





# BEWLEY RESIDENCE

Audubon Ave.  
Montara, CA 94037  
A.P.N. 036-310-180

Architect

## HM,a+e

Henri Mannik,  
Architecture and Engineering

5429 Telegraph Ave.  
Oakland, CA 94609  
510 652 1511 p  
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Consultant

Stamp

Printing Date

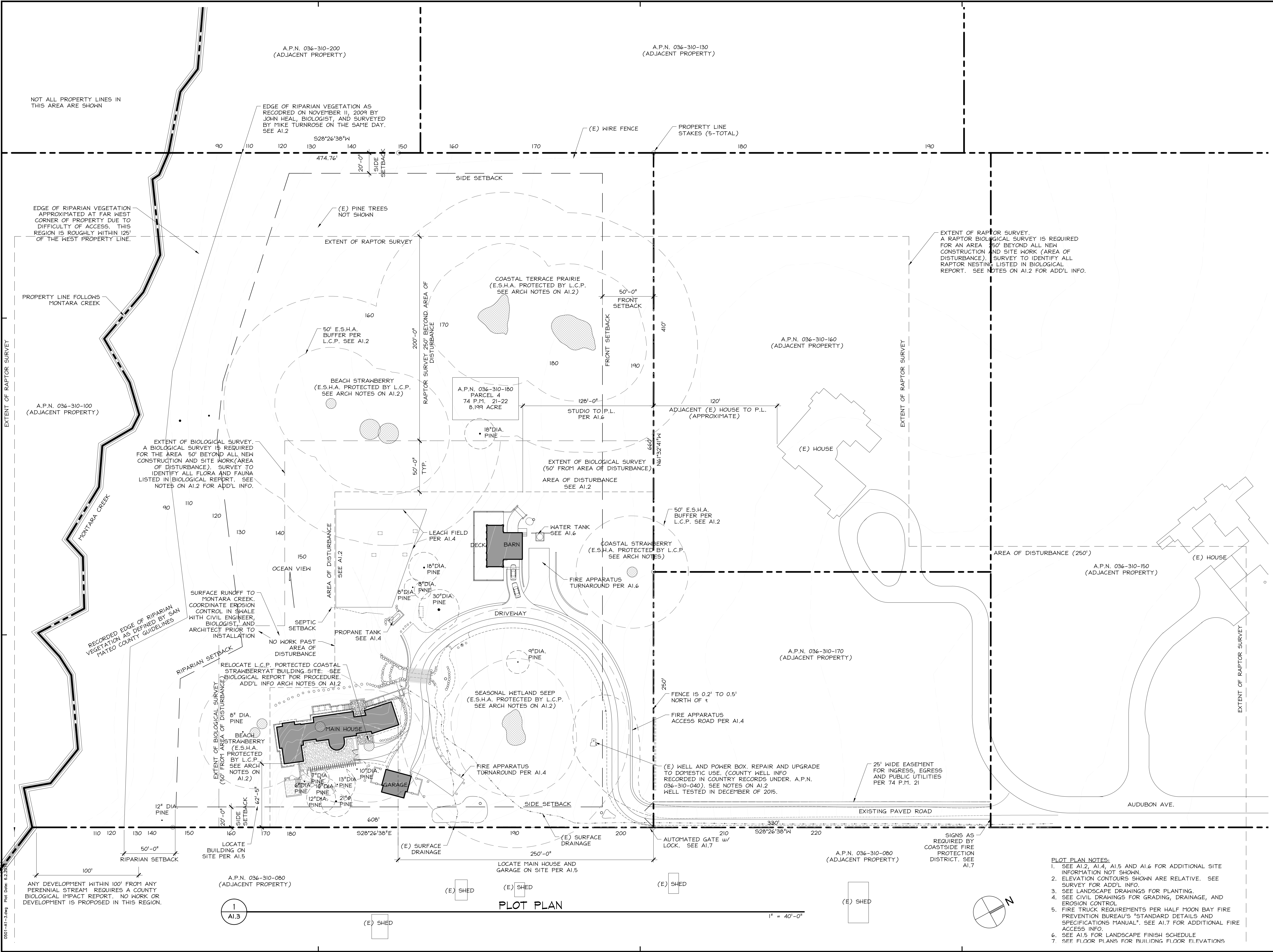
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|-------------------|------------|
| Planning Permit   | 03.18.2010 |
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| Planning          | 09.13.2011 |
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| Design Review     | 07.10.2015 |
| Story Pole        | 10.23.2015 |
| Site Drainage Rev | 04.10.2016 |

HM,a+e Job Number  
2005,01

### PLOT PLAN

Sheet Number

# A1.3



NOT ALL PROPERTY LINES IN THIS AREA ARE SHOWN

A.P.N. 036-310-200  
(ADJACENT PROPERTY)

A.P.N. 036-310-130  
(ADJACENT PROPERTY)

EDGE OF RIPARIAN VEGETATION AS RECORDED ON NOVEMBER 11, 2009 BY JOHN HEAL, BIOLOGIST, AND SURVEYED BY MIKE TURNROSE ON THE SAME DAY. SEE A1.2

EDGE OF RIPARIAN VEGETATION APPROXIMATED AT FAR WEST CORNER OF PROPERTY DUE TO DIFFICULTY OF ACCESS. THIS REGION IS ROUGHLY WITHIN 125' OF THE WEST PROPERTY LINE.

PROPERTY LINE FOLLOWS MONTARA CREEK

EXTENT OF BIOLOGICAL SURVEY. A BIOLOGICAL SURVEY IS REQUIRED FOR THE AREA 50' BEYOND ALL NEW CONSTRUCTION AND SITE WORK (AREA OF DISTURBANCE). SURVEY TO IDENTIFY ALL FLORA AND FAUNA LISTED IN BIOLOGICAL REPORT. SEE NOTES ON A1.2 FOR ADD'L INFO.

EXTENT OF RAPTOR SURVEY. A RAPTOR BIOLOGICAL SURVEY IS REQUIRED FOR AN AREA 150' BEYOND ALL NEW CONSTRUCTION AND SITE WORK (AREA OF DISTURBANCE). SURVEY TO IDENTIFY ALL RAPTOR NESTING LISTED IN BIOLOGICAL REPORT. SEE NOTES ON A1.2 FOR ADD'L INFO.

A.P.N. 036-310-100  
(ADJACENT PROPERTY)

A.P.N. 036-310-180  
PARCEL 4  
74 P.M. 21-22  
8.1991 ACRE

A.P.N. 036-310-160  
(ADJACENT PROPERTY)

EXTENT OF BIOLOGICAL SURVEY (50' FROM AREA OF DISTURBANCE)  
AREA OF DISTURBANCE SEE A1.2

A.P.N. 036-310-150  
(ADJACENT PROPERTY)

A.P.N. 036-310-170  
(ADJACENT PROPERTY)

SURFACE RUNOFF TO MONTARA CREEK. COORDINATE EROSION CONTROL IN SHALE WITH CIVIL ENGINEER, BIOLOGIST, AND ARCHITECT PRIOR TO INSTALLATION

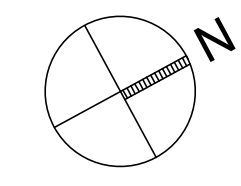
RELOCATE L.C.P. PROTECTED COASTAL STRAWBERRY AT BUILDING SITE. SEE BIOLOGICAL REPORT FOR PROCEDURE. ADD'L INFO ARCH NOTES ON A1.2

ANY DEVELOPMENT WITHIN 100' FROM ANY PERENNIAL STREAM REQUIRES A COUNTY BIOLOGICAL IMPACT REPORT. NO WORK OR DEVELOPMENT IS PROPOSED IN THIS REGION.

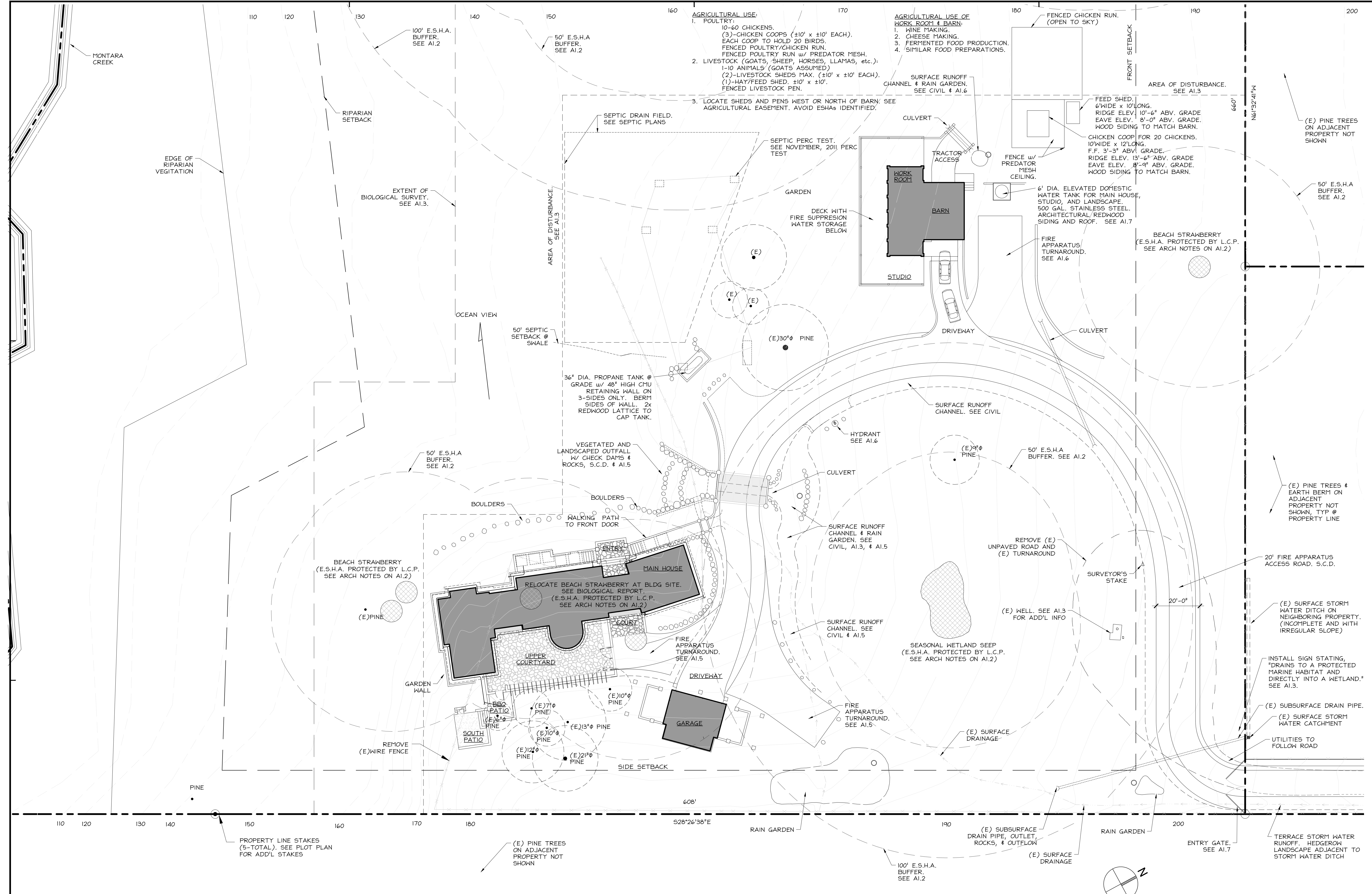
A.P.N. 036-310-080  
(ADJACENT PROPERTY)

### PLOT PLAN

1" = 40'-0"



050-A1-A1-3.dwg Plot Date: 8.2.2016



**SITE PLAN**

- SITE PLAN NOTES:**
- ELEVATION CONTOURS SHOWN ARE RELATIVE. SEE SURVEY FOR ADD'L INFO.
  - FIRE TRUCK REQUIREMENTS PER HALF MOON BAY FIRE PREVENTION BUREAU'S "STANDARD DETAILS AND SPECIFICATIONS MANUAL".
  - SEE A1.3 AND A1.5 FOR INFO NOT SHOWN.
  - SEE A1.5 FOR LANDSCAPE FINISH SCHEDULE.
  - SEE LANDSCAPE DRAWINGS FOR PLANTING AND SITE WORK.
  - SEE CIVIL DRAWINGS FOR GRADING, DRAINAGE, AND EROSION CONTROL.
  - SEE FLOOR PLANS FOR BUILDING FLOOR ELEVATIONS.
  - SEE GENERAL NOTES ON A1.2.

1  
A1.4

(E) SHED

(E) SHED

(E) SHED

(E) SHED

(E) HORSE CORRAL ON ADJACENT PROPERTY

Project  
**BEWLEY RESIDENCE**  
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| Design Review      | 07.10.2015 |
| Story Pole         | 10.23.2015 |
| Site Drainage Rev. | 04.10.2016 |
| Foundation Rev.    | 05.20.2016 |
| Contractor Set     | 06.29.2016 |
| Coordination       | 09.13.2016 |
| Civil Rev.         | 09.22.2016 |
| Planning           | 10.18.2016 |

HM,a+e Job Number  
2005,01

Sheet Title  
**SITE PLAN**

Sheet Number  
**A1.4**

0501-A1-A1-4.dwg Plot Date: 10.28.2016

### BEWLEY RESIDENCE

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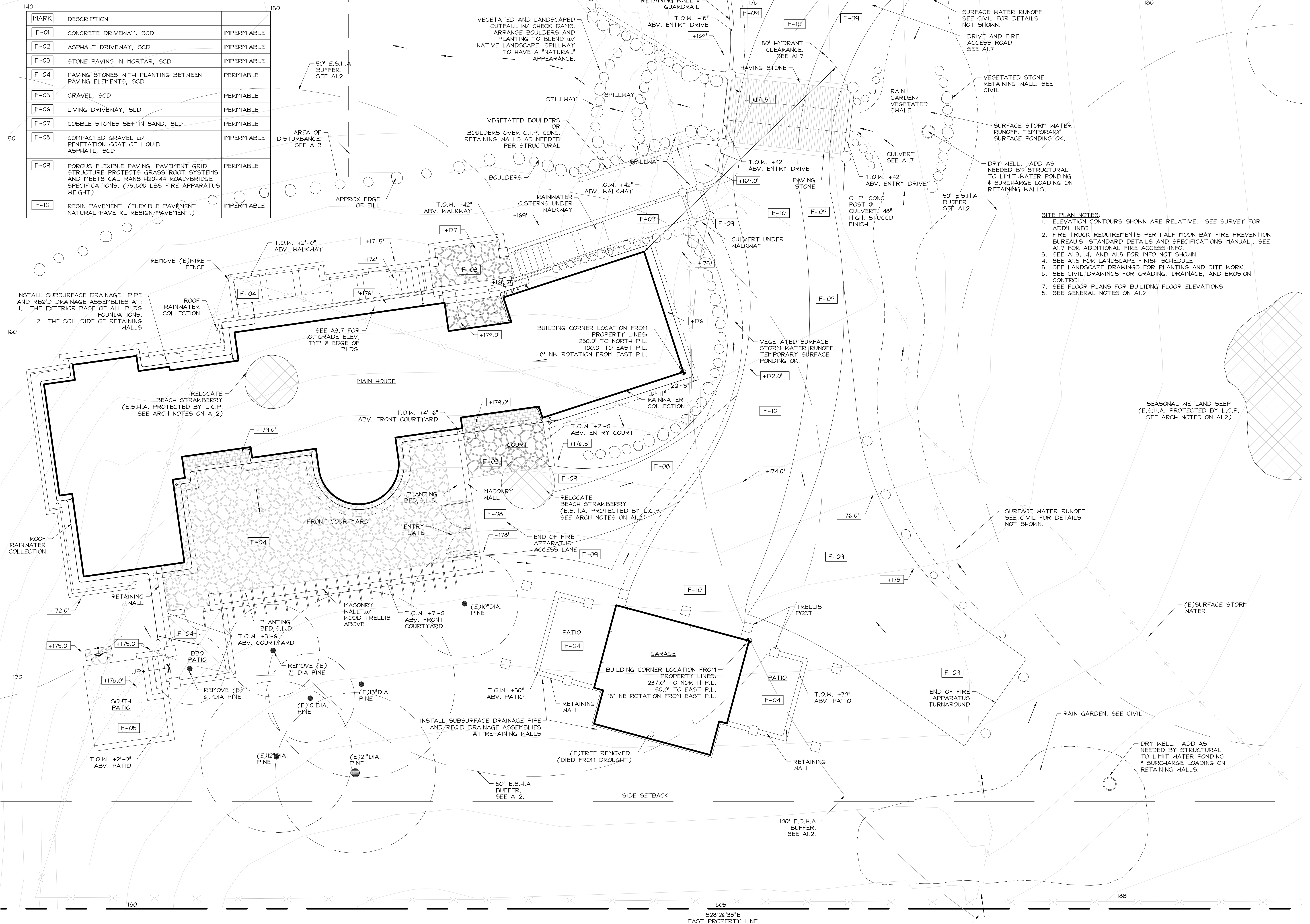
HM,a+e Job Number  
2005,01

### BUILDING SITE PLAN

Sheet Number

# A1.5

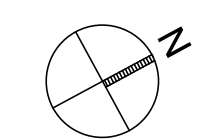
| MARK | DESCRIPTION   |             |
|------|---|-------------|
| F-01 | CONCRETE DRIVEWAY, SCD  | IMPERMIABLE |
| F-02 | ASPHALT DRIVEWAY, SCD   | IMPERMIABLE |
| F-03 | STONE PAVING IN MORTAR, SCD   | IMPERMIABLE |
| F-04 | PAVING STONES WITH PLANTING BETWEEN PAVING ELEMENTS, SCD  | PERMIABLE   |
| F-05 | GRAVEL, SCD   | PERMIABLE   |
| F-06 | LIVING DRIVEWAY, SLD  | PERMIABLE   |
| F-07 | COBBLE STONES SET IN SAND, SLD  | PERMIABLE   |
| F-08 | COMPACTED GRAVEL w/ PENETRATION COAT OF LIQUID ASPHALT, SCD   | IMPERMIABLE |
| F-09 | POROUS FLEXIBLE PAVING. PAVEMENT GRID STRUCTURE PROTECTS GRASS ROOT SYSTEMS AND MEETS CALTRANS H20-44 ROAD/BIDGE SPECIFICATIONS. (75,000 LBS FIRE APPARATUS WEIGHT) | PERMIABLE   |
| F-10 | RESIN PAVEMENT. (FLEXIBLE PAVEMENT NATURAL PAVE XL RESIN PAVEMENT.)   | IMPERMIABLE |



- SITE PLAN NOTES:**
- ELEVATION CONTOURS SHOWN ARE RELATIVE. SEE SURVEY FOR ADD'L INFO.
  - FIRE TRUCK REQUIREMENTS PER HALF MOON BAY FIRE PREVENTION BUREAU'S "STANDARD DETAILS AND SPECIFICATIONS MANUAL". SEE A1.7 FOR ADDITIONAL FIRE ACCESS INFO.
  - SEE A1.3, I.4, AND A1.5 FOR INFO NOT SHOWN.
  - SEE A1.5 FOR LANDSCAPE FINISH SCHEDULE.
  - SEE LANDSCAPE DRAWINGS FOR PLANTING AND SITE WORK.
  - SEE CIVIL DRAWINGS FOR GRADING, DRAINAGE, AND EROSION CONTROL.
  - SEE FLOOR PLANS FOR BUILDING FLOOR ELEVATIONS.
  - SEE GENERAL NOTES ON A1.2.

