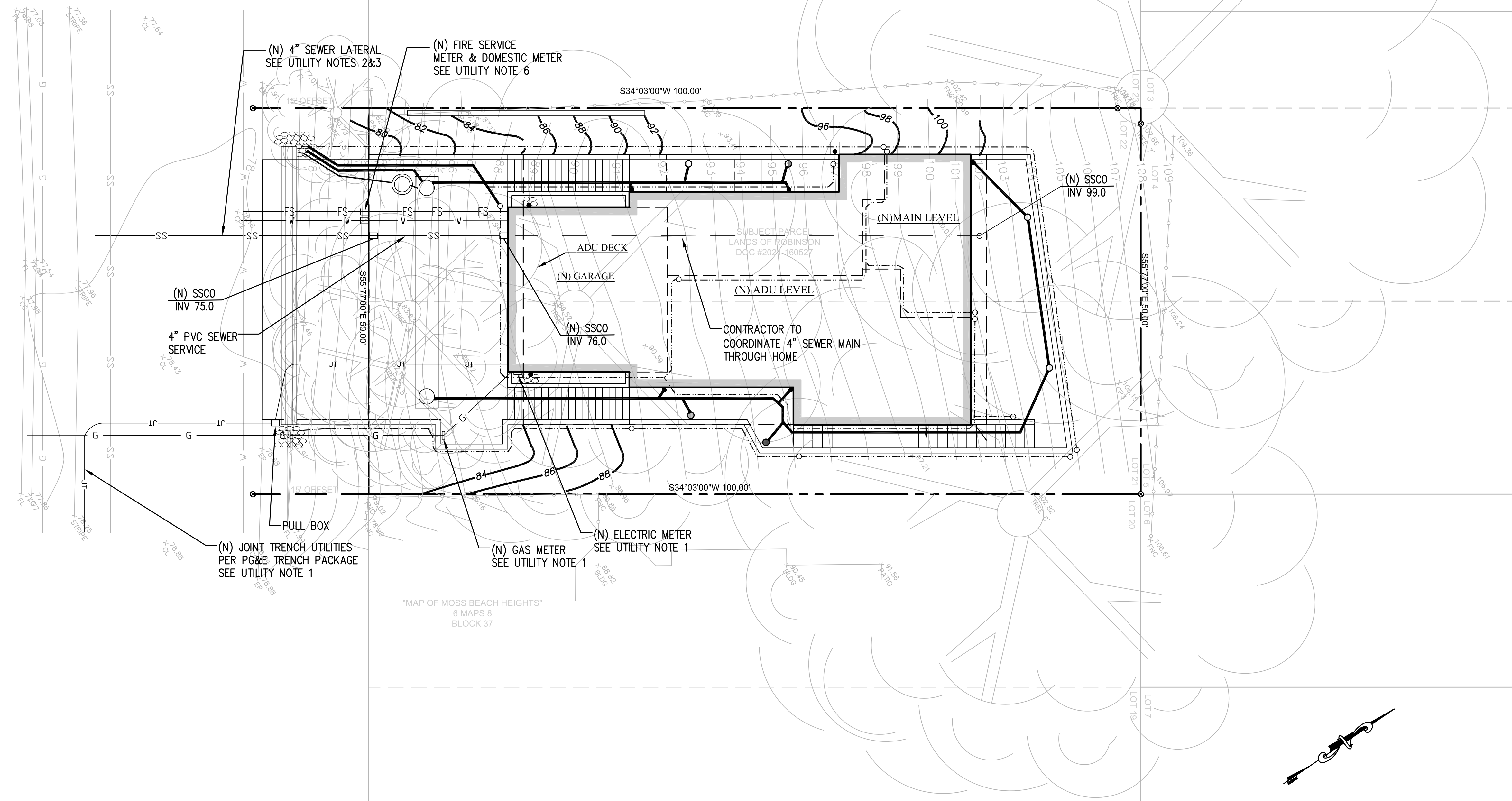
CONTENTS:
UTILITY PLAN

DATE 11/09/22
SCALE AS NOTED
REVISIONS:
REV. 01/09/22
REV. 05/09/23

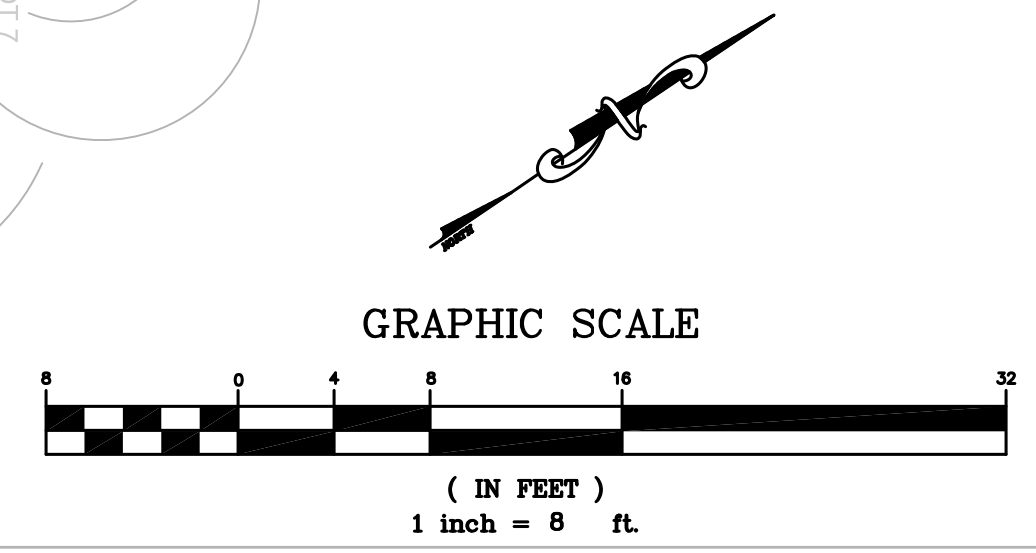
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JOB No. 2022803
SHEET NO.
C-1.1
OF 5 SHEETS

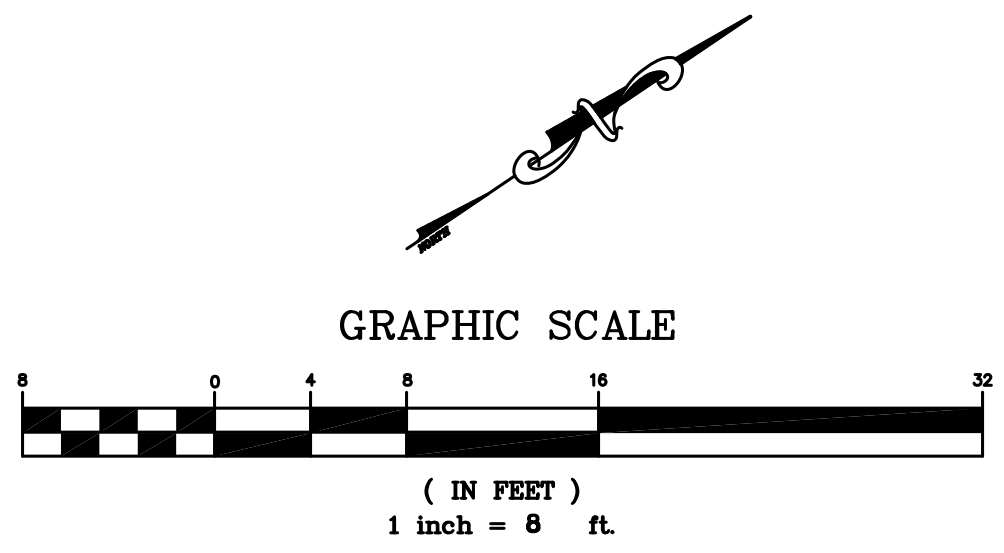
UTILITY NOTES:

- CONTRACTOR TO ASSIST OWNER IN COORDINATION WITH PG&E FOR THE INSTALLATION/RELOCATION OF GAS, ELECTRIC, PHONE AND TV SERVICES. SIZE OF NEW SERVICE TO BE DETERMINED BY PG&E.
- CONTRACTOR SHALL ASSIST OWNER TO PERMIT NEW SEWER LATERAL AND SERVICE WITH THE GRANADA COMMUNITY SERVICES DISTRICT. INSTALL CLEANOUTS AT PROPERTY LINE AND AT NEW HOME AS SHOWN ON PLAN. A DISTRICT APPROVED BACKFLOW PREVENTION DEVICE SHALL BE INSTALLED IF REQUIRED BY DISTRICT.
- ALL SEWER WORK TO BE IN CONFORMANCE WITH THE COUNTY AND DISTRICT STANDARDS.
- ALL STORM DRAIN PIPE SHALL BE PVC SDR 35, SLOPED AT 1% UNLESS OTHERWISE SPECIFIED ON THE PLANS. PIPE SHALL BE SIZED AS SPECIFIED ON THE PLANS. ALL DIRECTION CHANGES SHALL BE MADE WITH A WYE CONNECTION, ELBOWS AND TEE'S SHOULD BE AVOIDED.
- ALL DOWN SPOUTS SHALL BE CONNECTED TO THE STORM DRAIN SYSTEM, AS SHOWN ON PLAN. ALL PIPE SHALL BE 4" PVC SDR 35 PIPE OR EQUIVALENT. SEE ARCHITECTURAL PLANS FOR EXACT LOCATION OF THE DOWN SPOUTS.
- CONTRACTOR TO ASSIST OWNER IN PERMITTING WITH THE COASTSIDE COUNTY WATER DISTRICT FOR NEW SERVICE AND LATERAL AS SHOWN. CONTRACTOR TO INSTALL BACKFLOW PREVENTION DEVICE AND ISOLATION VALVE ONCE METER IS INSTALLED. DEVICES SHALL BE INSTALLED ON THE DISCHARGE SIDE OF METER AND BE PLACED WITHIN ONE FOOT OF METER. A PRESSURE REDUCING VALVE SHALL BE INSTALLED AT BUILDING FACE. A NEW COPPER WATER SERVICE TO HOME SHALL BE INSTALLED. CONTRACTOR SHALL COORDINATE THE SIZING OF THE SERVICE WITH THE PROJECT FIRE SPRINKLER PLANS.
- PATIO DRAINS (PD) SHALL BE 8" MINIMUM IN DIAMETER OR WIDTH. STYLE PER LANDSCAPE ARCHITECTS DIRECTION. AREA DRAINS (AD) SHALL BE 12" NDS (OR EQUIVALENT). DRAIN INLETS (DI) SHALL BE STACKED CHRISTY B9 OR EQUAL.



UTILITY PLAN 1/8"=1'-0"