### MAIN BUILDING SITE PLAN

1/8" = 1'-0"



1  
A1.5

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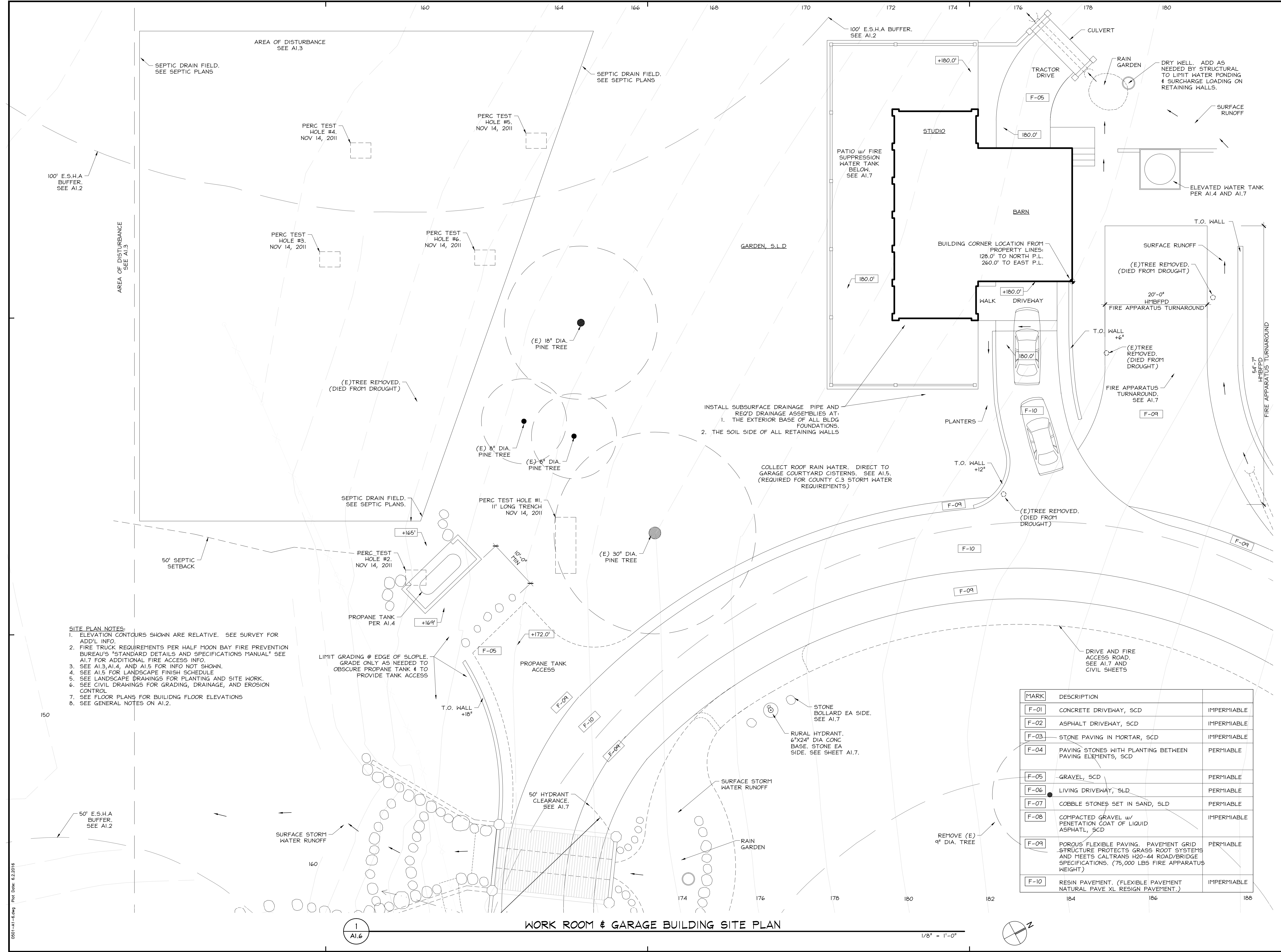
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2005,01

## BUILDING SITE PLAN

Sheet Number

# A1.6

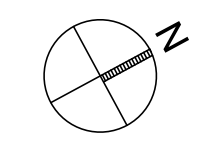


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  - SEE LANDSCAPE DRAWINGS FOR PLANTING AND SITE WORK.
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| F-06 | LIVING DRIVEWAY, SLD  | PERMIABLE   |
| F-07 | COBBLE STONES SET IN SAND, SLD  | PERMIABLE   |
| F-08 | COMPACTED GRAVEL w/ PENETRATION COAT OF LIQUID ASPHALT, SCD   | IMPERMIABLE |
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| F-10 | RESIN PAVEMENT. (FLEXIBLE PAVEMENT NATURAL PAVE XL RESIN PAVEMENT.)   | IMPERMIABLE |

### WORK ROOM & GARAGE BUILDING SITE PLAN

1/8" = 1'-0"



0501-A1.6-6.dwg Plot Date: 6.2.2016

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## FIRE ACCESS & SITE DETAILS

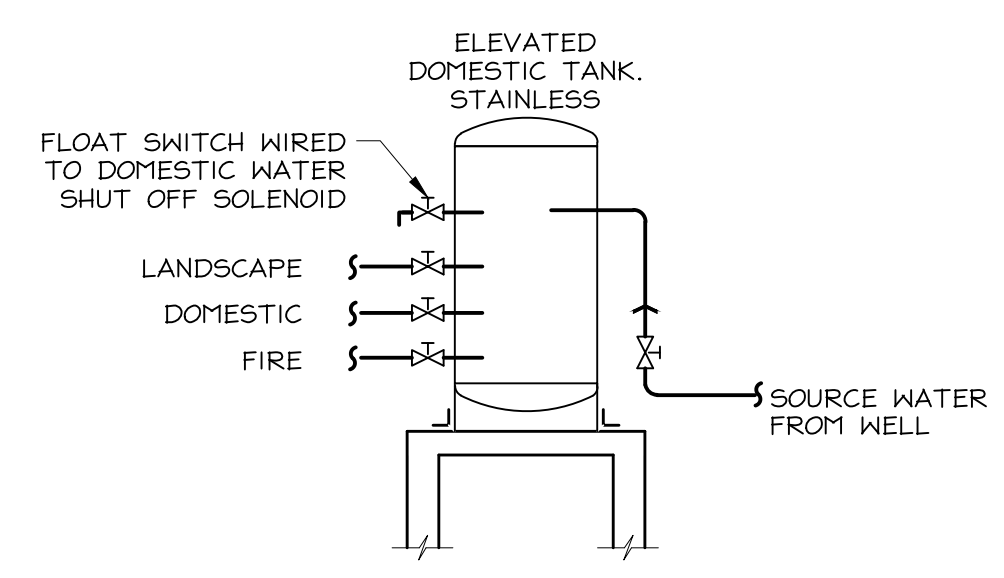
Sheet Number

# A1.7

### WATER TANKS:

SEE A2.5, A1.4

- NOTES:**
- A SCREENED VENT 1.5 TIMES THE DIAMETER OF THE OUTLET IS REQUIRED. (e.g. 4" OUTLET=6" VENT).
  - WATER TANK(S) SUPPLYING HYDRANTS SHALL BE LOCATED AT AN ELEVATION WHICH PROVIDES ADEQUATE POSITIVE PRESSURE.
  - WATER TANKS SHALL BE INTERCONNECTED BY USING A MINIMUM PIPE SIZE OF 4 INCH. INTERCONNECTION PIPING AND VALVES MUST BE OF A MATERIAL NOT DAMAGED BY UV EXPOSURE. THE CROSS CONNECTION SHALL ALSO HAVE AN APPROPRIATELY SIZED CONTROL VALVE LOCATED AT EACH TANK.
  - LANDSCAPING WATER SUPPLY SHALL NOT BE STORED IN TANKS PROVIDING WATER FOR FIRE HYDRANTS. THE LANDSCAPING WATER IS IN ADDITION TO THAT REQUIRED FOR FIRE PROTECTION AND AN AUTOMATIC ACTIVATED SOLENOID VALVE SHALL BE REQUIRED TO AVOID PRESSURE LOSS IN FIRE PROTECTION WATER SUPPLY DUE TO LARGE DEMAND FROM THE SAME WATER SUPPLY (LANDSCAPING OR AGRICULTURAL IRRIGATION).
  - WATER TANKS USED FOR FIRE PROTECTION SHALL REMAIN FULL AT ALL TIMES, AND SHALL BE FILLED AUTOMATICALLY FROM A RELIABLE WATER SOURCE (e.g. WELL, YEAR ROUND SPRING OR CREEK).
  - WHERE WATER TANKS PROVIDE BOTH DOMESTIC AND FIRE PROTECTION SUPPLY, THE WATER TANK SHALL BE FITTED WITH A FLOAT SWITCH WIRED TO THE DOMESTIC WATER SHUT OFF SOLENOID.
  - CONTROL VALVES SHALL BE PROVIDED FOR ALL HYDRANT INSTALLATIONS AND BE LOCATED AT THE TANK OR IN A LOCATION APPROVED BY THE FIRE MARSHALL.
  - ALL ABOVE GROUND FIRE SPRINKLER OR FIRE HYDRANT WATER PIPING SHALL BE METALLIC.
  - LABEL ALL TANKS, PIPES, & VALVES FOR FUNCTION: "FIRE", "DOMESTIC", OR "LANDSCAPE."
  - SEE WATER SYSTEM PLAN FOR DETAILED DESIGN OF FIRE PROTECTION SYSTEM. THE DETAIL SHOWN IS A SCHEMATIC DRAWING FOR PLANNING APPROVAL. IF THESE DETAILS CONFLICT WITH THE WATER SYSTEM PLAN, THE WATER SYSTEM PLAN SHALL GOVERN.
  - DOMESTIC & FIRE WATER SUPPLY SHALL NOT BE IN SEPARATE TANKS.
  - WATER SUPPLY SHALL BE IN MINIMUM TWO TANKS. ALL FITTINGS SHALL OPERATE IN A MANNER ALLOWING ONE TANK TO REMAIN OPERATING WHILE THE OTHER TANK IS REPAIRED.
  - WATER TANKS SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS.
  - DOMESTIC WATER SHALL BE STORED IN STAINLESS STEEL.



### RURAL HYDRANTS:

SEE A1.5

- NOTES:**
- HYDRANTS SHALL BE LOCATED NO CLOSER THAN 50' TO ANY BUILDING, NO FURTHER AWAY THAN 150' OF THE PROTECTED STRUCTURE, AND BE LOCATED ON THE FIRE DEPARTMENT ACCESS SIDE OF THE BUILDING.
  - HYDRANT SUPPLY PIPE SHALL BE LISTED AND APPROVED FOR FIRE PROTECTION SERVICE FOR UNDERGROUND PIPE, SUCH AS AWWA C900.
  - PIPES SUPPLYING RURAL HYDRANTS SHALL HAVE A MINIMUM DIAMETER OF NO LESS THAN 4" STANDARD.
  - RURAL HYDRANTS SHALL HAVE AT LEAST ONE 4" OUTLET WITH "NATIONAL HOSE" THREAD STANDARD AND SHALL HAVE A REMOVABLE METALLIC CAP.
  - THE HYDRANT RISER AND ELBOW SHALL BE STEEL. ALL ABOVE GROUND PIPING USED FOR FIRE HYDRANT WATER SUPPLY SHALL BE METALLIC.
  - HYDRANTS SHALL HAVE A CONCRETE PAD. SEE DETAIL.
  - ALL HYDRANTS SHALL BE POSITIVE PRESSURE AND MEET THE REQUIRED FIRE FLOW ON DEMAND. (HYDRANTS REQUIRING PRIMING, SHALL NOT BE CONSIDERED AS A PRIMARY WATER SOURCE).
  - CONCRETE THRUST BLOCKS (WHEN REQUIRED) SHALL BE SIZED IN ACCORDANCE WITH NATIONAL STANDARDS AND SHALL BE PROVIDED AT ALL CHANGES IN PIPE DIRECTION. SEE DETAIL.
  - ALL HYDRANTS SHALL HAVE A 3" DIAMETER MINIMUM PHYSICAL CLEARANCE FROM RETAINING WALLS, GUARDPOSTS, ROCKS, ETC..
  - FLAMMABLE VEGETATION SHALL BE CLEARED FOR A MINIMUM 8' RADIUS AROUND ALL HYDRANTS REGARDLESS OF TYPE.
  - PERMANENT GUARD POSTS OR BOLLARDS SHALL BE INSTALLED TO PROTECT EXPOSED FIRE HYDRANTS FROM VEHICULAR DAMAGE.
  - HYDRANTS SHALL NOT BE OBSTRUCTED BY PARKING OR IN ANY OTHER MANNER. "NO PARKING" SIGNS MAY BE REQUIRED.
  - HYDRANT LOCATION SHALL BE IDENTIFIED BY THE INSTALLATION OF BLUE REFLECTIVE MARKERS.
  - RURAL HYDRANTS SHALL HAVE A PERMANENT SIGN AFFIXED, RED IN COLOR WITH WHITE 1" INCH LETTERS STATING "WET DRAFT HYDRANT...GALLONS", WITH THE GALLONS OF WATER AVAILABLE TO THE HYDRANT PROVIDED, SHALL BE PAINTED RED AND HAVE A MINIMUM 2" BLUE REFLECTIVE BAND AROUND THE TOP OF THE PIPE JUST BELOW THE VALVE.

### CULVERT:

SEE GARAGE COURTYARD ON A1.5

- NOTES:**
- WHEN A CULVERT IS USED AS A PART OF EMERGENCY ACCESS, IT SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH AASHTO HB-17. THE CULVERT SHALL BE DESIGNED FOR A LIVE LOAD SUFFICIENT TO CARRY THE IMPOSED LOADS OF FIRE APPARATUS AS STATED HEREIN.
  - WEIGHT: EVERY PRIVATE CULVERT (BRIDGE) HEREAFTER CONSTRUCTED OR RE-CONSTRUCTED DUE TO DAMAGE, DETERIORATION, OR OBSOLESCENCE SHALL BE DESIGNED TO SUPPORT AN IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75,000 LBS. VEHICLE LOADS SHALL BE POSTED AND DATED AT BOTH ENTRANCES TO BRIDGES. (HS20-44 HIGHWAY LOADING)
  - WIDTH: ALL CULVERTS (BRIDGES) MUST BE A MINIMUM OF 20 FEET CLEAR WIDTH. ONE-WAY CULVERTS (BRIDGES), AND CULVERTS (BRIDGES) WITH LESS THAN 20' OF CLEAR WIDTH, REQUIRE A TURNOUT AT BOTH ENDS TO THE BRIDGE.

### GATES:

SEE A1.3

- NOTES:**
- GATES SHALL BE A MINIMUM OF 2 FEET WIDER THAN THE ROADWAY THEY SERVE.
  - OVERHEAD GATE STRUCTURES SHALL HAVE A MINIMUM OF 13 1/2 FEET OF VERTICAL CLEARANCE.
  - LOCKED GATES SHALL BE PROVIDED WITH A KNOX BOX OR KNOX PADLOCK FOR THE FIRE DEPARTMENT ACCESS.
  - ELECTRIC GATES SHALL BE PROVIDED WITH A KNOX GATE SWITCH AND AUTOMATICALLY OPEN DURING POWER FAILURES UNLESS EQUIPPED WITH MANUAL OVERRIDE CAPABILITY (WHEN AUTHORIZED BY COASTSIDE FIRE DIST.).
  - GATES PROVIDING FIRE ACCESS TO A DRIVEWAY OR OTHER ROADWAY SHALL BE LOCATED AT LEAST 35 FEET FROM THE PRIMARY ROAD OR STREET AND SHALL OPEN TO ALLOW A VEHICLE TO STOP WITHOUT OBSTRUCTING TRAFFIC ON THE ADJOINING ROADWAY.
  - CONTACT COASTSIDE FIRE DISTRICT FOR KNOX BOX APPLICATION.