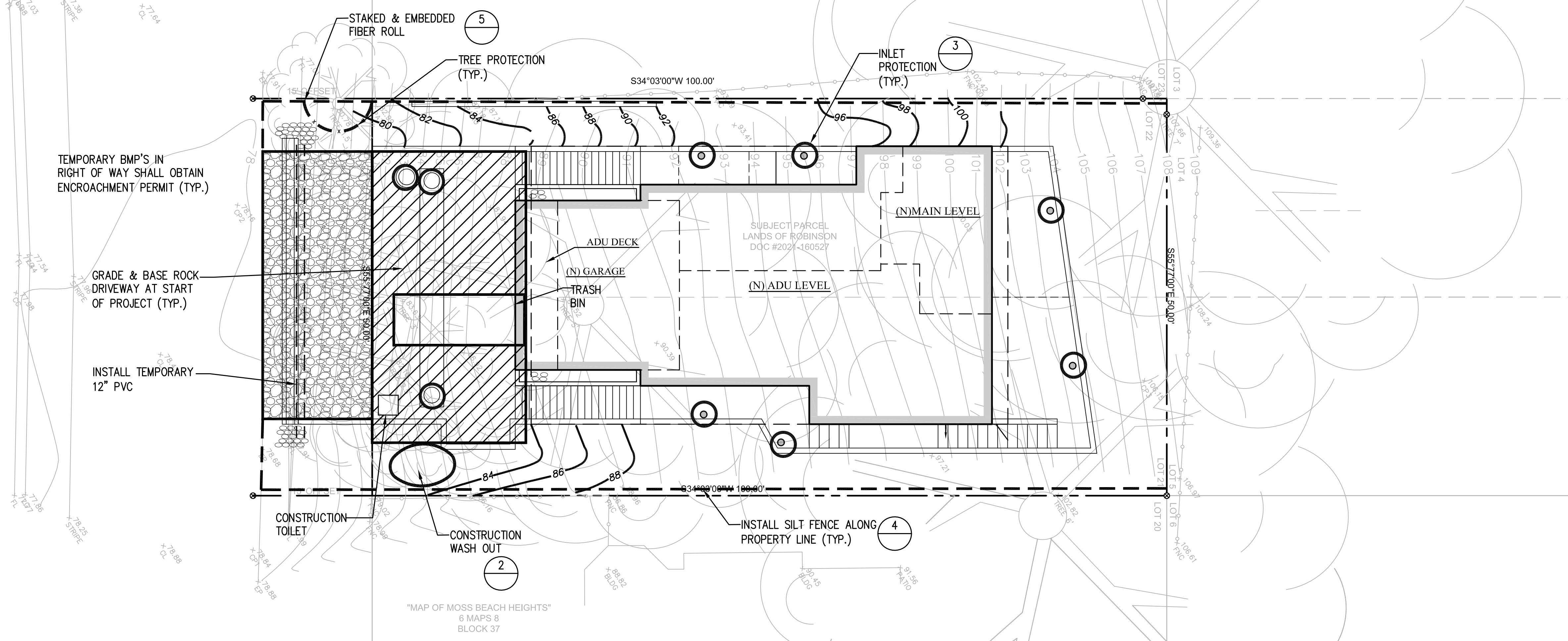




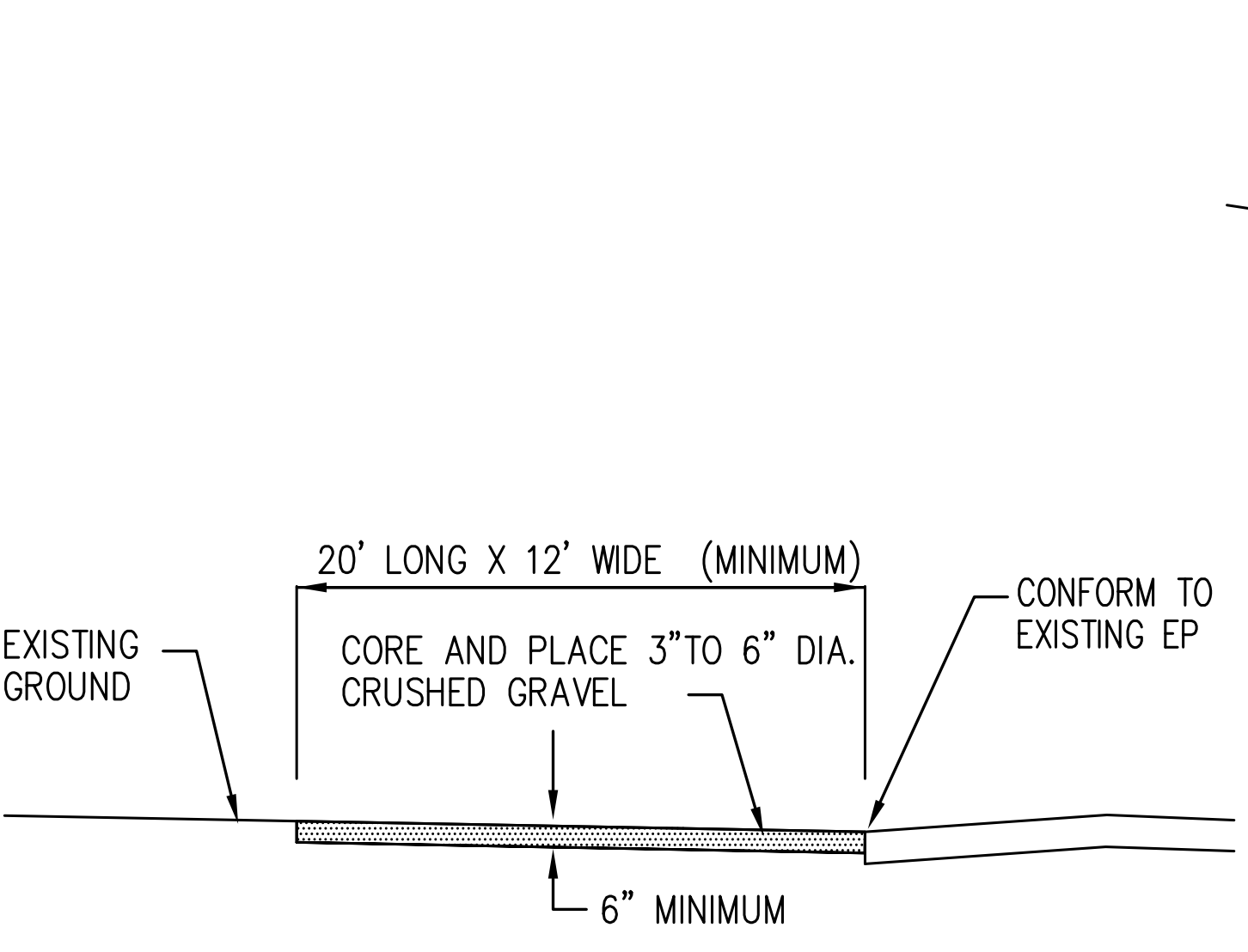
POINT OF CONTACT:
KELLY ROBINSON (OWNER)

- CAL. GREEN NOTES:**
- CONTRACTOR SHALL STOCKPILE SITE TOP SOIL FOR REUSE IN A DESIGNATED AREA AND COVER FOR PROTECTION FROM EROSION. PROTECTION FROM EROSION INCLUDES COVERING WITH TARPS, STRAW, MULCH, CHIPPED WOOD, VEGETATIVE COVER OR OTHER MEANS NECESSARY. SEE SHEET C-2 AND LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
 - WATER PERMEABLE SURFACE AREA TABLE CAN BE FOUND WITH LANDSCAPE PLAN. INFORMATION SHALL BE TO BE IN CONFORMANCE WITH THE CITY OF EL GRANADA STANDARDS.
 - CONSTRUCTION MANAGEMENT PLAN, FOUND ON SHEET C-2 SHALL BE FOLLOWED. STORAGE OF HEAVY EQUIPMENT PARKING, VEHICLE TRAFFIC, AND MATERIAL STORAGE SHALL BE LIMITED TO AREAS PLANNED FOR PAVING (A4.106.2.3).
 - ALL DOWN SPOUTS SHALL BE PIPED OR DISCHARGED ON AN IMPERMEABLE SURFACE TO LANDSCAPING, DRY WELL, SUMP, BIO SWALE OR RAIN WATER CAPTURE SYSTEM. A MINIMUM OF 5- FEET AWAY FROM FOUNDATIONS. ALL PIPE SHALL BE 4" PVC SDR 35 PIPE OR EQUAL.

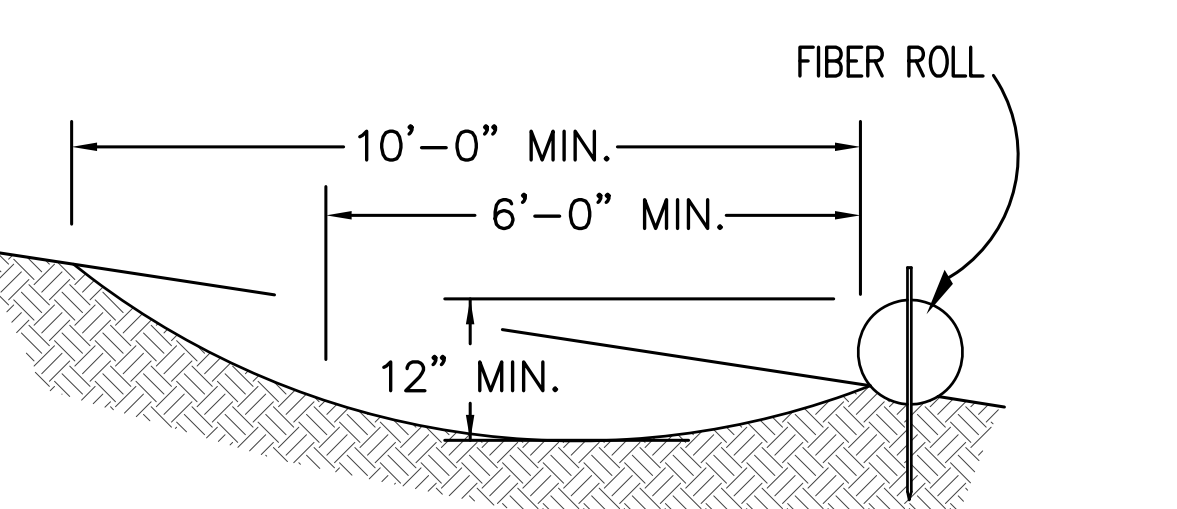
- EROSION AND SEDIMENT CONTROL NOTES:**
- STORM DRAIN POLLUTION PREVENTION: PROTECT DOWN SLOPE DRAINAGE COURSES, STREAMS AND STORM DRAINS WITH ROCK BAGS, HAY BALES, TEMPORARY DRAINAGE SWALES, FIBER ROLLS, SILT FENCES, BERMS OR STORM DRAIN INLET FILTERS.
 - THE EXISTING CONCRETE DRIVEWAY SHALL SERVE AS THE STABILIZED CONSTRUCTION ENTRANCE.
 - FIBER ROLL(S) SHALL BE INSTALLED, IF REQUIRED BY CITY, PRIOR TO THE INCEPTION OF ANY WORK ON-SITE, AND SHALL REMAIN IN PLACE UNTIL THE LANDSCAPING GROUND COVER IS INSTALLED.
 - DRY SWEEPING METHODS SHALL BE USED TO REMOVE ANY DEBRIS AND/OR SOIL TRACKED ON ETHELDORRE STREET. DRY SWEEPING SHALL BE DONE AT THE END OF EACH WORK DAY.
 - THE CONTRACTOR SHALL FOLLOW AND USE BEST MANAGEMENT PRACTICES (BMP) FOR DISCHARGE INTO THE CITY'S STORM WATER SYSTEM DURING SITE STRIPPING, HAULING, EARTH MOVING ACTIVITIES, HEAVY EQUIPMENT OPERATIONS, GENERAL CONSTRUCTION AND SITE SUPERVISION, PAINTING, APPLICATIONS AND USE OF SOLVENTS AND ADHESIVES, LANDSCAPING AND GARDENING.
 - STOCKPILED MATERIAL SHALL BE COVERED WITH VISQUEEN OR A TARPULIN UNTIL THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STOCKPILE HAS BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GROUND COVER IS ESTABLISHED OR IT MAY BE SEED OR PLANTED TO PROVIDE GROUND COVER PRIOR TO THE FALL RAINY SEASON.
 - ONCE THE PROPOSED ON-SITE DRAINAGE INLETS HAVE BEEN INSTALLED, THE CONTRACTOR SHALL PROTECT ANY BARE SOIL FROM ENTERING THE INLETS BY INSTALLING FILTER FABRIC UNDER THE INLET GRATES. THE FILTER FABRIC SHALL REMAIN UNTIL NATURAL GROUND COVER IS ESTABLISHED.
 - CONTRACTOR SHALL CONTROL DUST AS OFTEN AS REQUIRED BY THE CITY ENGINEER.
 - IF EROSION DEVELOPS IN A TEMPORARY EROSION PROTECTED AREA OR ANY ESTABLISHED VEGETATED AREA, THE CONTRACTOR SHALL IMMEDIATELY ALLEVIATE AND REMEDY THE PROBLEM AND TAKE PREVENTATIVE MEASURES TO MINIMIZE THE POSSIBILITY OF ITS REOCCURRENCE AND ALSO TO PREVENT THE RESULTING FLOW OF SOILS OR WATER WITH SUSPENDED SOILS FROM GETTING INTO THE TOWN'S DRAINAGE SYSTEM OR ANY NATURAL DRAINAGE CHANNEL OR DITCH.
 - CONTRACTOR MAY BE REQUIRED TO SUBMIT A LOGISTICS PLAN TO THE PUBLIC WORKS DEPARTMENT PRIOR TO COMMENCING WORK THAT ADDRESSES ALL IMPACTS TO THE CITY'S RIGHT-OF-WAY, INCLUDING, BUT NOT LIMITED TO: PEDESTRIAN CONTROL, TRAFFIC CONTROL, TRUCK ROUTES, MATERIAL DELIVERIES, CONTRACTOR'S PARKING, CONCRETE POURS, CRANE LIFTS, WORK HOURS, NOISE CONTROL, DUST CONTROL, STORM WATER POLLUTION PREVENTION, CONTRACTOR'S CONTACT, NOTICING OF AFFECTED SURROUNDING PROPERTIES, AND SCHEDULE OF WORK. THE REQUIREMENT TO SUBMIT A LOGISTICS PLAN WILL BE DEPENDENT ON THE NUMBER OF APPLICATIONS PUBLIC WORKS ENGINEERING RECEIVES WITH CLOSE PROXIMITY TO HELP MITIGATE AND CONTROL THE IMPACT TO THE PUBLIC RIGHT-OF-WAY. IF NECESSARY, PUBLIC WORKS MAY REQUIRE A LOGISTICS PLAN DURING CONSTRUCTION.