### EMERGENCY ACCESS ROADS

SEE A1.4, A1.6, AND CIVIL DRAWINGS

- NOTES:**
- EMERGENCY ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED MINIMUM WIDTH OF 20'-0".
  - WHERE HYDRANTS ARE LOCATED, THE ROAD SHALL BE A MINIMUM OF 26 FEET WIDE FOR A LENGTH OF 20 FEET ON EACH SIDE OF THE HYDRANT (40 FEET TOTAL LENGTH).
  - EMERGENCY ACCESS ROADS SHALL HAVE 13'-6" FEET OF VERTICAL CLEARANCE.
  - EMERGENCY ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOAD OF A FIRE APPARATUS WEIGHING AT LEAST 75,000 LBS AND SHALL HAVE A MINIMUM OF 2" ASPHALT SURFACE PROVIDING ALL-WEATHER DRIVING CAPABILITIES. SEE CIVIL DETAILS.
  - GRADES OF LESS THAN 15% SHALL BE SURFACED WITH A MINIMUM CLASS 2 AGGREGATE BASE WITH 95% COMPACTION AND AN ASPHALT SURFACE. U.O.N.
  - GRADES OF 15% TO 20% SHALL REQUIRE A NON-SKID ASPHALT OR CONCRETE SURFACE, OR EQUIVALENT, U.O.N.
  - WATER TANKS USED FOR FIRE PROTECTION SHALL REMAIN FULL AT ALL TIMES, AND SHALL BE FILLED AUTOMATICALLY FROM A RELIABLE WATER SOURCE (e.g. WELL, YEAR ROUND SPRING OR CREEK).
  - THE CENTERLINE TURNING RADIUS FOR EMERGENCY APPARATUS ACCESS ROADS SHALL BE 35 FEET.
  - DEAD-END EMERGENCY ACCESS EXCEEDING 150 FT SHALL BE PROVIDED WITH WIDTH AND TURNAROUND PROVISIONS MEETING CALIFORNIA FIRE CODE APPENDIX D.
  - TURNAROUNDS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE NO GREATER THAN EIGHT PERCENT (8%). THE LONGITUDINAL SLOPE IS DEFINED AS THE SLOPE CORRESPONDING TO THE LONG AXIS OF A VEHICLE AS IT TRAVELS INTO, OUT OF, AND THROUGH A TURNAROUND. THIS SLOPE SHALL BE MAINTAINED BEGINNING AT AND ENDING AT THE POINT OF TANGENCY OF THE EDGE OF THE PAVEMENT CURVES FOR THE TURNAROUND.
  - THE CROSS SLOPE PERPENDICULAR TO THE LONGITUDINAL SLOPE SHALL NOT EXCEED FIVE PERCENT (5%).
  - ROAD GRADES SHALL NOT EXCEED 20%.
  - GRADES 15% TO 20% SHALL BE LIMITED TO 150 FT. IN LENGTH.
  - 20-26 FEET ROAD WIDTH-NO PARKING ON EITHER SIDE OF THE ROADWAY.
  - 26-35 FEET ROAD WIDTH-PARKING IS ALLOWED ON ONLY ONE SIDE OF ROADWAY.
  - 36 FEET ROAD WIDTH-PARKING IS NOT RESTRICTED.
  - POLES, FENCES, STONES, OR VISIBLE MARKERS SHALL INDICATE THE EDGE OF FIRE LANES.
  - PROVIDE ALLOWANCE FOR ALL SIGNS AND MARKERS.

### BRIDGE:

NO BRIDGES USED. CULVERTS ONLY USED.

- NOTES:**
- BRIDGES SHALL MEET ALL CULVERT REQUIREMENTS.
  - CERTIFICATION: EVERY PRIVATE BRIDGE PROVIDING FIRE APPARATUS ACCESS HEREAFTER CONSTRUCTED OR RE-CONSTRUCTED SHALL BE ENGINEERED BY A LICENSED CIVIL OR STRUCTURAL ENGINEER AND APPROVED BY THE FIRE MARSHALL. CERTIFICATION THAT THE BRIDGE COMPLIES WITH STRUCTURAL DESIGN STANDARDS MUST BE PROVIDED TO THE FIRE CHIEF.
  - RE-CERTIFICATION: EVERY PRIVATE BRIDGE SHALL BE RE-CERTIFIED EVERY TEN (10) YEARS OR WHENEVER DEEMED NECESSARY BY THE FIRE MARSHALL.

### BUILDING FIRE PROTECTION:

SEE PLANS AND DETAILS

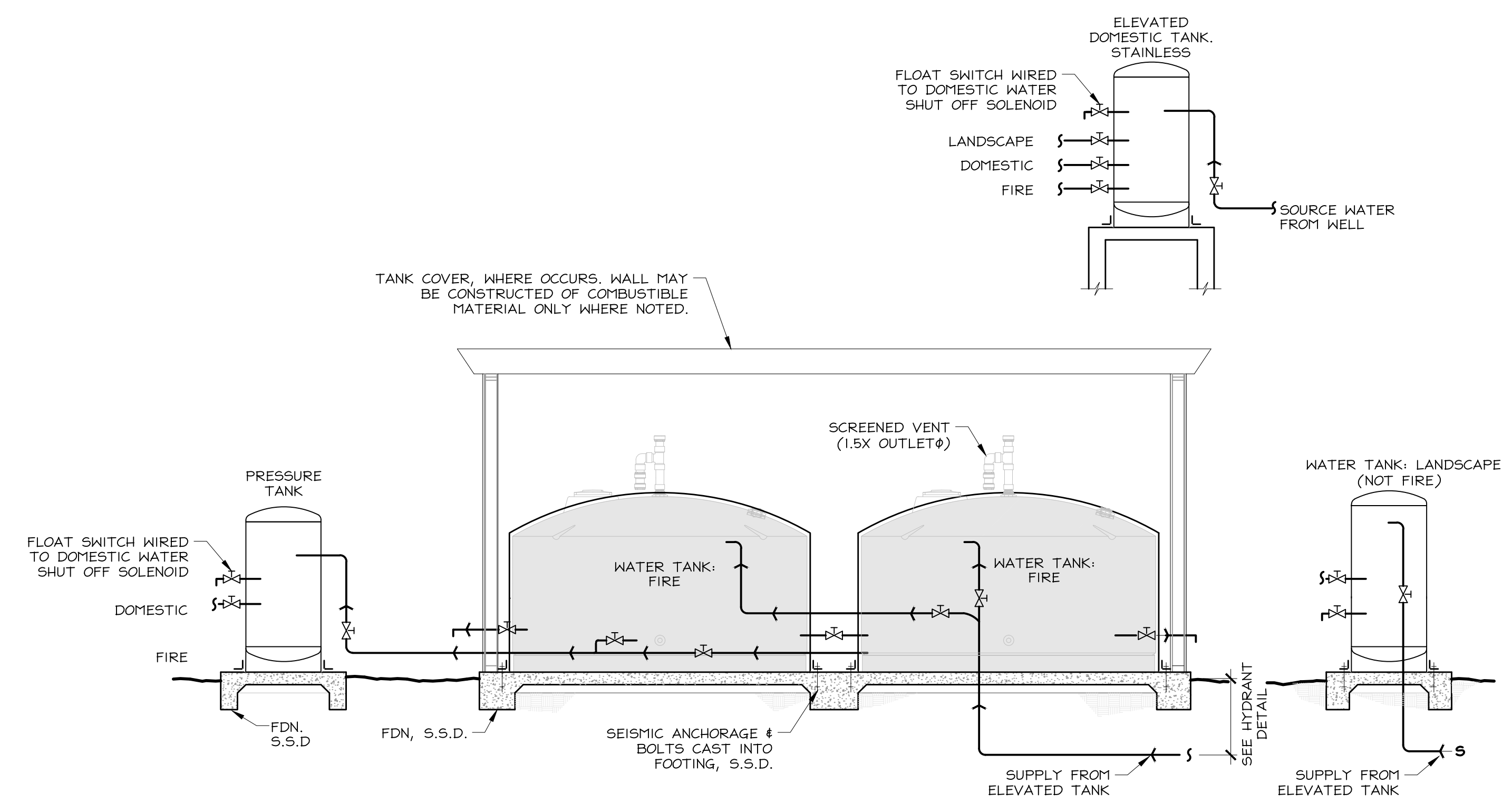
- NOTES:**
- THE BUILDING SHALL BE FULLY PROTECTED WITH A MODIFIED NFPA 13D RESIDENTIAL RISK SPRINKLER SYSTEM AS REQUIRED BY THE CODE.
  - PROVIDE DRAFT STOPS AND FIRE BLOCKING AS REQUIRED BY CBC.
  - SMOKE AND CARBON MONOXIDE ALARMS SHOWN ARE CONNECTED TO THE BUILDING'S ELECTRICAL SYSTEM. ALARMS SHALL HAVE BATTERY BACKUP.
  - PROVIDE SMOKE ALARMS IN EACH BEDROOM. NOTIFY ARCH IF ANY BEDROOMS DO NOT HAVE AN ALARM.
  - INTERCONNECT SMOKE ALARMS IN NEW CONSTRUCTION AND IN REMODELS. WITH REMODELS, INTERCONNECTION TO EXISTING BEDROOM ALARMS IS NOT REQUIRED IF FINISHES NEED TO BE REMOVED, U.O.N.
  - FIRE BLOCKS SHALL BE 2X NOMINAL LUMBER, 3/4" PLYWOOD, 5/8" GYPSUM WALL BOARD. BATT INSULATION OR MINERAL WOOL INSULATION MAY BE USED AS NOTED.
  - FIRE BLOCK ALL STUD BAYS AND VERTICAL WALL CAVITIES WITHIN STRUCTURAL WALLS, PARTITION WALLS, STAIR STRINGERS, AND FURRED WALLS. PROVIDE BLOCKING AT THE FLOOR AND CEILING.
  - FIRE BLOCK IF WALLS EXCEED 10' IN HEIGHT, ADD BLOCKING AT 10' O.C.
  - VERTICAL BLOCK AT 10' O.C. HORIZONTAL
  - FIRE BLOCK AT ALL INTERSECTIONS BETWEEN VERTICAL AND HORIZONTAL CAVITIES SUCH AS, CRAWL SPACE TO WALL, WALL TO CEILING, SOFFITS AND DROPPED CEILINGS.
  - FIRE BLOCK AT VENT, PIPE, DUCT, CHIMNEY, AND FIREPLACE OPENINGS.
  - FIRE BLOCK AT CONCEALED OPENINGS BETWEEN FLOORS.
  - PROVIDE DRAFTSTOPS AT ALL OPEN CONCEALED SPACES OR CAVITIES BETWEEN USABLE STACKED HABITABLE SPACES. IN THESE AREAS SUCH AS, OPEN WEB FLOOR JOIST OR TRUSSES, INSTALL DRAFTSTOPS AT THE FOLLOWING CONDITIONS:
    - AREAS GREATER THAN 1000 SQUARE FEET
    - AT EACH JOIST 30'O.C., AT EDGES OF KITCHEN
    - AT GARAGE WALLS
    - AT UTILITY ROOMS WITH EQUIPMENT USING COMBUSTIBLE FUELS.
    - PROVIDE DRAFTSTOPS IN SOFFIT AREAS GREATER THAN 500 SQUARE FEET.
  - DRAFTSTOPS SHALL BE 2X LUMBER, SHEET METAL, 3/4" PLYWOOD, OR 5/8" GYPSUM WALL BOARD.

### WATER TANK CAPACITIES:

SEE A2.5 FOR LOCATION. SEE A3.11, A3.12, A3.13. SEE A1.4

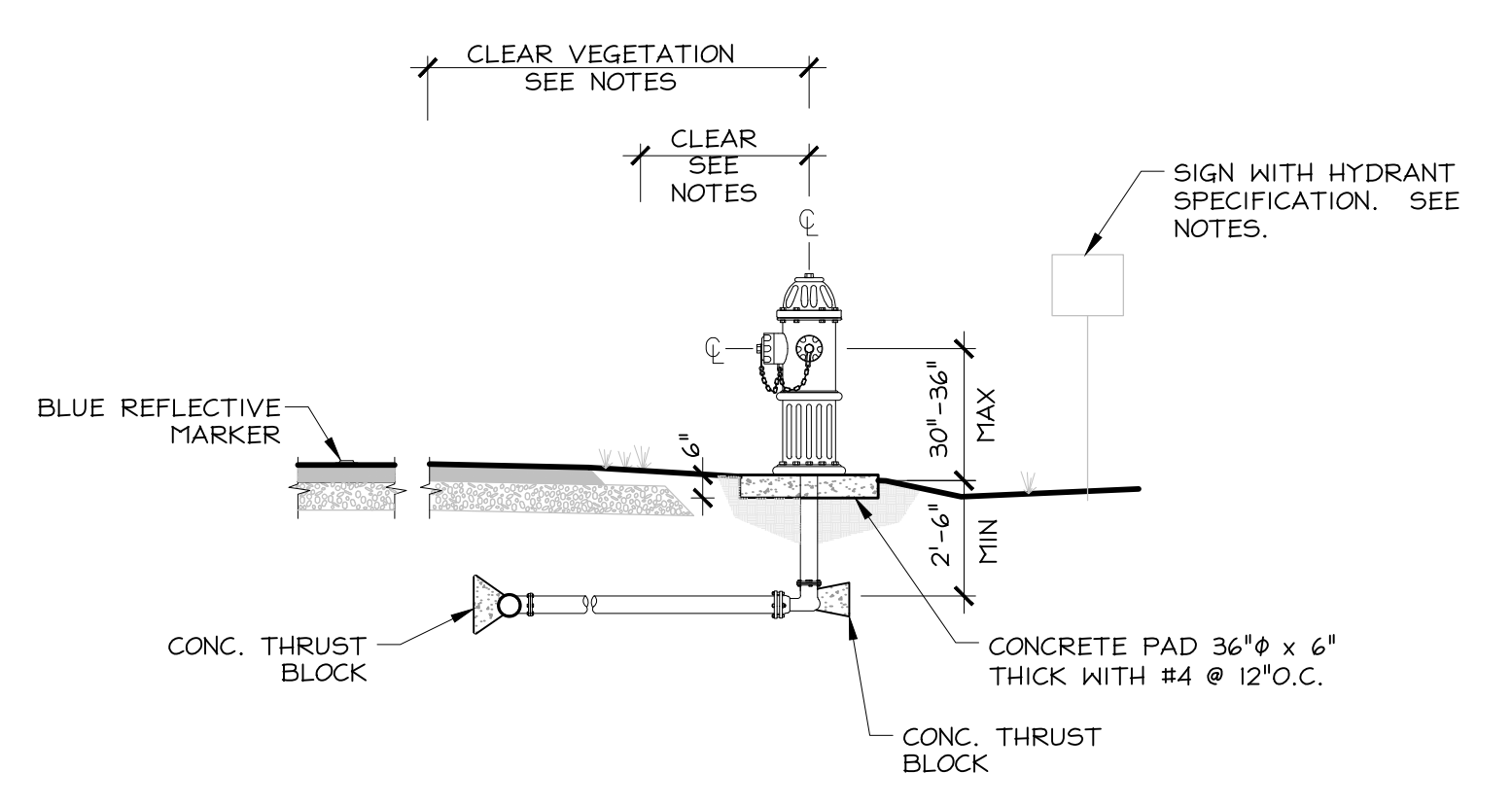
- NOTES:**
- 10,000 GALLONS FOR FIRE SUPPRESSION.
    - 4 - 2,500 GALLON TANKS. PLASTIC, ABV GRADE, "TUNA CAN". LOCATED UNDER STUDIO DECK. GRID 1-4/ LINES-B,D,F,H
  - 2,000 GALLONS FOR SPRINKLER
    - 2 - 1,000 GALLON TANKS. PLASTIC, ABV GRADE, "TUNA CAN". LOCATED UNDER STUDIO DECK. GRID LINE-L, APPROX
  - 500 GALLONS FOR DOMESTIC AND LANDSCAPE.
    - ELEVATED TANK NORTH OF BARN, GRID LINE-D STAINLESS STEEL (300 GALLONS FOR DOMESTIC PER DAY PER PLANING PERMIT)

TANK COVER, WHERE OCCURS, WALL MAY BE CONSTRUCTED OF COMBUSTIBLE MATERIAL ONLY WHERE NOTED.