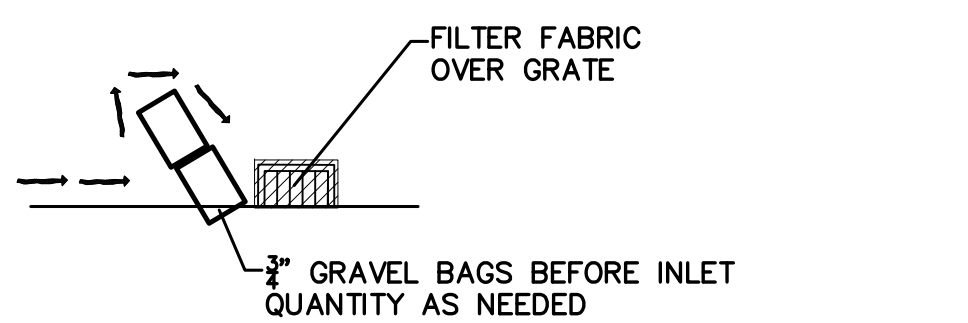
EROSION AND SEDIMENT CONTROL & STAGING PLAN 1/8"=1'-0"



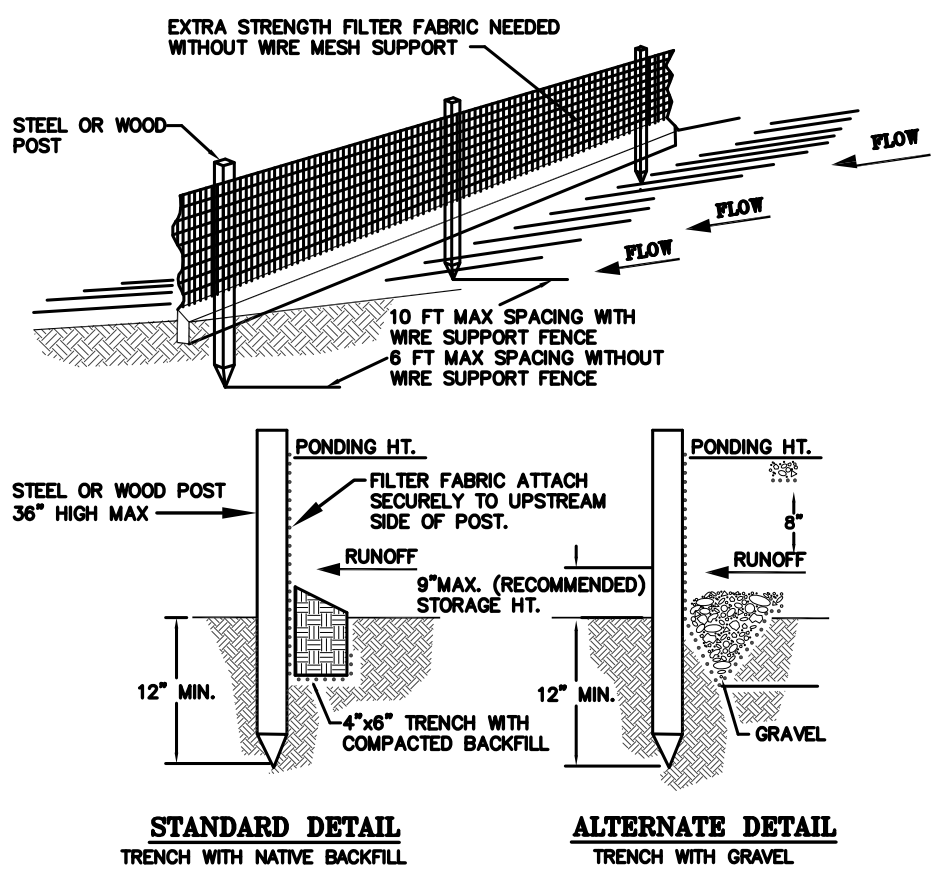
1 CONSTRUCTION ENTRANCE
C-3 NOT TO SCALE