### WATER TANKS SCHEMATIC

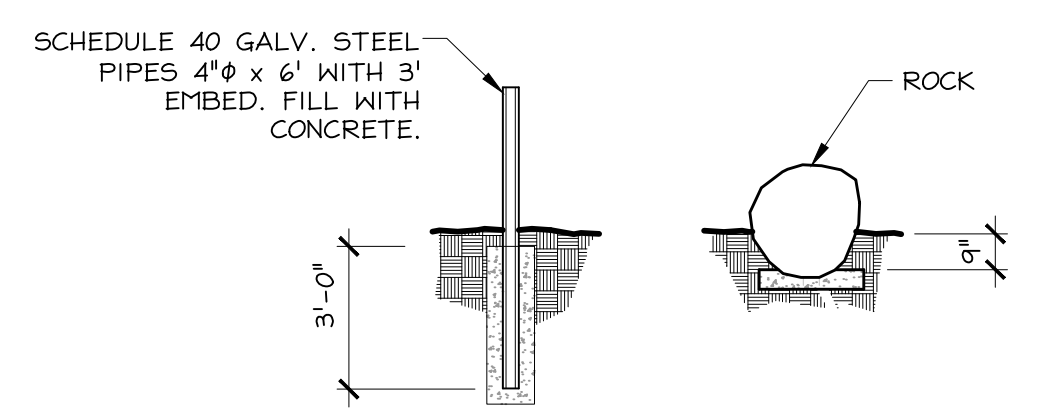
1/4" = 1'-0"



### FIRE HYDRANT

1/4" = 1'-0"

3  
A1.7



### GUARD POSTS

1/4" = 1'-0"

2  
A1.7

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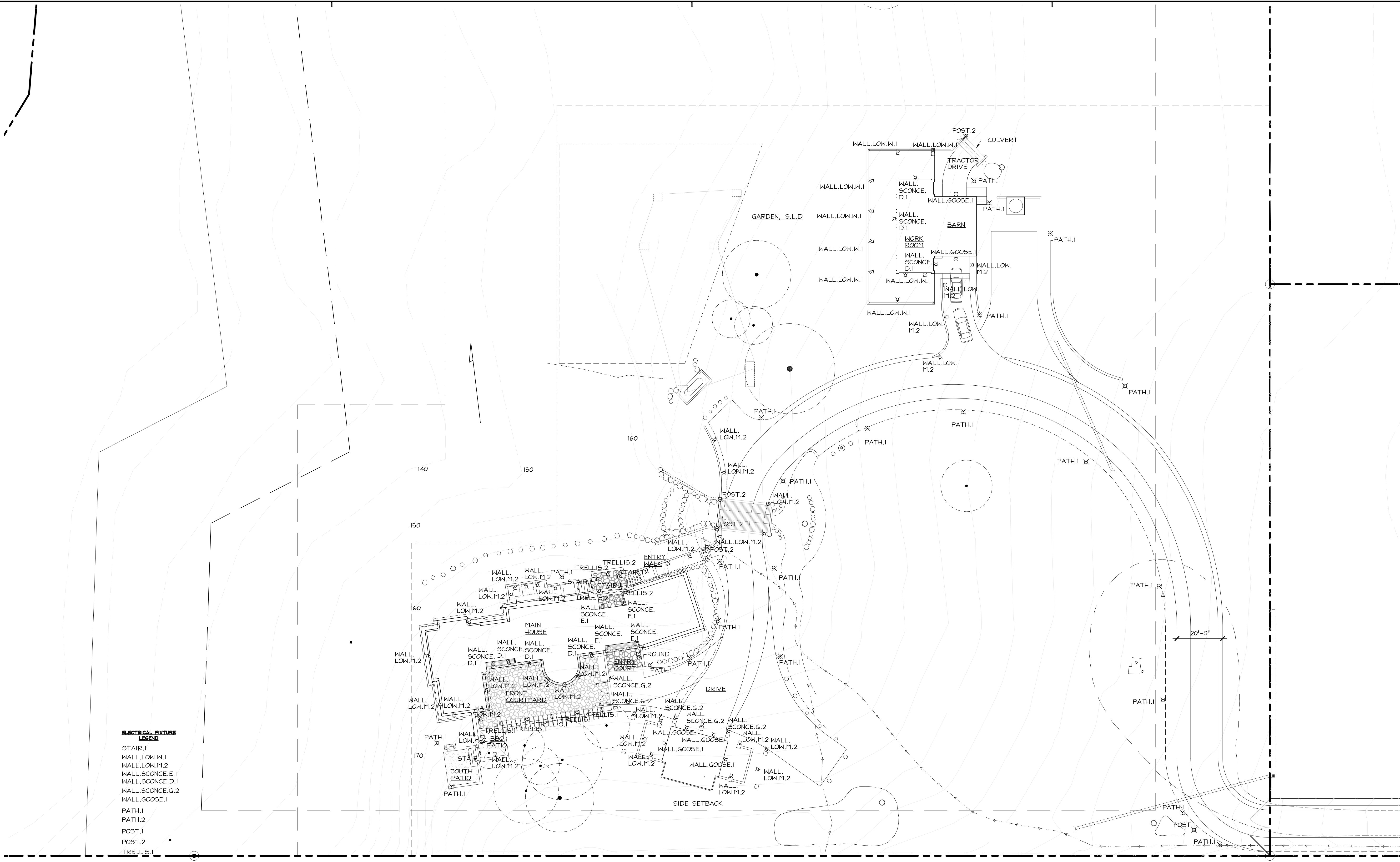
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| Coordination      | 09.12.2011 |
| Planning          | 09.13.2011 |
| Coordination      | 10.05.2011 |
| Coordination      | 10.11.2011 |
| Coordination      | 07.19.2013 |
| Coordination      | 08.08.2013 |
| Coordination      | 10.07.2013 |
| Coordination      | 10.21.2013 |
| Coordination      | 11.05.2013 |
| Constraints Map   | 11.07.2013 |
| Constraints Map   | 11.25.2013 |
| Coordination      | 03.19.2014 |
| D.R.Pre-app conf. | 03.26.2014 |
| Design Review     | 08.12.2014 |
| Story Pole        | 11.14.2014 |
| D.R. coord        | 06.08.2015 |
| Design Review     | 07.10.2015 |
| Story Pole        | 10.23.2015 |
| Site Drainage Rev | 04.10.2016 |

HM,a+e Job Number  
2005,01

### SHEET TITLE LIGHTING SITE PLAN

Sheet Number

# E1.4



- ELECTRICAL FIXTURE LEGEND**
- STAIR.1
  - WALL.LOW.W.1
  - WALL.LOW.M.2
  - WALL.SCONCE.E.1
  - WALL.SCONCE.D.1
  - WALL.SCONCE.G.2
  - WALL.GOOSE.1
  - PATH.1
  - PATH.2
  - POST.1
  - POST.2
  - TRELLIS.1

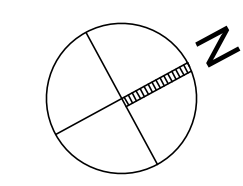
**NOTES:**  
1. SEE COUNTY DESIGN REVIEW SUBMITTAL FOR LIGHTING SCHEDULE AND DETAILS ON SELECTED EXTERIOR LIGHT FIXTURES.

- ELECTRICAL LEGEND**
- ⊗ LANDSCAPE LIGHT FIXTURE
  - WALL SCONCE
  - STEP LIGHT

1  
E1.4

### SITE LANDSCAPE LIGHTING PLAN DARKSKY COMPLIANCE

1" = 20'-0"



- SITE PLAN NOTES:**
- SEE A1.3, A1.4, A1.5, AND A1.6 FOR INFO NOT SHOWN.
  - SEE PROJECT MANUAL FOR LIGHTING FIXTURE SCHEDULE.
  - EXTERIOR LIGHTING SHALL BE DARK SKY COMPLIANT.
  - SEE BUILDING ELEVATIONS IN A3 SERIES FOR ADDITIONAL LIGHT FIXTURES ATTACHED TO THE BUILDING THAT ARE NOT SHOWN ON ELECTRICAL SITE PLAN.
  - SEE SHEET A1.2 AND NOTE SECTION, "BIOLOGICAL MITIGATION" FOR REQUIREMENTS ON ARCHITECTURAL COPPER AND BMPs REGARDING COPPER FINISHES.
  - NO FACTORY PATINA OR ON SITE PATINA ON COPPER. (SEE A1.2 FOR INFO. ON ACID WASH AND REQ'D BMPs) ALLOW COPPER TO PATINA NATURALLY.
  - SEE S.M. COUNTY ZONING REGULATIONS FOR LIGHTING REQUIREMENTS. SECTION: 6565.20(F).4



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| Coordination      | 9.25.2009 |
| Planning Permit   | 4.14.2014 |
| Design Review     | 7.10.2015 |
| Planning Resubmit | 3.22.2017 |

HM,a+e Job Number  
2005,01

Sheet Title  
**OVERALL LAYOUT SHEET**  
Sheet Number

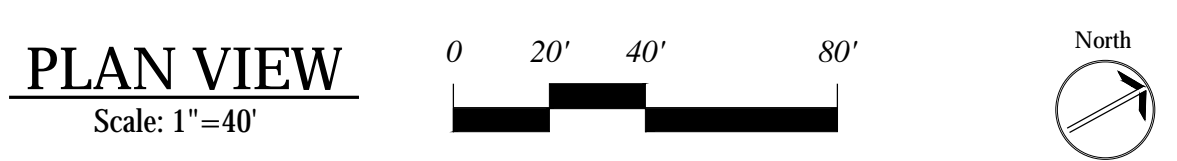
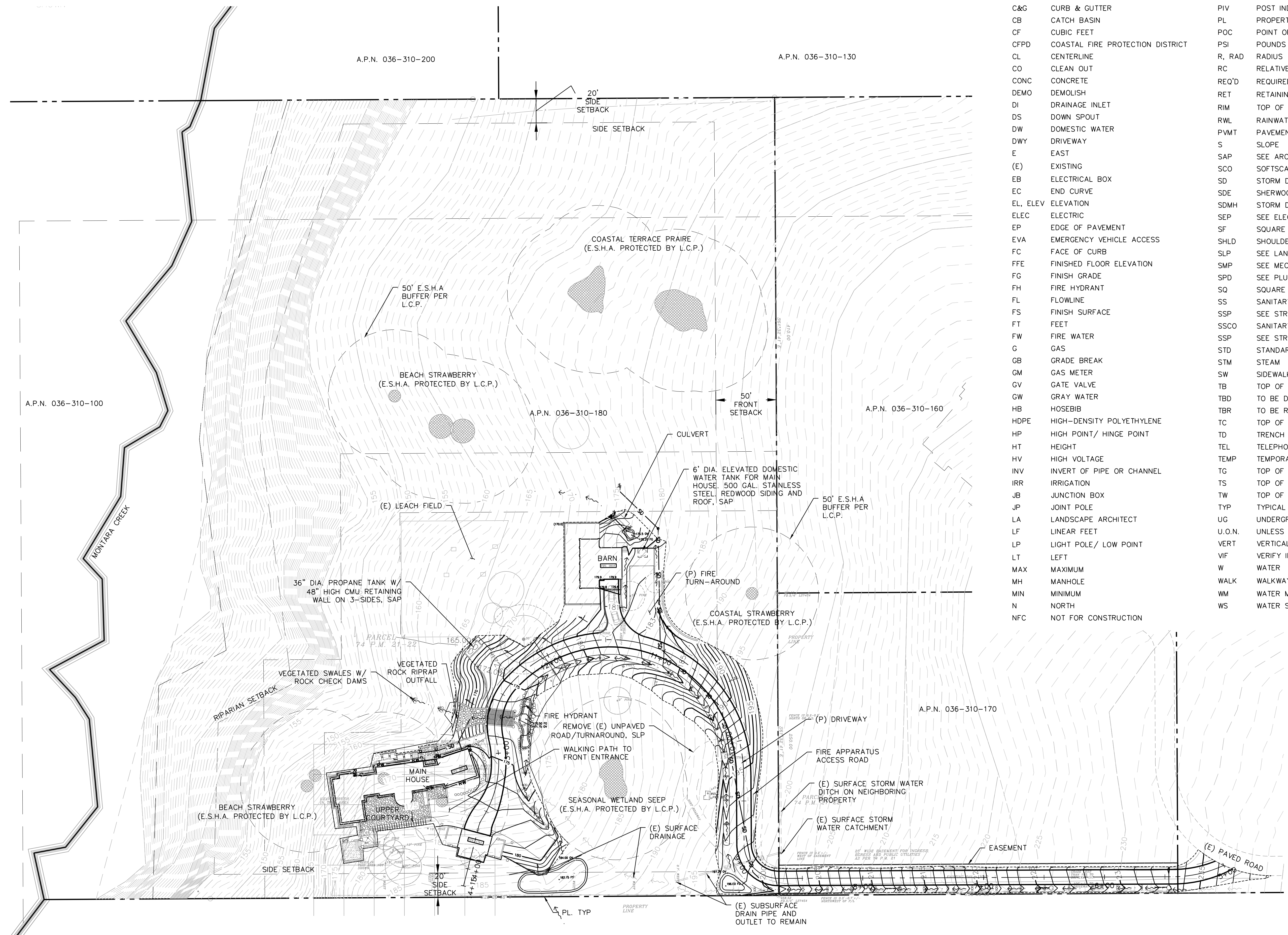
# C0.0

### SHEET INDEX

|      |                            |
|------|----------------------------|
| C0.0 | LAYOUT PLAN                |
| C2.0 | PLAN & PROFILE ACCESS ROAD |
| C2.1 | PLAN & PROFILE DRIVEWAY    |
| C3.0 | GRADING & DRAINAGE PLAN    |
| C4.0 | DETAILS                    |
| C5.0 | EROSION CONTROL            |
| C5.1 | EROSION CONTROL DETAILS    |

### ABBREVIATIONS

|          |                                  |        |                               |
|----------|----------------------------------|--------|-------------------------------|
| AB       | AGGREGATE BASE                   | NIC    | NOT IN CONTRACT               |
| ABD      | ABANDONED                        | NTS    | NOT TO SCALE                  |
| AC       | ASPHALT CONCRETE                 | OC     | ON CENTER                     |
| AD       | AREA DRAIN                       | (P)    | PROPOSED                      |
| ADA      | AMERICANS WITH DISABILITIES ACT  | PA     | PLANTED AREA                  |
| BS       | BOTTOM OF STEP                   | PE     | PEDESTRIAN                    |
| BW       | BOTTOM OF WALL / BACK OF WALK    | PG&E   | PACIFIC GAS & ELECTRIC        |
| C&G      | CURB & GUTTER                    | PIV    | POST INDICATOR VALVE          |
| CB       | CATCH BASIN                      | PL     | PROPERTY LINE                 |
| CF       | CUBIC FEET                       | POC    | POINT OF CONNECTION           |
| CFPD     | COASTAL FIRE PROTECTION DISTRICT | PSI    | POUNDS PER SQUARE INCH        |
| CL       | CENTERLINE                       | R, RAD | RADIUS                        |
| CO       | CLEAN OUT                        | RC     | RELATIVE COMPACTION           |
| CONC     | CONCRETE                         | REQ'D  | REQUIRED                      |
| DEMO     | DEMOLISH                         | RET    | RETAINING                     |
| DI       | DRAINAGE INLET                   | RIM    | TOP OF STRUCTURE GRATE/ COVER |
| DS       | DOWN SPOUT                       | RWL    | RAINWATER LEADER              |
| DW       | DOMESTIC WATER                   | PVMT   | PAVEMENT                      |
| DWY      | DRIVEWAY                         | S      | SLOPE                         |
| E        | EAST                             | SAP    | SEE ARCHITECTURAL PLANS       |
| (E)      | EXISTING                         | SCO    | SOFTSCAPE CLEANOUT            |
| EB       | ELECTRICAL BOX                   | SD     | STORM DRAIN                   |
| EC       | END CURVE                        | SDE    | SHERWOOD DESIGN ENGINEERS     |
| EL, ELEV | ELEVATION                        | SDMH   | STORM DRAIN MANHOLE           |
| ELEC     | ELECTRIC                         | SEP    | SEE ELECTRICAL PLANS          |
| EP       | EDGE OF PAVEMENT                 | SF     | SQUARE FEET                   |
| EVA      | EMERGENCY VEHICLE ACCESS         | SHLD   | SHOULDER                      |
| FC       | FACE OF CURB                     | SLP    | SEE LANDSCAPE PLANS           |
| FFE      | FINISHED FLOOR ELEVATION         | SMP    | SEE MECHANICAL PLANS          |
| FG       | FINISH GRADE                     | SPD    | SEE PLUMBING DRAWINGS         |
| FH       | FIRE HYDRANT                     | SQ     | SQUARE                        |
| FL       | FLOWLINE                         | SS     | SANITARY SEWER                |
| FS       | FINISH SURFACE                   | SSP    | SEE STRUCTURAL PLANS          |
| FT       | FEET                             | SSCO   | SANITARY SEWER CLEAN OUT      |
| FW       | FIRE WATER                       | SSP    | SEE STRUCTURAL PLANS          |
| G        | GAS                              | STD    | STANDARD                      |
| GB       | GRADE BREAK                      | STM    | STEAM                         |
| GM       | GAS METER                        | SW     | SIDEWALK                      |
| GV       | GATE VALVE                       | TB     | TOP OF BANK                   |
| GW       | GRAY WATER                       | TBD    | TO BE DETERMINED              |
| HB       | HOSEBIB                          | TBR    | TO BE REMOVED                 |
| HDPE     | HIGH-DENSITY POLYETHYLENE        | TC     | TOP OF CURB                   |
| HP       | HIGH POINT/ HINGE POINT          | TD     | TRENCH DRAIN                  |
| HT       | HEIGHT                           | TEL    | TELEPHONE                     |
| HV       | HIGH VOLTAGE                     | TEMP   | TEMPORARY                     |
| INV      | INVERT OF PIPE OR CHANNEL        | TG     | TOP OF GRATE                  |
| IRR      | IRRIGATION                       | TS     | TOP OF STEP                   |
| JB       | JUNCTION BOX                     | TW     | TOP OF WALL                   |
| JP       | JOINT POLE                       | TYP    | TYPICAL                       |
| LA       | LANDSCAPE ARCHITECT              | UG     | UNDERGROUND                   |
| LF       | LINEAR FEET                      | U.O.N. | UNLESS OTHERWISE NOTED        |
| LP       | LIGHT POLE/ LOW POINT            | VERT   | VERTICAL                      |
| LT       | LEFT                             | VIF    | VERIFY IN FIELD               |
| MAX      | MAXIMUM                          | W      | WATER                         |
| MH       | MANHOLE                          | WALK   | WALKWAY/SIDEWALK              |
| MIN      | MINIMUM                          | WM     | WATER METER                   |
| N        | NORTH                            | WS     | WATER SURFACE                 |
| NFC      | NOT FOR CONSTRUCTION             |        |                               |



PRELIMINARY - NFC

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| Planning Resubmit | 3.22.2017 |

HM,a+e Job Number  
2005,01

### ACCESS ROAD PLAN & PROFILE

Sheet Number

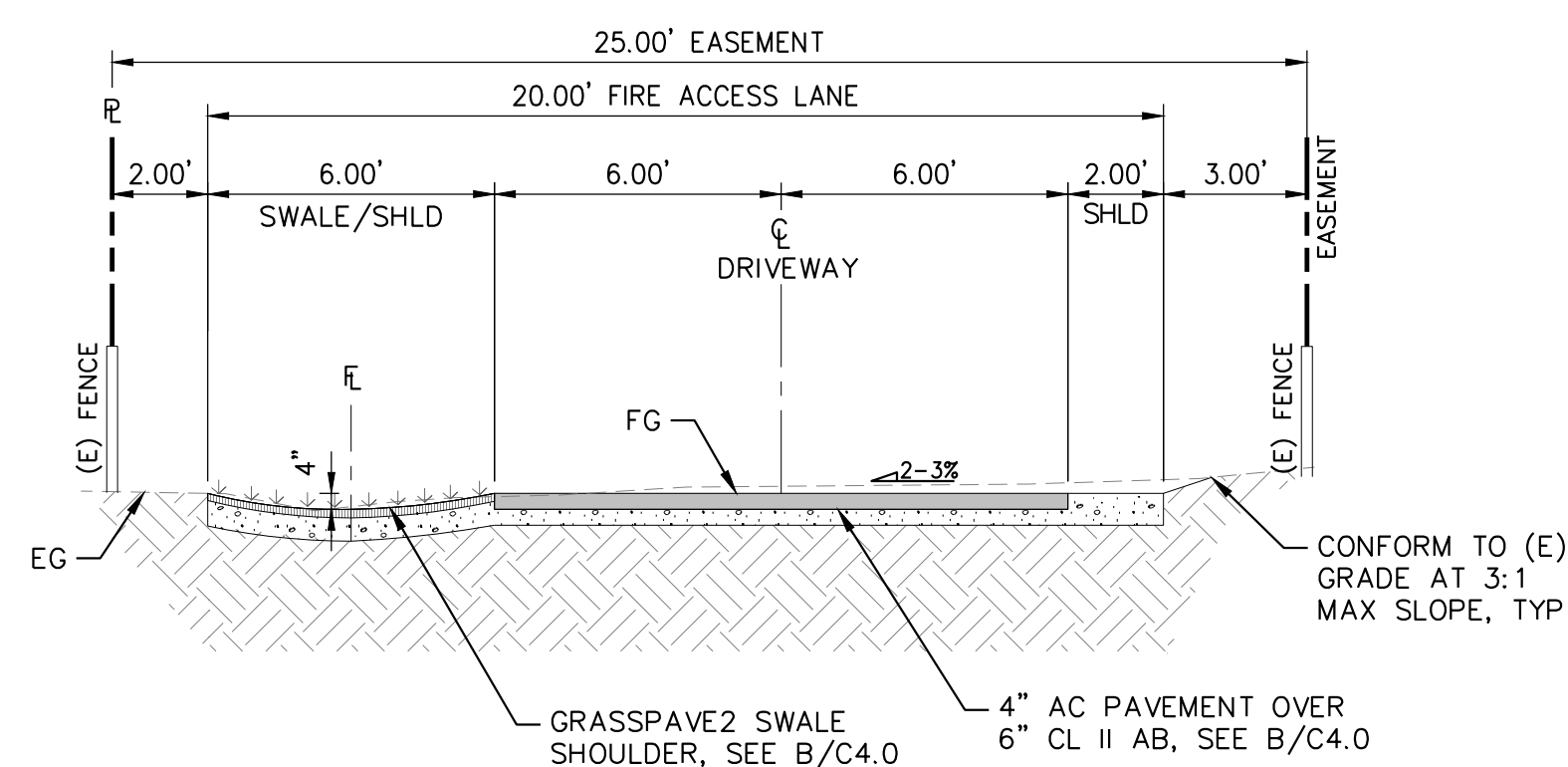
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### LEGEND

PROPOSED CURB AND GUTTER  
EDGE OF PAVEMENT ONSITE  
PROPOSED FLOW LINE  
RIGHT OF WAY

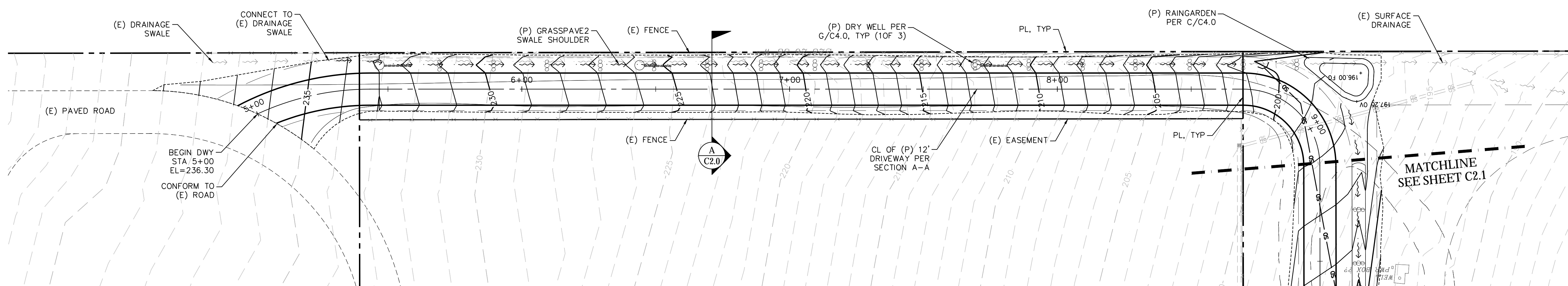
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PROPOSED



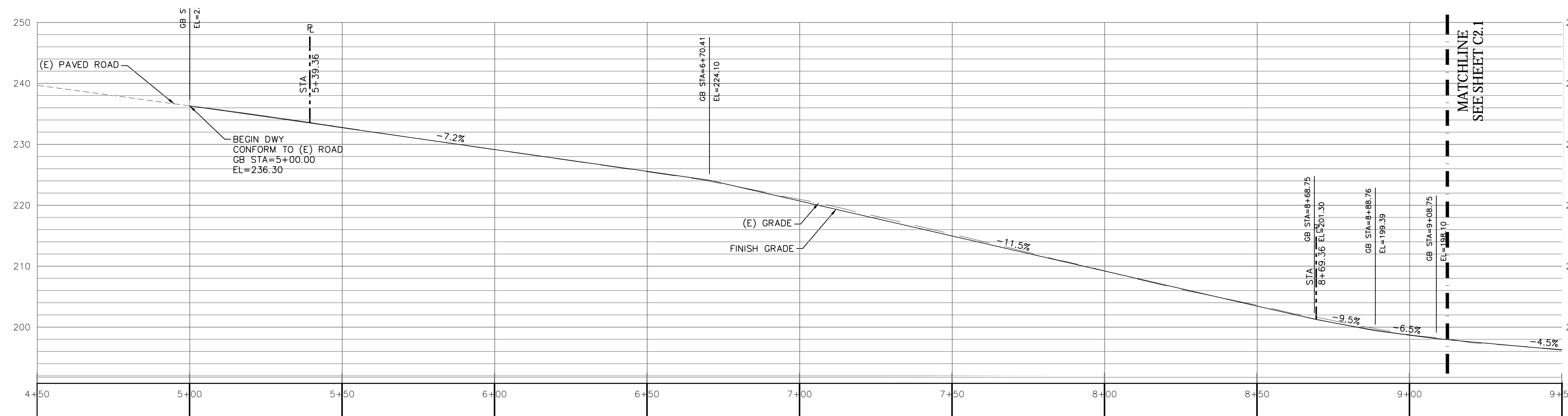
SECTION A-A

SCALE: NTS



PLAN VIEW

Scale: 1"=20'



PROFILE

HORIZ: 1"=20'  
VERT: 1"=20'

PRELIMINARY - NFC

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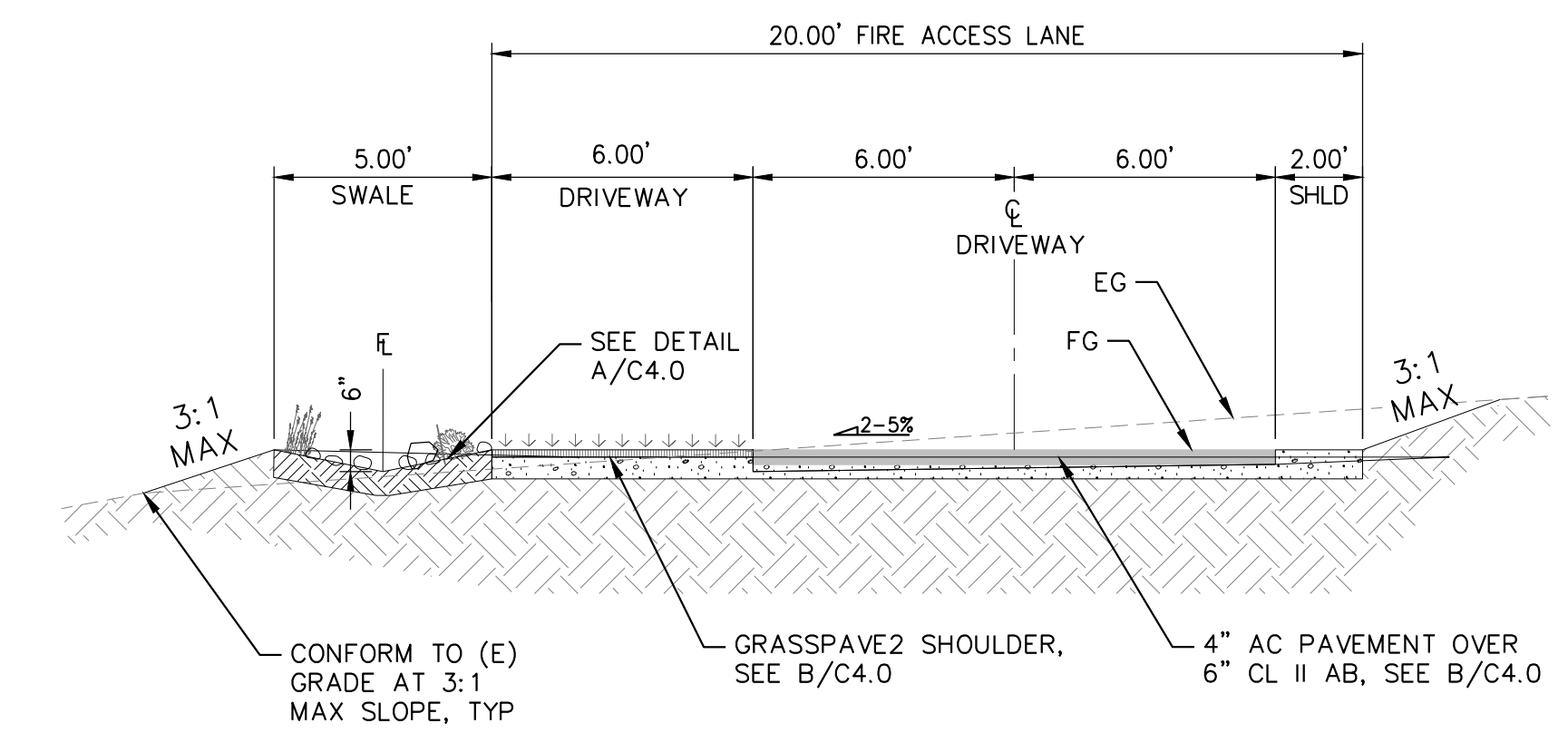
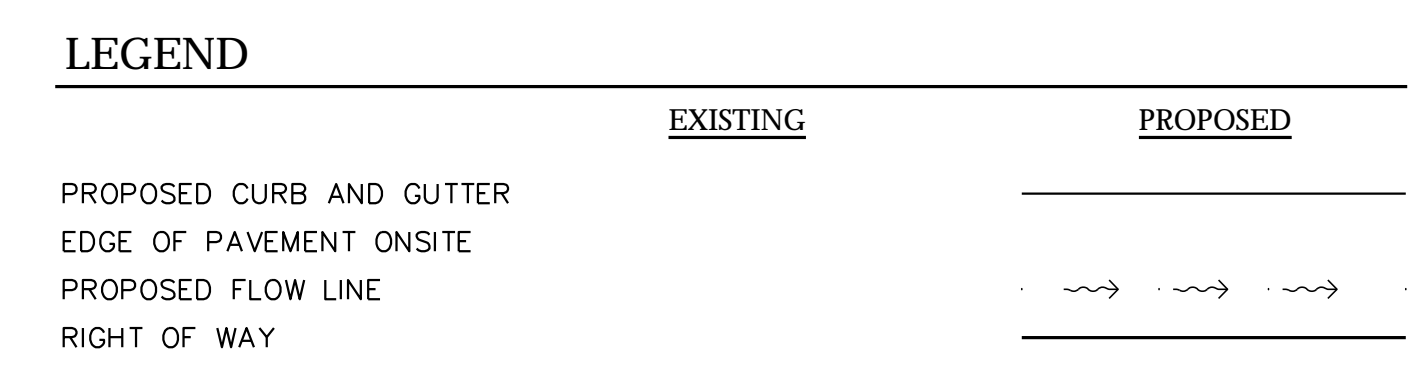
HM,a+e Job Number  
2005,01

### DRIVEWAY PLAN & PROFILE

Sheet Number

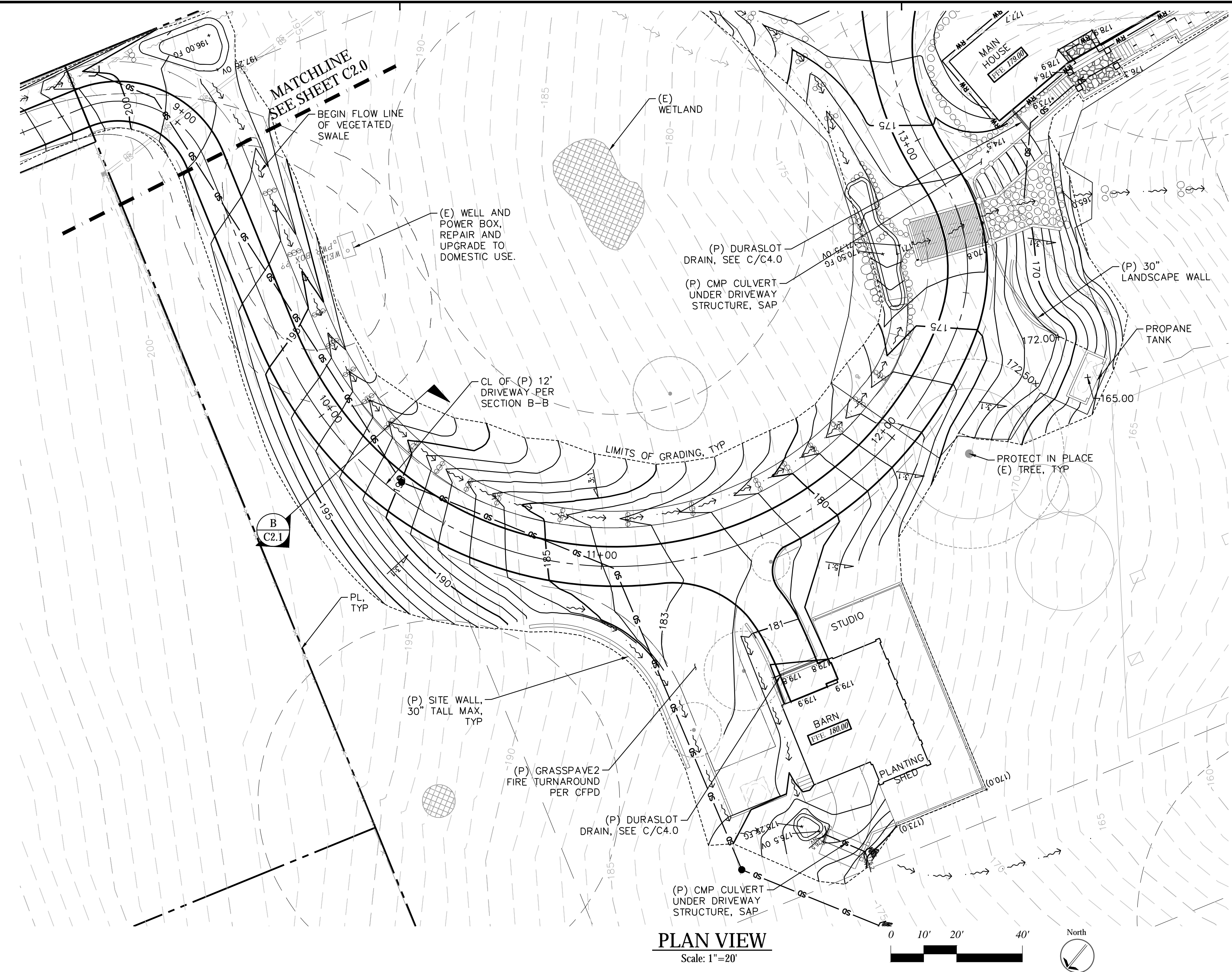
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PRELIMINARY - NFC

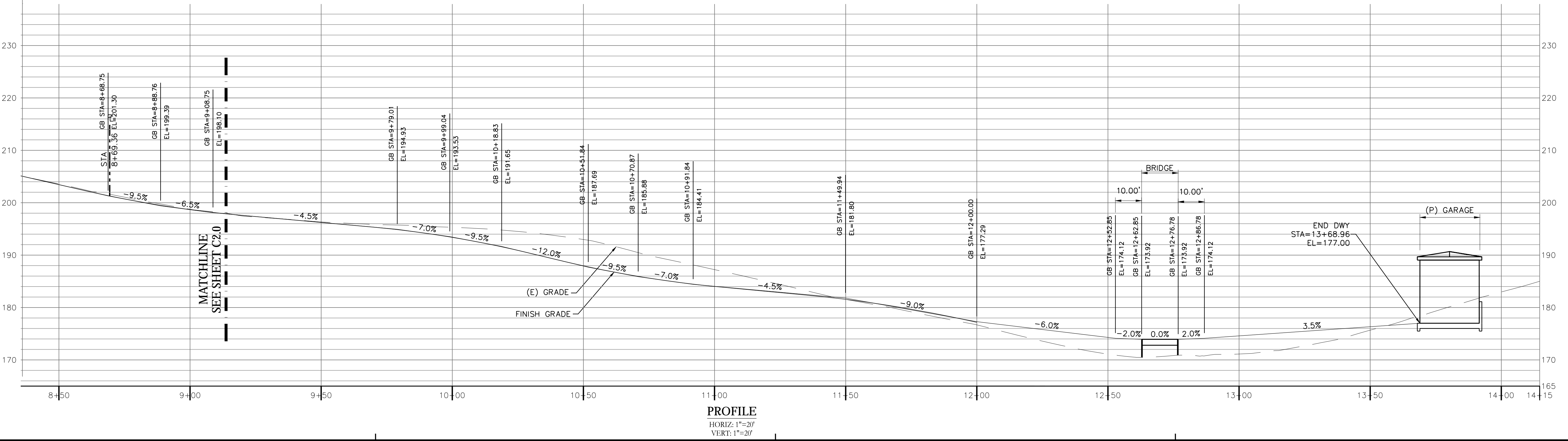
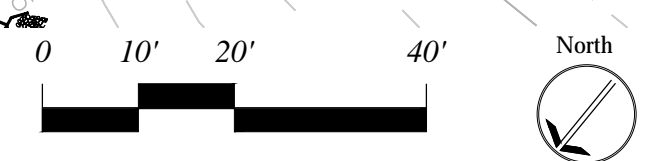