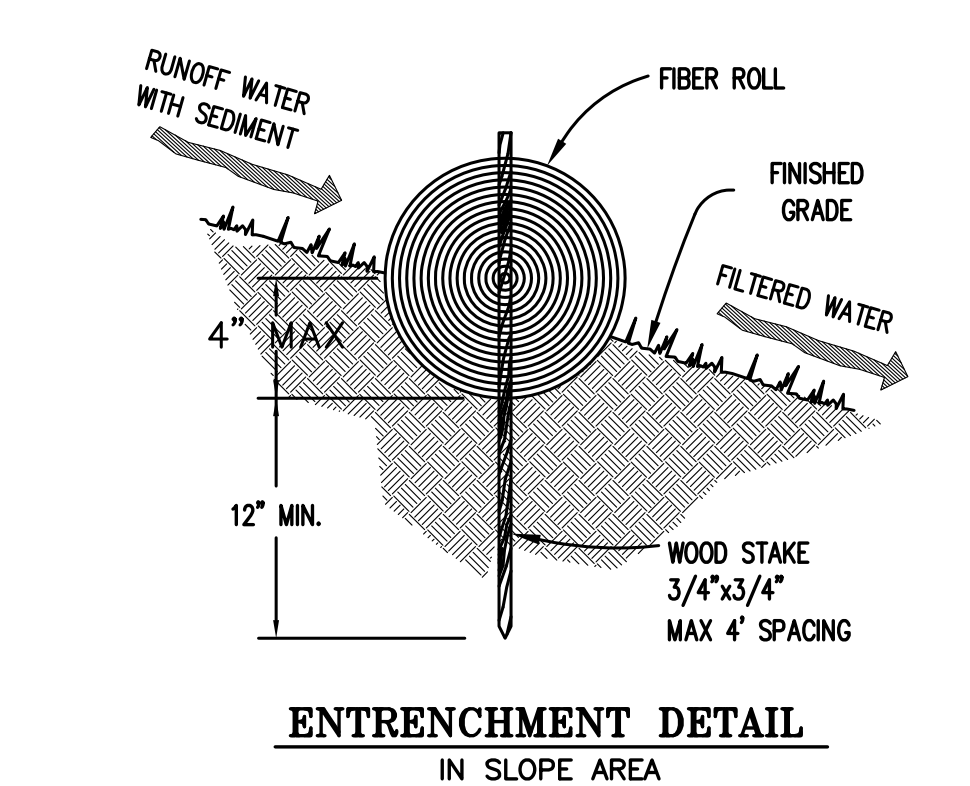
2 CONSTRUCTION WASH OUT AREA
C-3 NOT TO SCALE



3 INLET PROTECTION
C-3 NOT TO SCALE



4 SILT FENCE
C-3 NOT TO SCALE



5 FIBER ROLL
C-3 NOT TO SCALE

COUNTY NOTES

- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit construction access routes to stabilized, designated access points.
- Avoid tracking dirt or other materials off-site, clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Construction sites are required to have erosion control materials on-site during the "off-season."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site.
- Use of plastic sheeting between October 1st and April 30th is not acceptable, unless for use on stockpiles where the stockpile is also protected with fiber rolls containing the base of the stockpile.

C. For Your Reference Only - Erosion Control Policies for Construction Sites:

Project erosion and sediment control measures shall be maintained as necessary throughout the duration of the permit to be effective. If significant field changes are made, revised plans must be submitted for approval. The building inspector has the authority to require additional measures at any time, and may cancel any requested inspection if any measures are found to be deficient. A Stop Work Notice may be issued pursuant to the County's Stormwater Enforcement Response Plan until corrections have been made and applicable fees paid for staff enforcement time. The property owner shall demonstrate via building inspection, that the site is stabilized either with adequate erosion control or landscaping, prior to issuance of the Certificate of Occupancy.

ROBINSON RESIDENCE
717 ETHELDORRE STREET
SAN MATEO COUNTY
California
Moss Beach

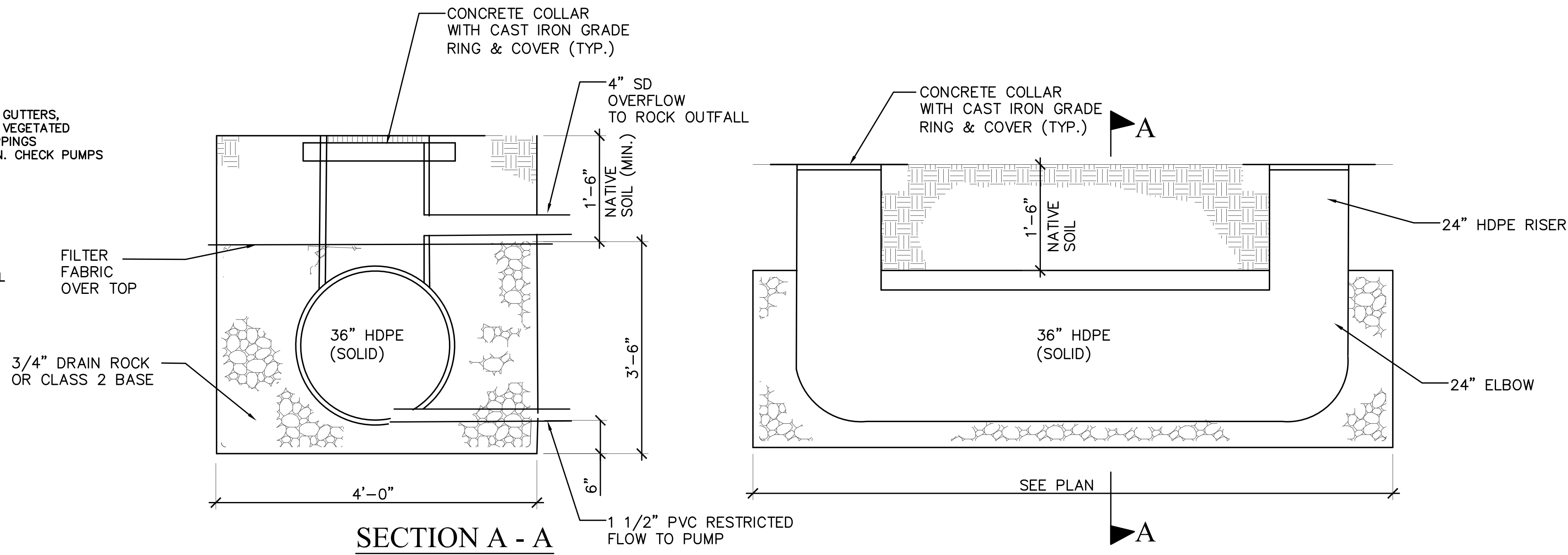
CONTENTS:
EROSION & SEDIMENT CONTROL & STAGING PLAN

DATE	11/09/22
SCALE	AS NOTED
REVISIONS:	
REV. 01/09/22	
REV. 05/09/23	

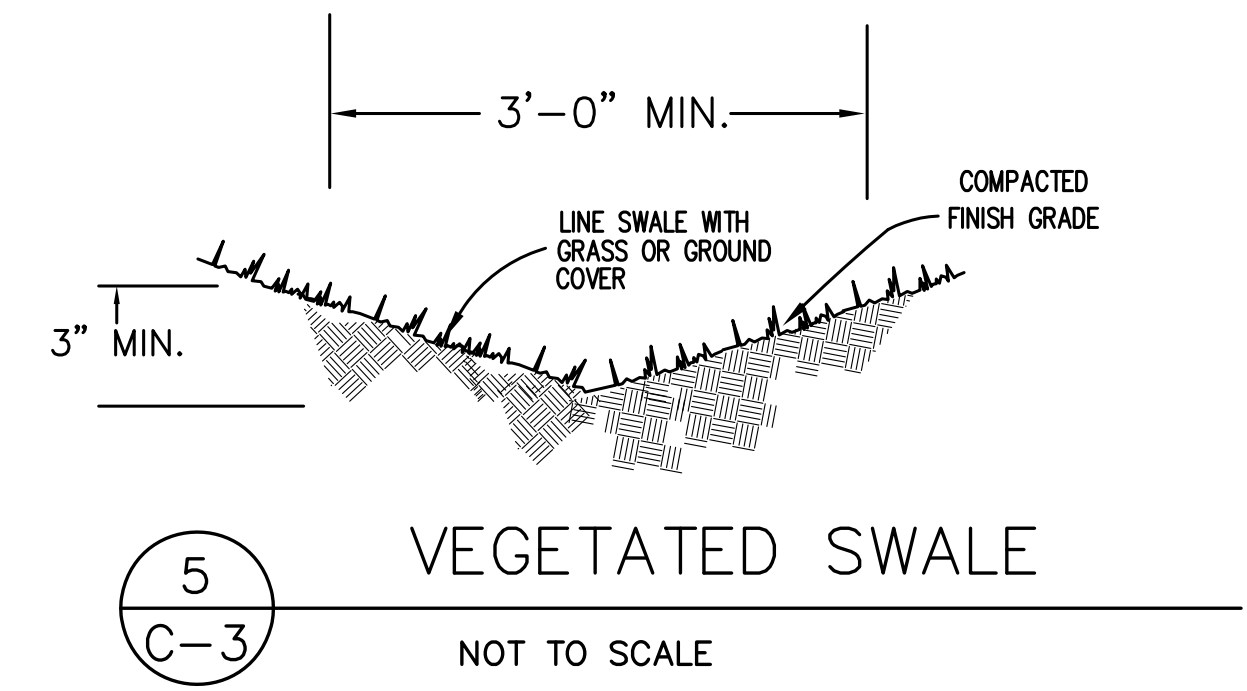
DRAWN	J.G.
CHECKED	C.B.
JOB No.	2022803
SHEET No.	C-2
OF	5 SHEETS