**B SECTION B-B**

SCALE: NTS



**PLAN VIEW**  
Scale: 1"=20'



**PROFILE**  
HORIZ: 1"=20'  
VERT: 1"=20'

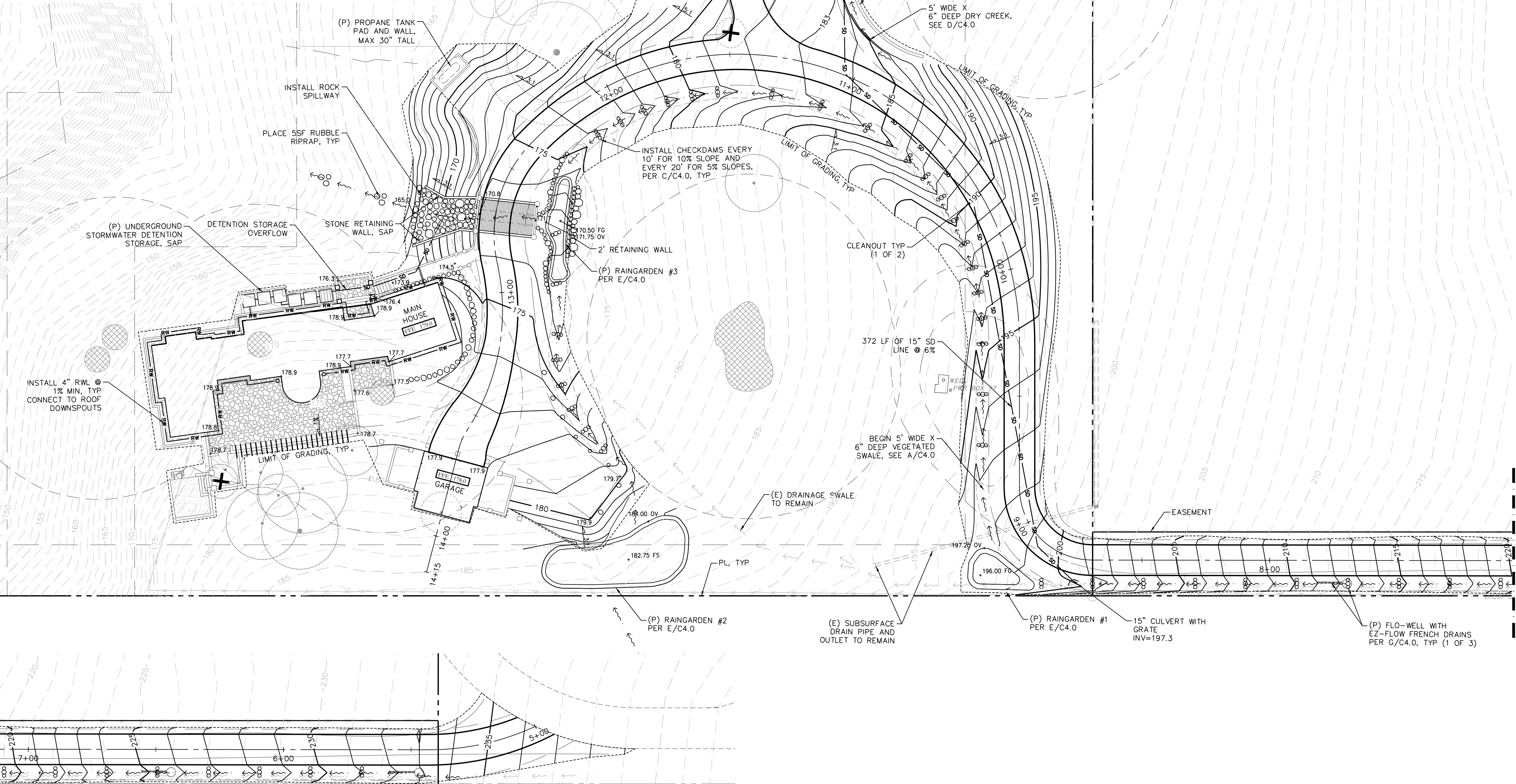
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**EARTHWORK ANALYSIS**

| PROJECT AREA       | CUT ANALYSIS<br>(CUBIC YARDS) | FILL ANALYSIS<br>(CUBIC YARDS) |
|--------------------|-------------------------------|--------------------------------|
| SITE               | 2,250                         | 2,000                          |
| <b>PROJECT NET</b> | <b>250 ± CU YDS (EXPORT)*</b> |                                |

\*SITE GRADING TO BE ADJUSTED ON-SITE SO THAT NO IMPORT OR EXPORT IS REQUIRED

**NOTE**  
SHERWOOD DESIGN ENGINEERS IS NOT AN ENGINEERING CONTRACTOR, NOR SHOULD OUR RENDERING OF CUT AND FILL EARTHWORK VOLUMES BE CONSIDERED EQUIVALENT TO THE NATURE AND EXTENT OF SERVICE AN ENGINEERING CONTRACTOR WOULD PROVIDE. THIS ESTIMATE IS BASED SOLELY ON OUR OWN ANALYSIS, WHICH IS AS ACCURATE AS THE INFORMATION PROVIDED TO US IN REGARDS TO EXISTING TOPOGRAPHY AND CONCEPTUAL GRADING. THIS ANALYSIS WILL NOT REFLECT THE LOCALIZED SITE CONDITIONS NOT REPRESENTED ON THE TOPOGRAPHIC SURVEY, NOR DOES IT TAKE INTO EFFECT FACTORS SUCH AS SHRINKAGE, SWELL, LOSS DURING TRANSPORT AND SUBSIDENCE, UNLESS OTHERWISE STATED ON QUANTITIES TABLE ABOVE. THIS EARTHWORK VOLUME ANALYSIS SHOULD NOT BE USED FOR BID PURPOSES. DUE TO THESE FACTORS, SHERWOOD DESIGN ENGINEERS CANNOT GUARANTEE THE ACCURACY OF OUR EARTHWORK VOLUME ESTIMATE BEYOND USE AS A PLANNING TOOL.



P:\2009\09-230\_Bewley\_Residence\04\_Design\01\_DDP\C3.0 Grading & Drainage.dwg (C3.0 Grading & Drainage.dwg) 3/27/2017 10:06:56 AM ARCH full bleed D (24.00 x 36.00 Inches).1:1

MATCHLINE SEE ABOVE

PRELIMINARY - NFC

MATCHLINE SEE BELOW

**GRADING AND DRAINAGE PLAN**  
SCALE: 1"=20'



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2005,01

Sheet Title  
**GRADING & DRAINAGE PLAN**

Sheet Number

**C3.0**

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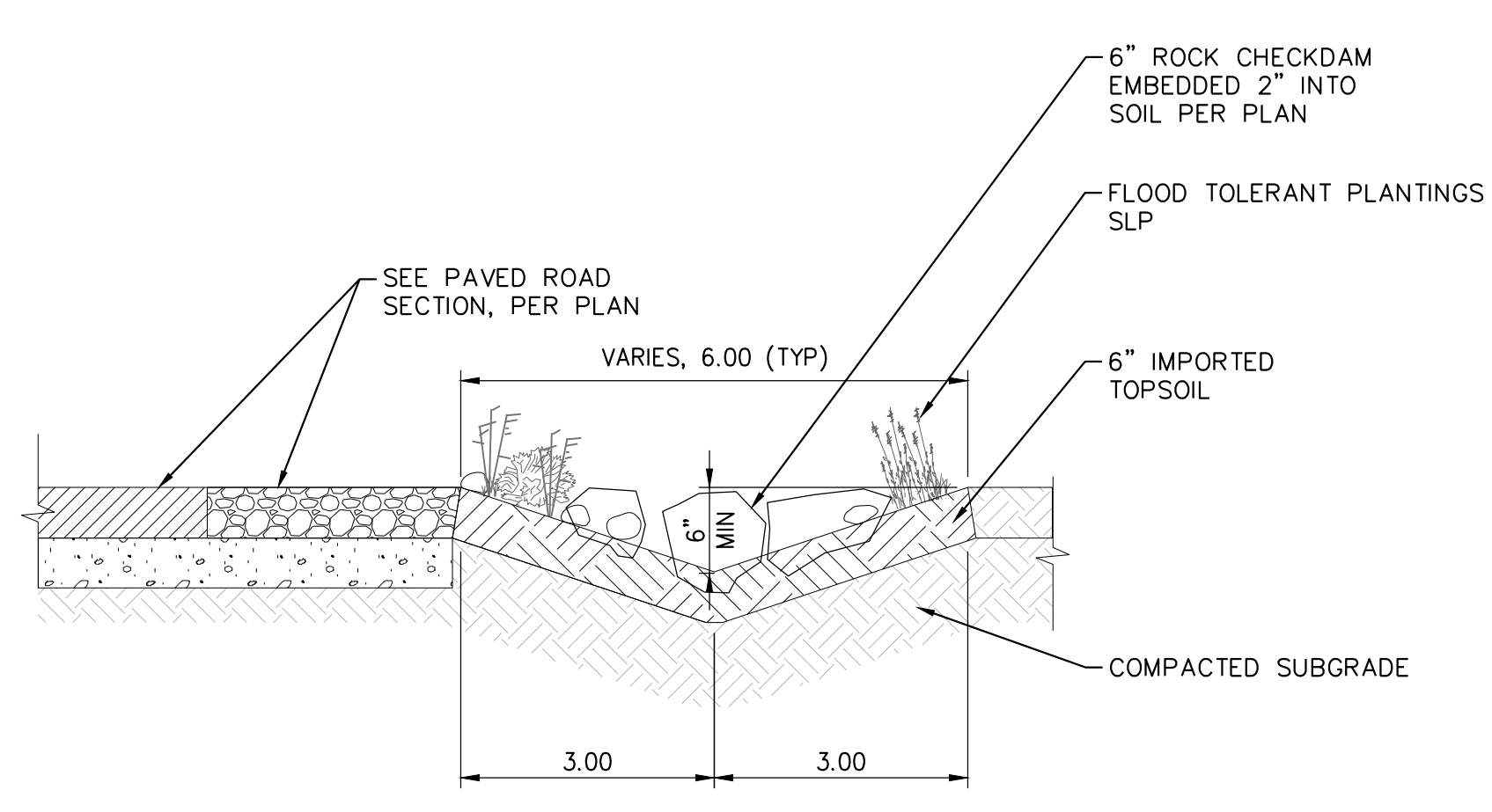


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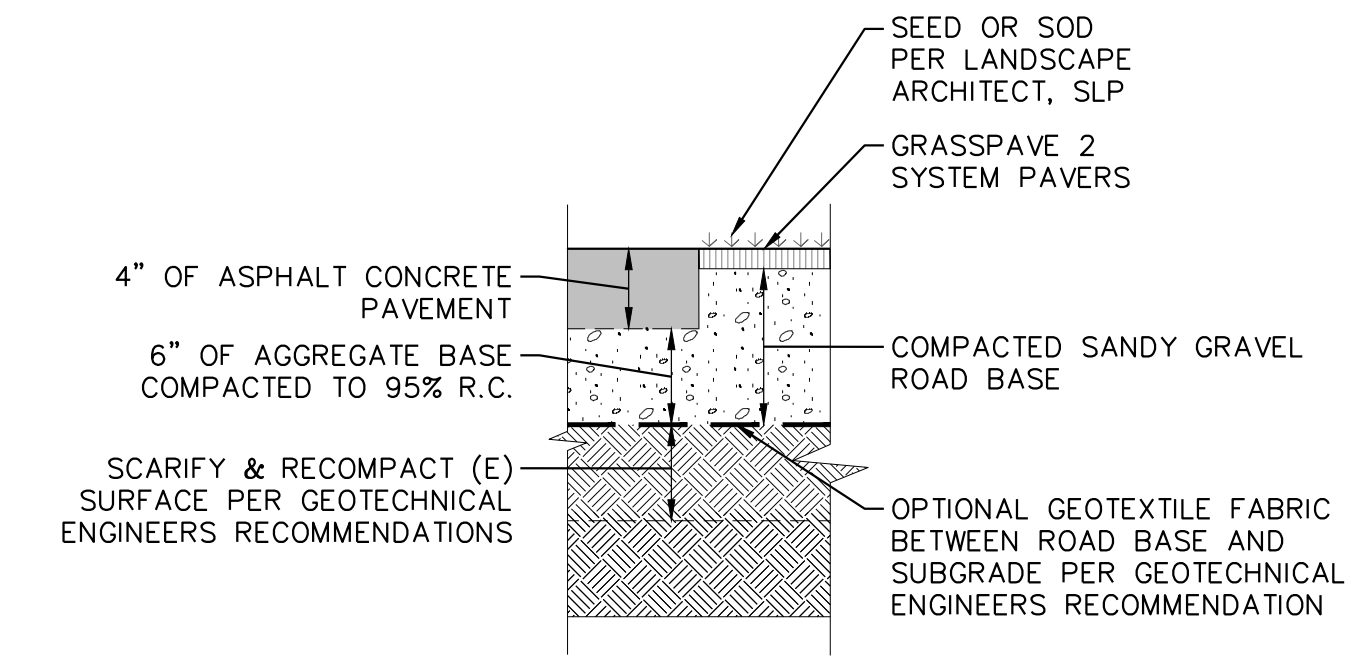
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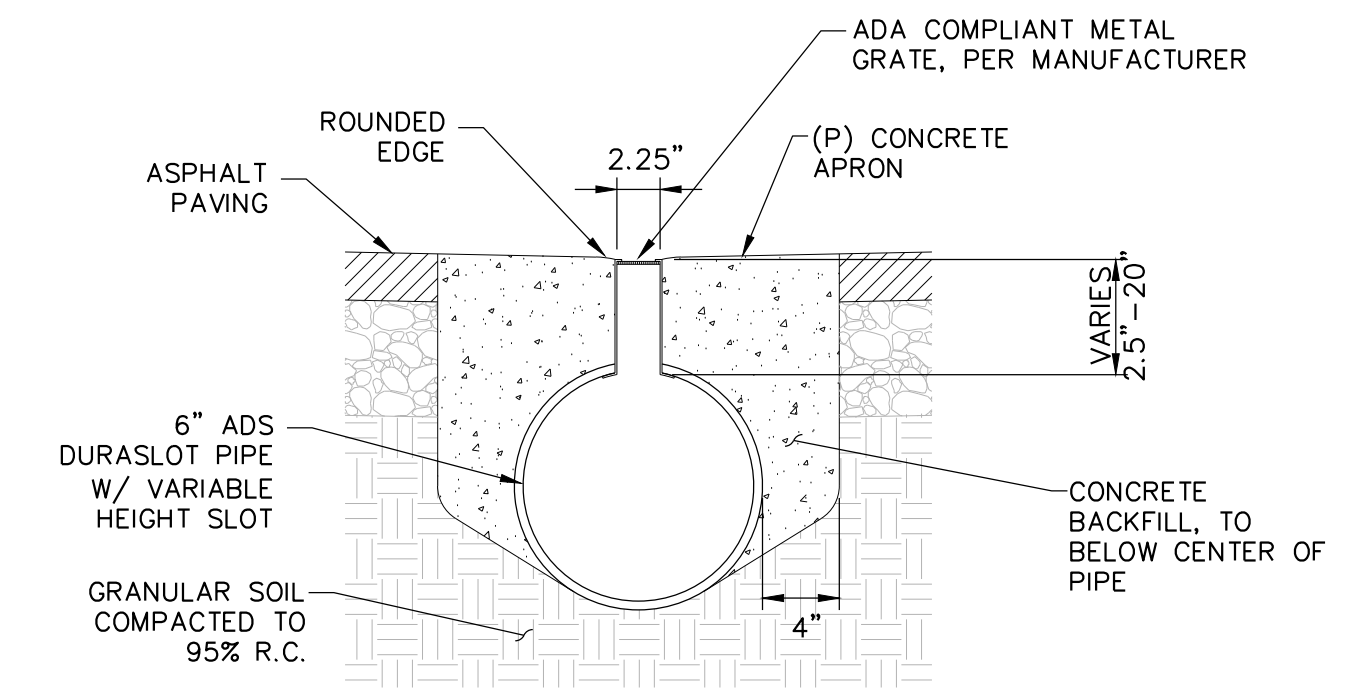
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**A SWALE**  
SCALE: NTS