SITE DRAINAGE MAINTENANCE REQUIREMENTS

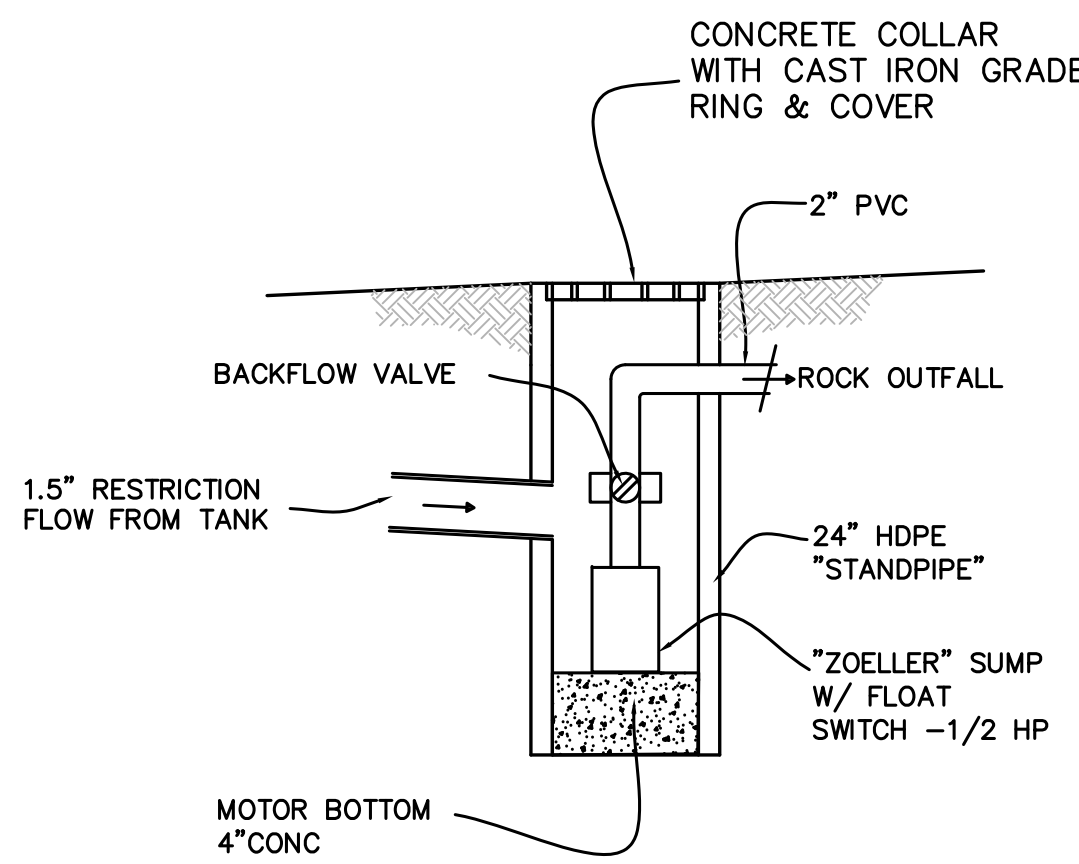
1. FALL, CLEAN ALL DRAINAGE INLETS AND HOUSE GUTTERS, AND MOW THE VEGETATION WITHIN THE SIDE YARD VEGETATED SWALES. SEDIMENT REMOVED AND VEGETATION CLIPPINGS SHALL BE DISPOSED OF OFF SITE OR IN TRASH BIN. CHECK PUMPS ARE IN GOOD WORKING ORDER.
2. SPRING, (ONCE A YEAR) REMOVE ALL SEDIMENT BUILD UP IN THE BOTTOM OF DETENTION TANK. SEDIMENT TO BE DISPOSED OF OFF SITE OR IN TRASH BIN.
3. SPRING, REMOVE ALL SEDIMENT BUILD UP IN ALL DRAIN INLETS. DISPOSE OF SEDIMENT OFF SITE OR IN TRASH BIN.