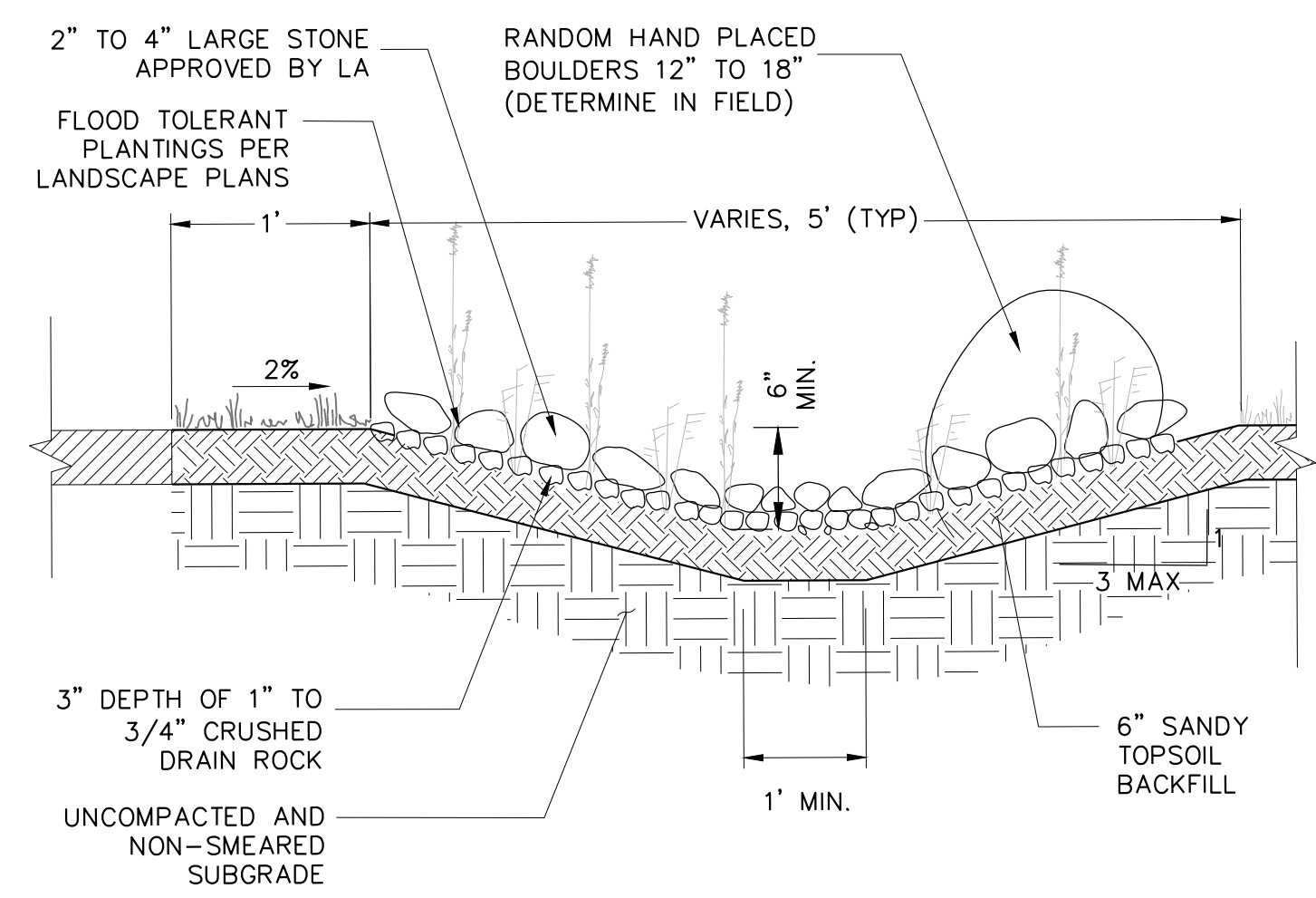


**B PAVEMENT SECTION**  
SCALE: NTS

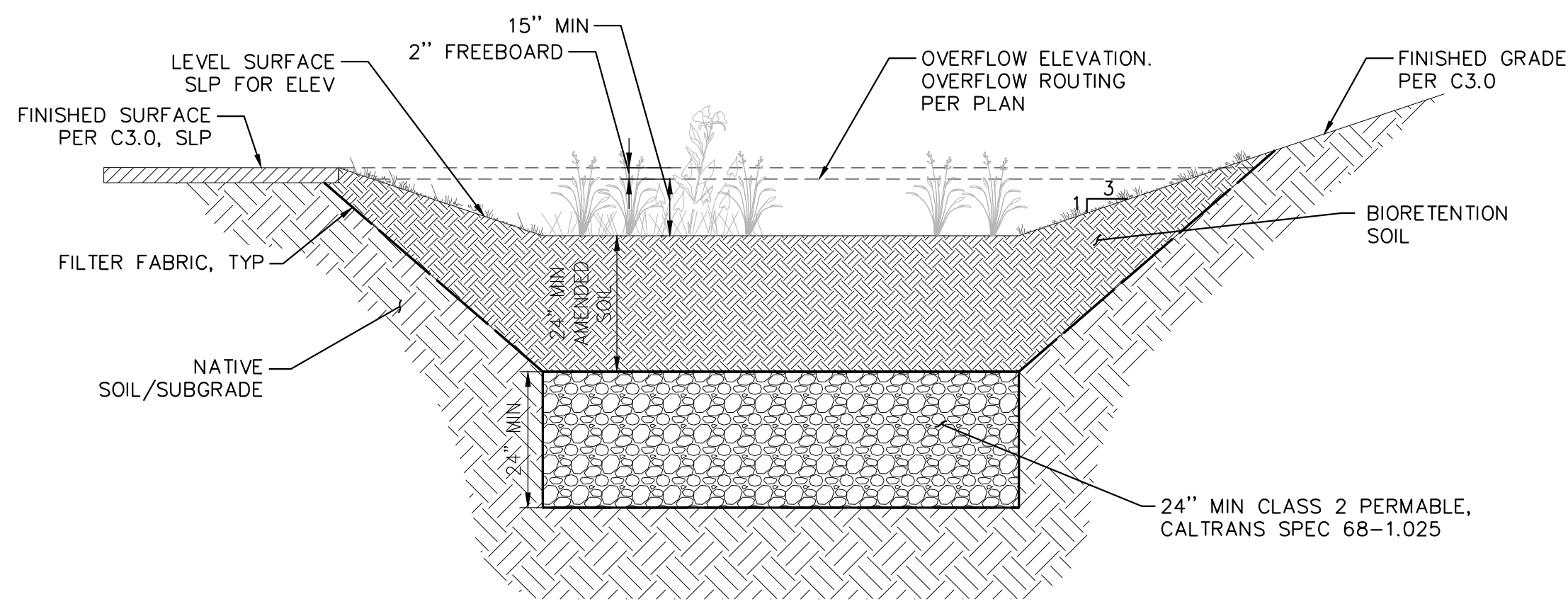


**C DURASLOT DRAIN DETAIL**  
SCALE: NTS

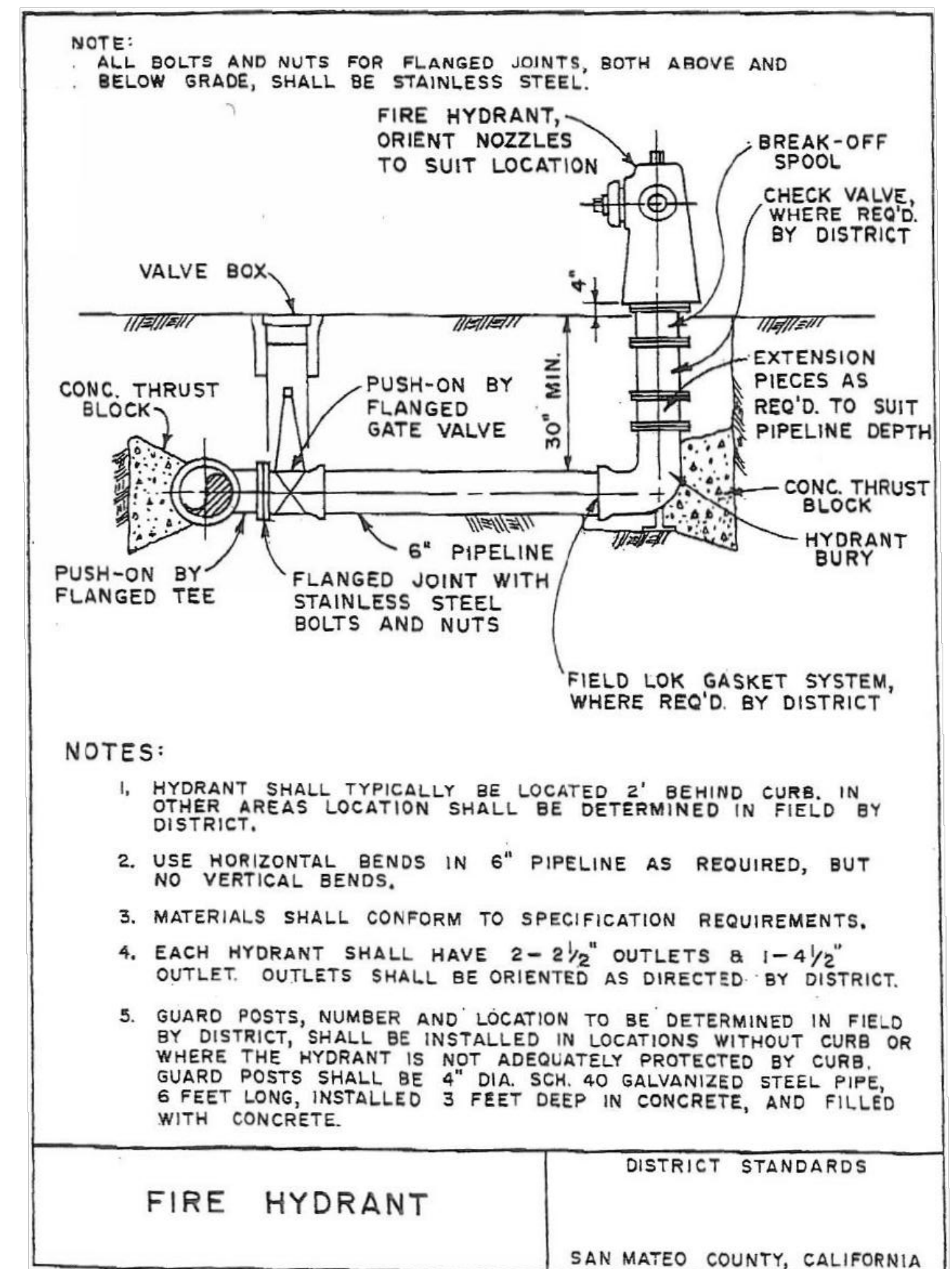
- NOTE:
- RIP AND RECOMPACT 6" OF SUBGRADE
  - AS NECESSARY, PLACE LAYER OF MIRAFI HP270 GEOTEXTILE FABRIC PER GEOTECHNICAL RECOMMENDATIONS



**D DRY CREEK**  
SCALE: NTS



**E RAIN GARDEN**  
SCALE: NTS



**F FIRE HYDRANT**  
SCALE: NTS



**G FLOW WELL AND EZ FLOW EXTENSION**  
SCALE: NTS

PRELIMINARY - NFC

## DETAILS

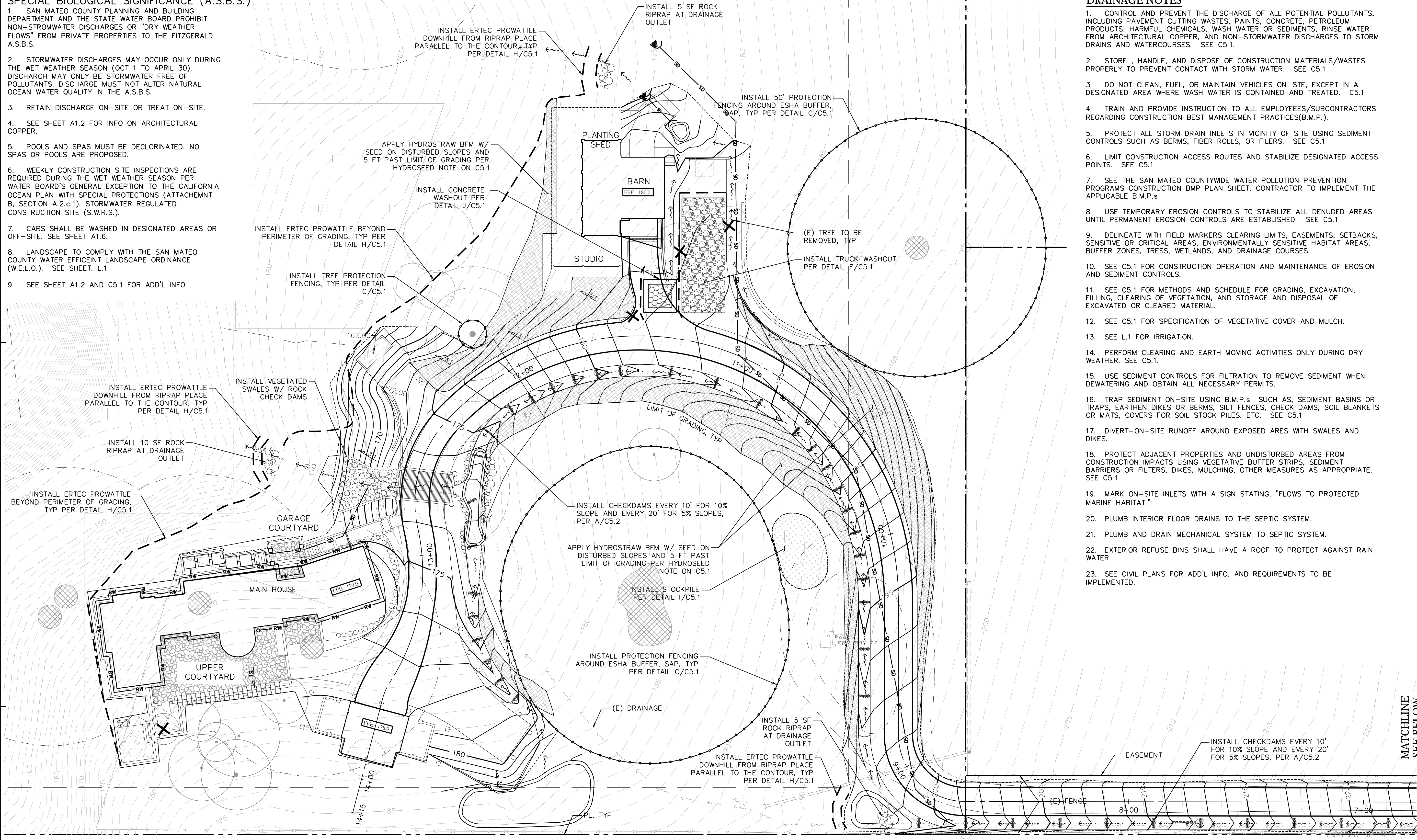
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# C4.0

P:\2009\09-230-Bewley-Residence\04\_Design\01\_DPD\C4.0 Details.dwg C4.0 Details Chris Bewley 2/22/2017 10:07:09 AM AKCCH full bleed D (24.00 x 36.00 Inches).1:1

SAN MATEO COUNTY, FITZGERALD AREA of SPECIAL BIOLOGICAL SIGNIFICANCE (A.S.B.S.)

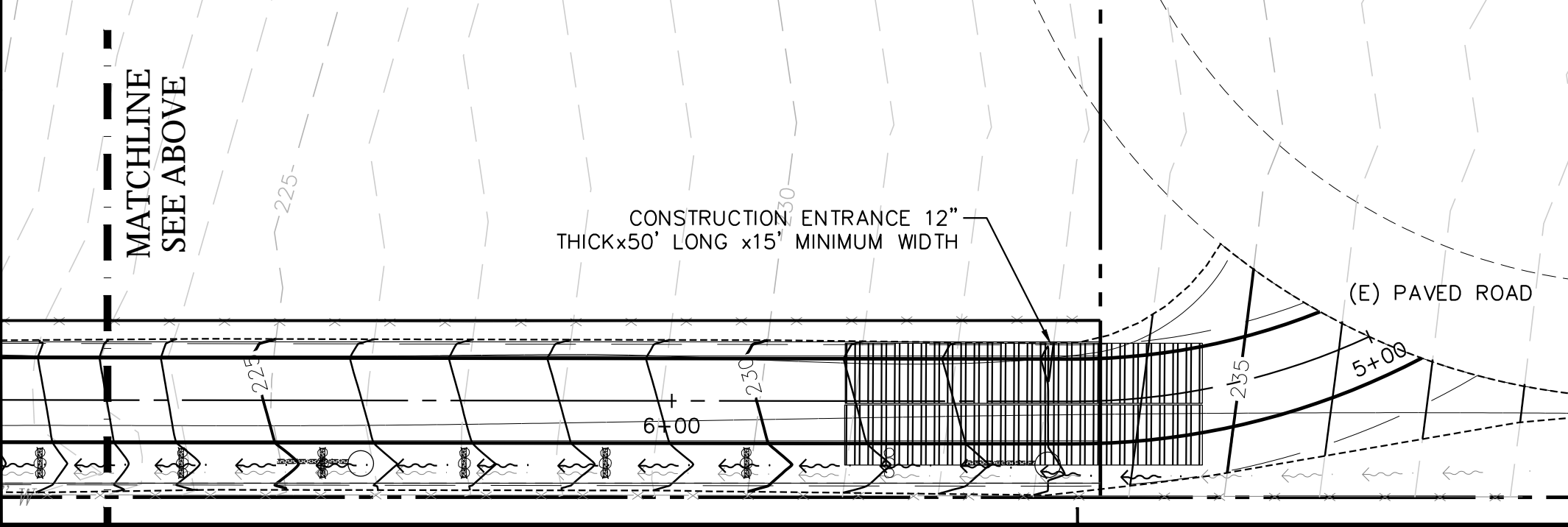
- SAN MATEO COUNTY PLANNING AND BUILDING DEPARTMENT AND THE STATE WATER BOARD PROHIBIT NON-STORMWATER DISCHARGES OR "DRY WEATHER FLOWS" FROM PRIVATE PROPERTIES TO THE FITZGERALD A.S.B.S.
- STORMWATER DISCHARGES MAY OCCUR ONLY DURING THE WET WEATHER SEASON (OCT 1 TO APRIL 30). DISCHARGE MAY ONLY BE STORMWATER FREE OF POLLUTANTS. DISCHARGE MUST NOT ALTER NATURAL OCEAN WATER QUALITY IN THE A.S.B.S.
- RETAIN DISCHARGE ON-SITE OR TREAT ON-SITE.
- SEE SHEET A1.2 FOR INFO ON ARCHITECTURAL COPPER.
- POOLS AND SPAS MUST BE DECLORINATED. NO SPAS OR POOLS ARE PROPOSED.
- WEEKLY CONSTRUCTION SITE INSPECTIONS ARE REQUIRED DURING THE WET WEATHER SEASON PER WATER BOARD'S GENERAL EXCEPTION TO THE CALIFORNIA OCEAN PLAN WITH SPECIAL PROTECTIONS (ATTACHMENT B, SECTION A.2.c.1). STORMWATER REGULATED CONSTRUCTION SITE (S.W.R.S.).
- CARS SHALL BE WASHED IN DESIGNATED AREAS OR OFF-SITE. SEE SHEET A1.6.
- LANDSCAPE TO COMPLY WITH THE SAN MATEO COUNTY WATER EFFICIENT LANDSCAPE ORDINANCE (W.E.L.O.). SEE SHEET L1.
- SEE SHEET A1.2 AND C5.1 FOR ADD'L INFO.