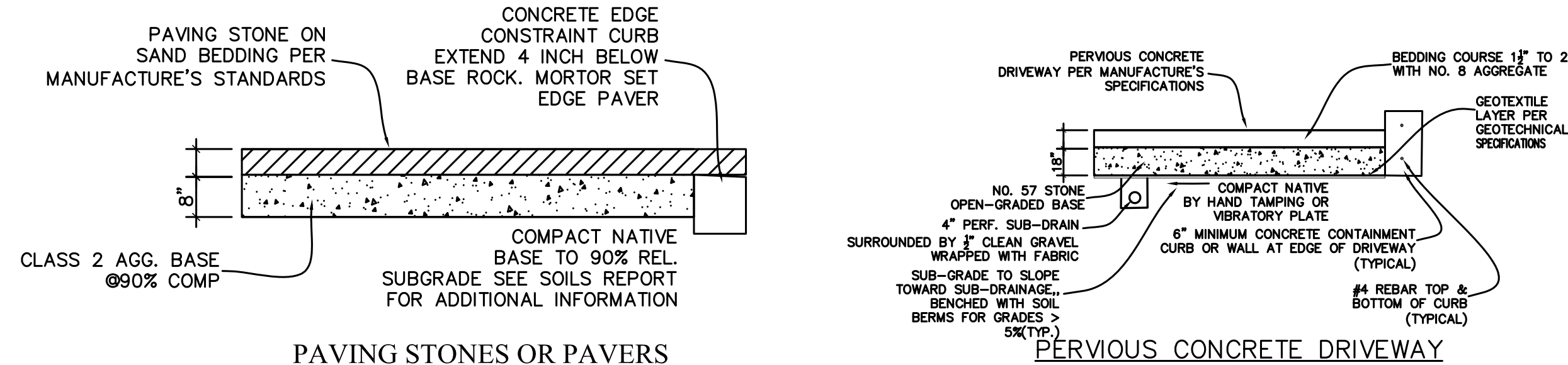
SECTION A - A
1
C-3
DETENTION SYSTEM
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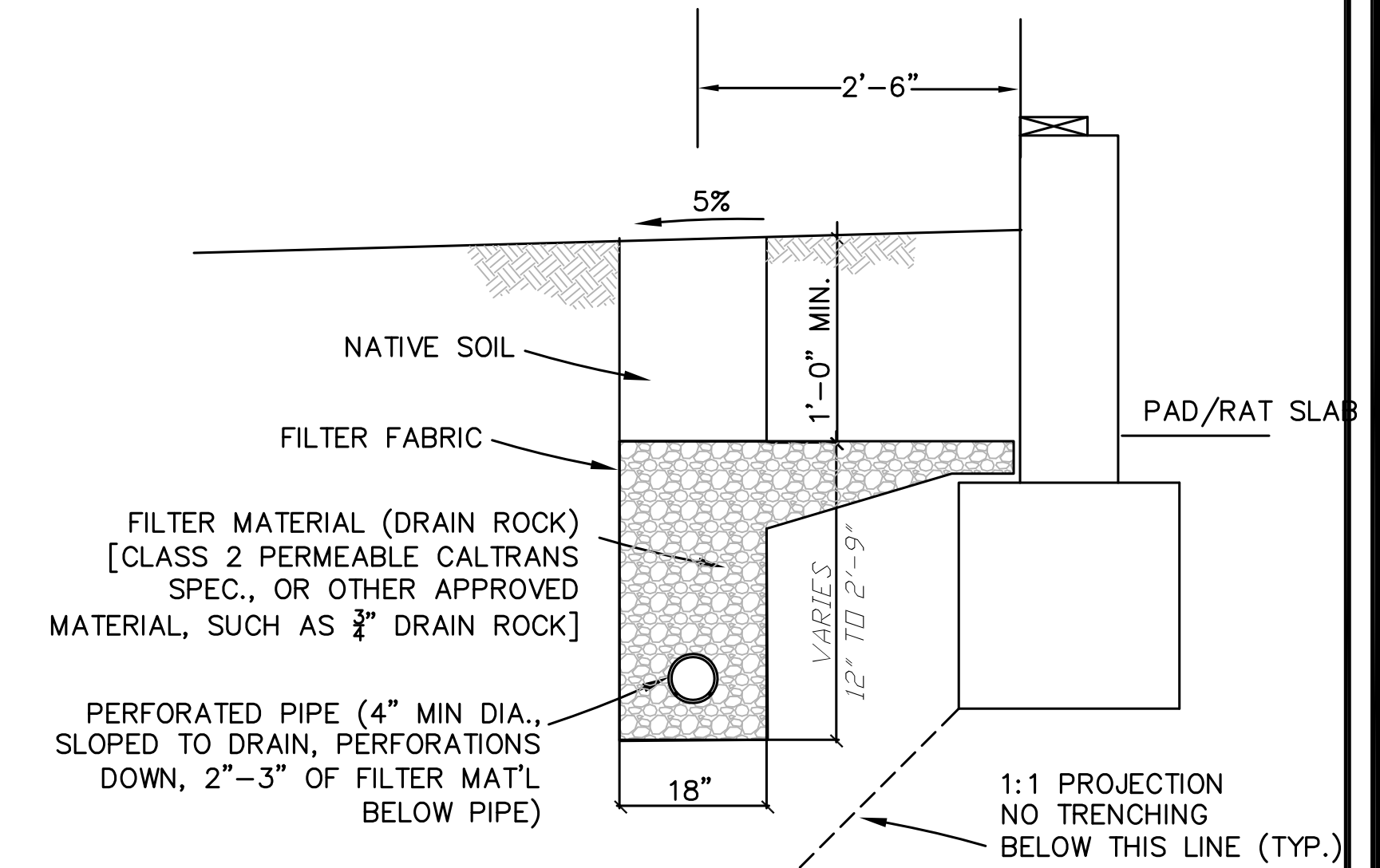
5
C-3
VEGETATED SWALE
 NOT TO SCALE



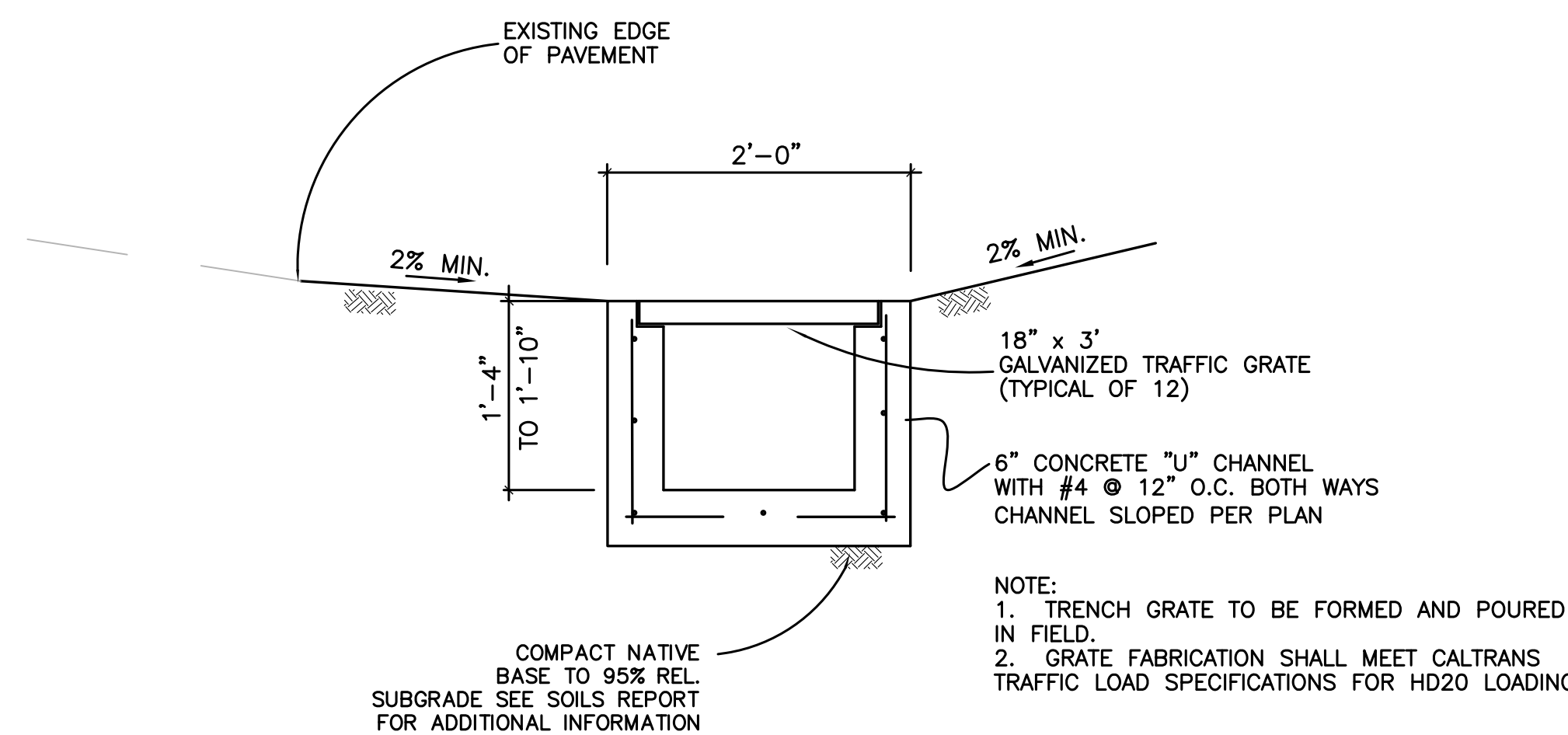
2
C-3
SUMP PUMP
 NOT TO SCALE



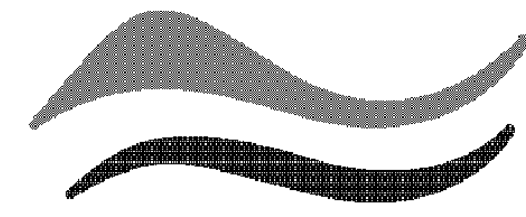
3
C-3
PAVING STONES OR PAVERS
 NOT TO SCALE



4
C-3
4\"/>



6
C-3
TRENCH GRATE
 NOT TO SCALE

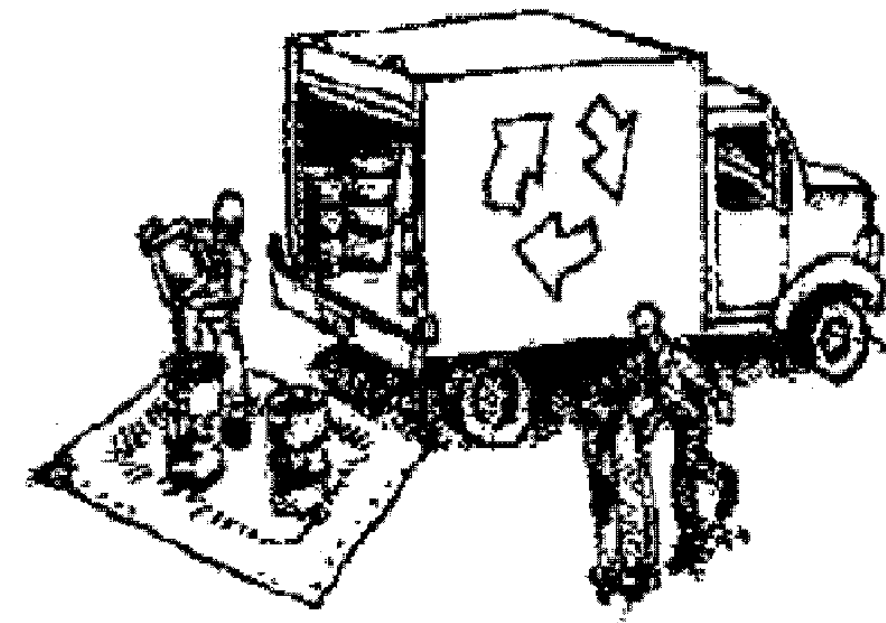


SAN MATEO COUNTYWIDE
**Water Pollution
Prevention Program**
Clean Water. Healthy Community.

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

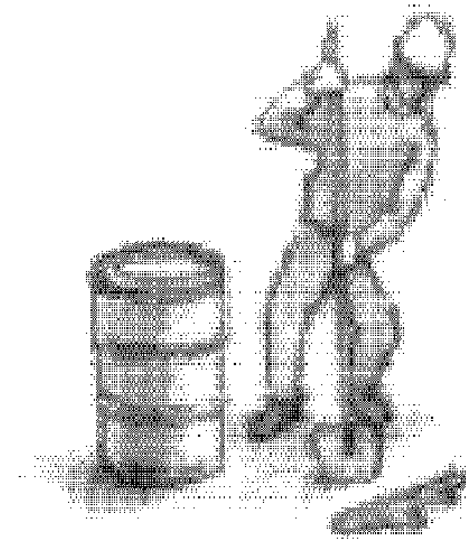
Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



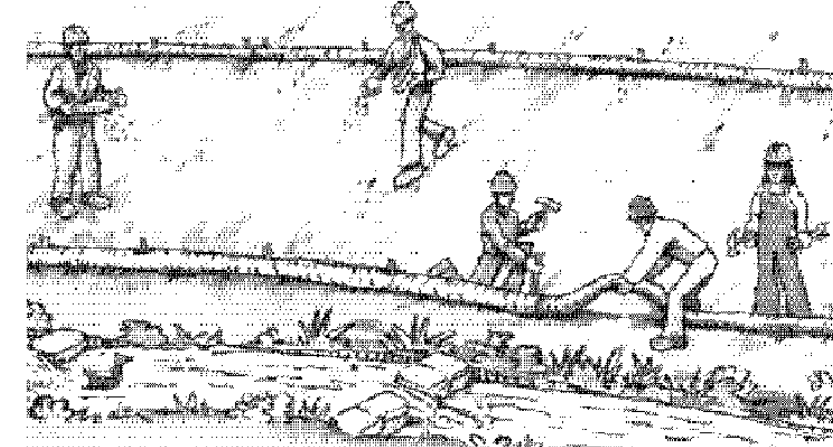
Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work



- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

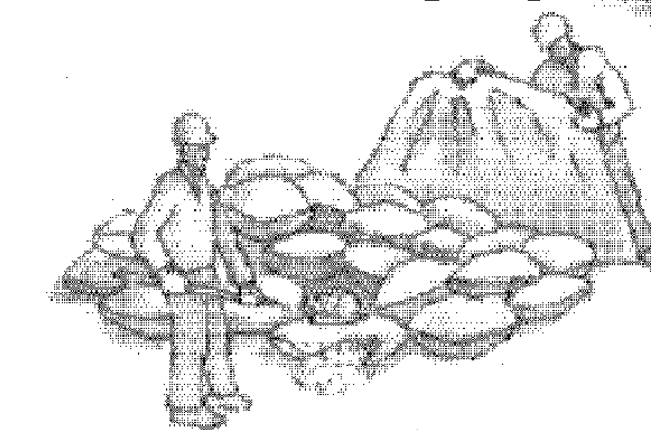
- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



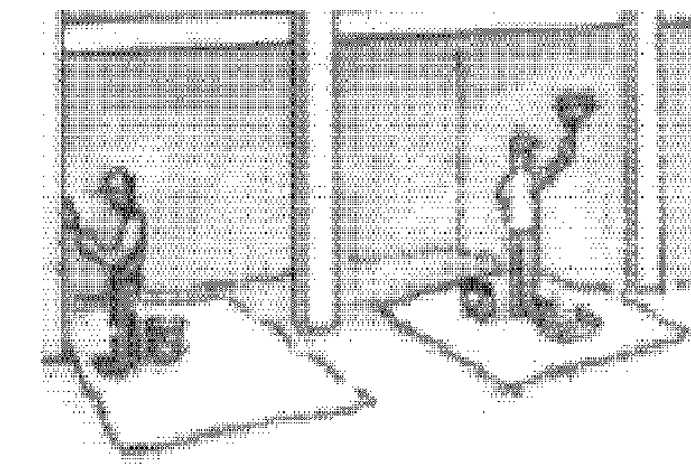
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

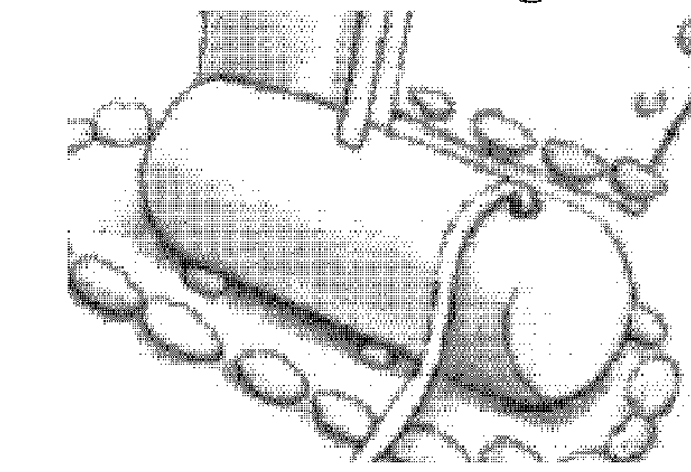
Painting & Paint Removal



Painting Cleanup and Removal

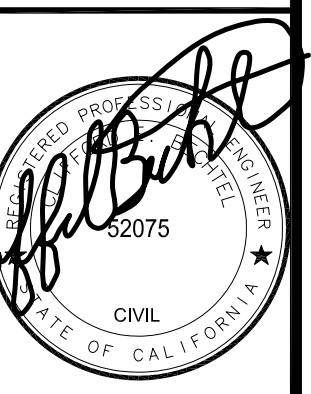
- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!



ROBINSON RESIDENCE
717 ETHELDORRE STREET
SAN MATEO COUNTY

Moss Beach

CONTENTS:
CONSTRUCTION
BMP
CHECKLIST

DATE 11/09/22

SCALE AS NOTED

REVISIONS:
REV. 01/09/22
REV. 05/09/23

DRAWN J.G.

CHECKED C.B.

JOB No. 2022803

SHEET NO.

C-4

OF 5 SHEETS