DRAINAGE NOTES

- CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, HARMFUL CHEMICALS, WASH WATER OR SEDIMENTS, RINSE WATER FROM ARCHITECTURAL COPPER, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES. SEE C5.1.
- STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS/WASTES PROPERLY TO PREVENT CONTACT WITH STORM WATER. SEE C5.1.
- DO NOT CLEAN, FUEL, OR MAINTAIN VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASH WATER IS CONTAINED AND TREATED. C5.1
- TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES/SUBCONTRACTORS REGARDING CONSTRUCTION BEST MANAGEMENT PRACTICES(B.M.P.).
- PROTECT ALL STORM DRAIN INLETS IN VICINITY OF SITE USING SEDIMENT CONTROLS SUCH AS BERMS, FIBER ROLLS, OR FILTERS. SEE C5.1
- LIMIT CONSTRUCTION ACCESS ROUTES AND STABILIZE DESIGNATED ACCESS POINTS. SEE C5.1
- SEE THE SAN MATEO COUNTYWIDE WATER POLLUTION PREVENTION PROGRAMS CONSTRUCTION BMP PLAN SHEET. CONTRACTOR TO IMPLEMENT THE APPLICABLE B.M.P.s
- USE TEMPORARY EROSION CONTROLS TO STABILIZE ALL DENUDED AREAS UNTIL PERMANENT EROSION CONTROLS ARE ESTABLISHED. SEE C5.1
- DELINEATE WITH FIELD MARKERS CLEARING LIMITS, EASEMENTS, SETBACKS, SENSITIVE OR CRITICAL AREAS, ENVIRONMENTALLY SENSITIVE HABITAT AREAS, BUFFER ZONES, TRESS, WETLANDS, AND DRAINAGE COURSES.
- SEE C5.1 FOR CONSTRUCTION OPERATION AND MAINTENANCE OF EROSION AND SEDIMENT CONTROLS.
- SEE C5.1 FOR METHODS AND SCHEDULE FOR GRADING, EXCAVATION, FILLING, CLEARING OF VEGETATION, AND STORAGE AND DISPOSAL OF EXCAVATED OR CLEARED MATERIAL.
- SEE C5.1 FOR SPECIFICATION OF VEGETATIVE COVER AND MULCH.
- SEE L1 FOR IRRIGATION.
- PERFORM CLEARING AND EARTH MOVING ACTIVITIES ONLY DURING DRY WEATHER. SEE C5.1.
- USE SEDIMENT CONTROLS FOR FILTRATION TO REMOVE SEDIMENT WHEN DEWATERING AND OBTAIN ALL NECESSARY PERMITS.
- TRAP SEDIMENT ON-SITE USING B.M.P.s SUCH AS, SEDIMENT BASINS OR TRAPS, EARTHEN DIKES OR BERMS, SILT FENCES, CHECK DAMS, SOIL BLANKETS OR MATS, COVERS FOR SOIL STOCK PILES, ETC. SEE C5.1
- DIVERT-ON-SITE RUNOFF AROUND EXPOSED AREAS WITH SWALES AND DIKES.
- PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTERS, DIKES, MULCHING, OTHER MEASURES AS APPROPRIATE. SEE C5.1
- MARK ON-SITE INLETS WITH A SIGN STATING, "FLOWS TO PROTECTED MARINE HABITAT."
- PLUMB INTERIOR FLOOR DRAINS TO THE SEPTIC SYSTEM.
- PLUMB AND DRAIN MECHANICAL SYSTEM TO SEPTIC SYSTEM.
- EXTERIOR REFUSE BINS SHALL HAVE A ROOF TO PROTECT AGAINST RAIN WATER.
- SEE CIVIL PLANS FOR ADD'L INFO. AND REQUIREMENTS TO BE IMPLEMENTED.

P:\2009\09-230\_Bewley\_Residence\04\_Design\01\_DD\C5.0 EROSION CONTROL.dwg, C5.0 EROSION CONTROL, Date: 07/26/2017, 10:07:26 AM, ARCHITECT, Full bleed D (24.00 x 36.00 inches), 1:1



EROSION CONTROL PLAN  
SCALE: 1"=20'



PRELIMINARY - NFC

Project

**BEWLEY RESIDENCE**

1435 Audubon Ave.  
Montara, CA 94037  
APN: 036-310-180

Architect

**HM,a+e**

Henri Mannik,  
Architecture and Engineering  
5429 Telegraph Ave.  
Oakland, CA 94609  
510 652 1511 p  
510 601 7196 f

Consultant



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Printing Date

|                   |           |
|-------------------|-----------|
| Coordination      | 1.28.2009 |
| Site Coordination | 2.20.2009 |
| Structural Review | 2.26.2009 |
| Coordination      | 3.02.2009 |
| Coordination      | 8.03.2009 |
| Coordination      | 9.25.2009 |
| Planning Permit   | 4.14.2014 |
| Design Review     | 7.10.2015 |
| Planning Resubmit | 3.22.2017 |

HM,a+e Job Number  
2005,01

Sheet Title  
**EROSION CONTROL PLAN**  
Sheet Number

**C5.0**



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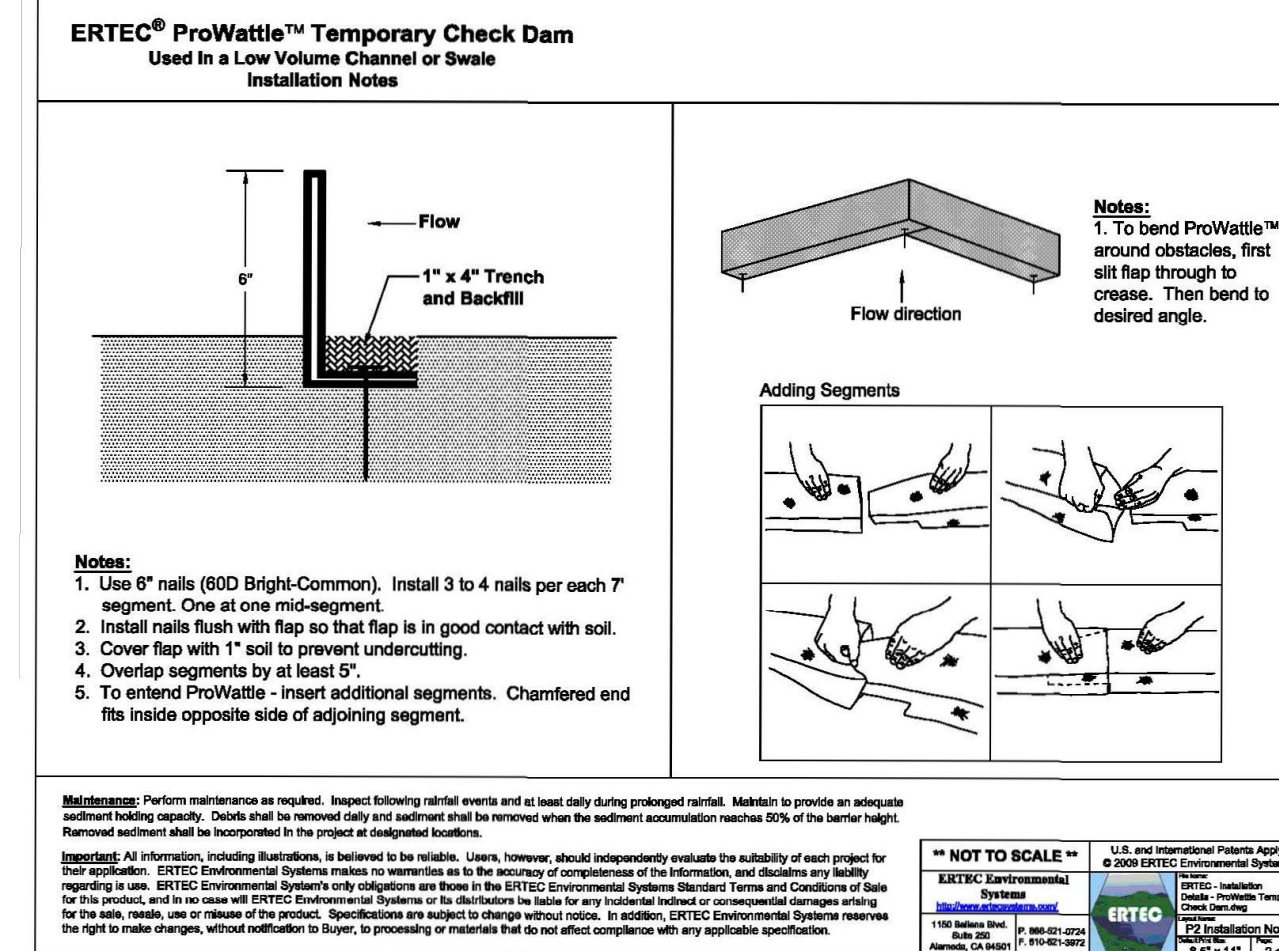
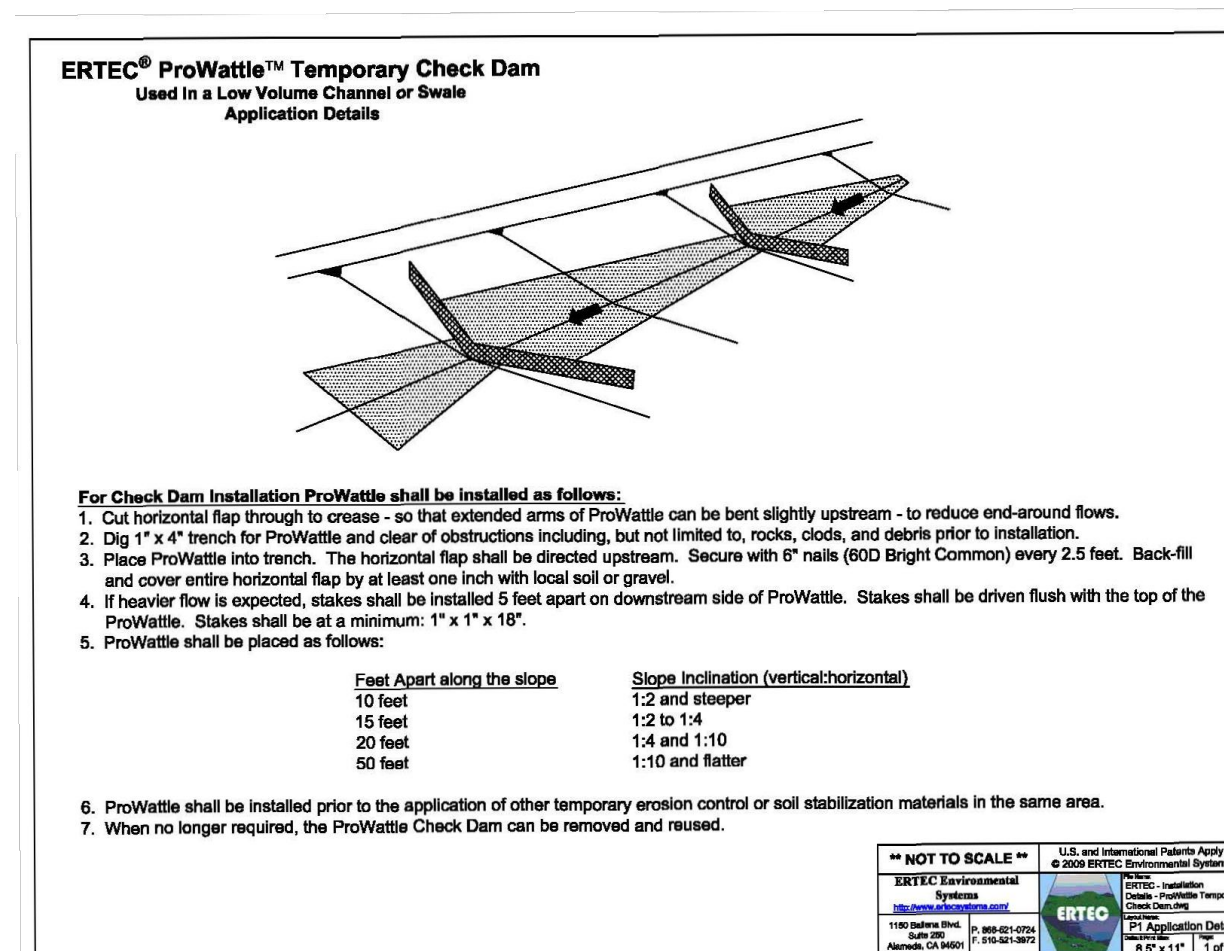
HM,a+e Job Number  
2005,01

Sheet Title  
**EROSION CONTROL DETAILS**

Sheet Number

**C5.2**

PRELIMINARY - NFC



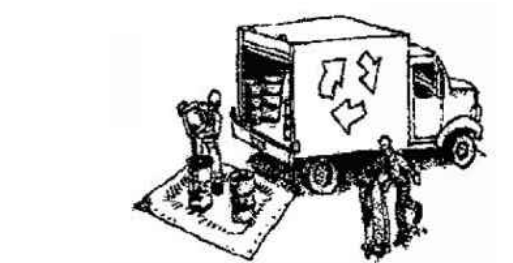
**ERTEC PROWATTLE TEMPORARY CHECK DAM & INSTALLATION**  
SCALE: NTS



**Construction Best Management Practices (BMPs)**

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

**Materials & Waste Management**



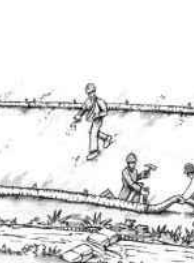
- Non-Hazardous Materials**
  - Store and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
  - Use (but don't overuse) reclaimed water for dust control.
- Hazardous Materials**
  - Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
  - Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
  - Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
  - Arrange for appropriate disposal of all hazardous wastes.
- Waste Management**
  - Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
  - Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
  - Clean or replace portable toilets, and inspect them frequently for leaks and spills.
  - Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gypsum board, pipes, etc.)
  - Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.
- Construction Entrances and Perimeter**
  - Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off-site.
  - Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

**Equipment Management & Spill Control**



- Maintenance and Parking**
  - Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
  - Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
  - If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or deep cloth bag enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
  - If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
  - Do not clean vehicle or equipment onsite using soap, solvents, degreasers, or steam cleaning equipment.
- Spill Prevention and Control**
  - Keep spill cleanup materials (e.g., rags, absorbents and oil filter) available at the construction site at all times.
  - Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
  - Clean up spills or leaks immediately and dispose of cleanup materials properly.
  - Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
  - Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
  - Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
  - Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number; 2) Call the Governor's Office of Emergency Services Warning Center; (800) 852-7550 (24 hours).

**Earthmoving**



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as filter socks, silt fences, sediment basins, gravel bags, boms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

**Paving/Asphalt Work**



- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from entering stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

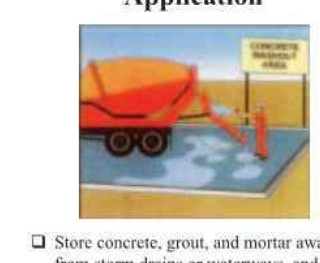
**Sewerage & Asphalt/Concrete Removal**

- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (retichecker is sooner).
- If excess slurry enters a catch basin, clean it up immediately.

**Contaminated Soil**

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor.
  - Abandoned underground tanks.
  - Abandoned wells.
  - Buried barrels, ditches, or trash.

**Concrete, Grout & Mortar Application**

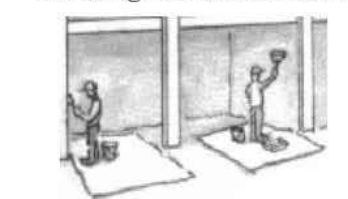


- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

**Landscaping**

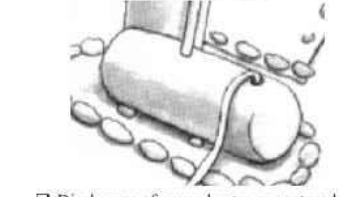
- Protect stockpiled landscaping materials from wind and rain by storing them under and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

**Painting & Paint Removal**



- Painting Cleanup and Removal**
  - Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
  - For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
  - For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
  - Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
  - Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

**Dewatering**



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

**CONSTRUCTION BMP PLAN SHEET**  
SCALE: NTS

**NOTES**

- CONTRACTOR REQUIRED TO IMPLEMENT ALL APPLICABLE BMPs ON THIS PLAN SHEET.



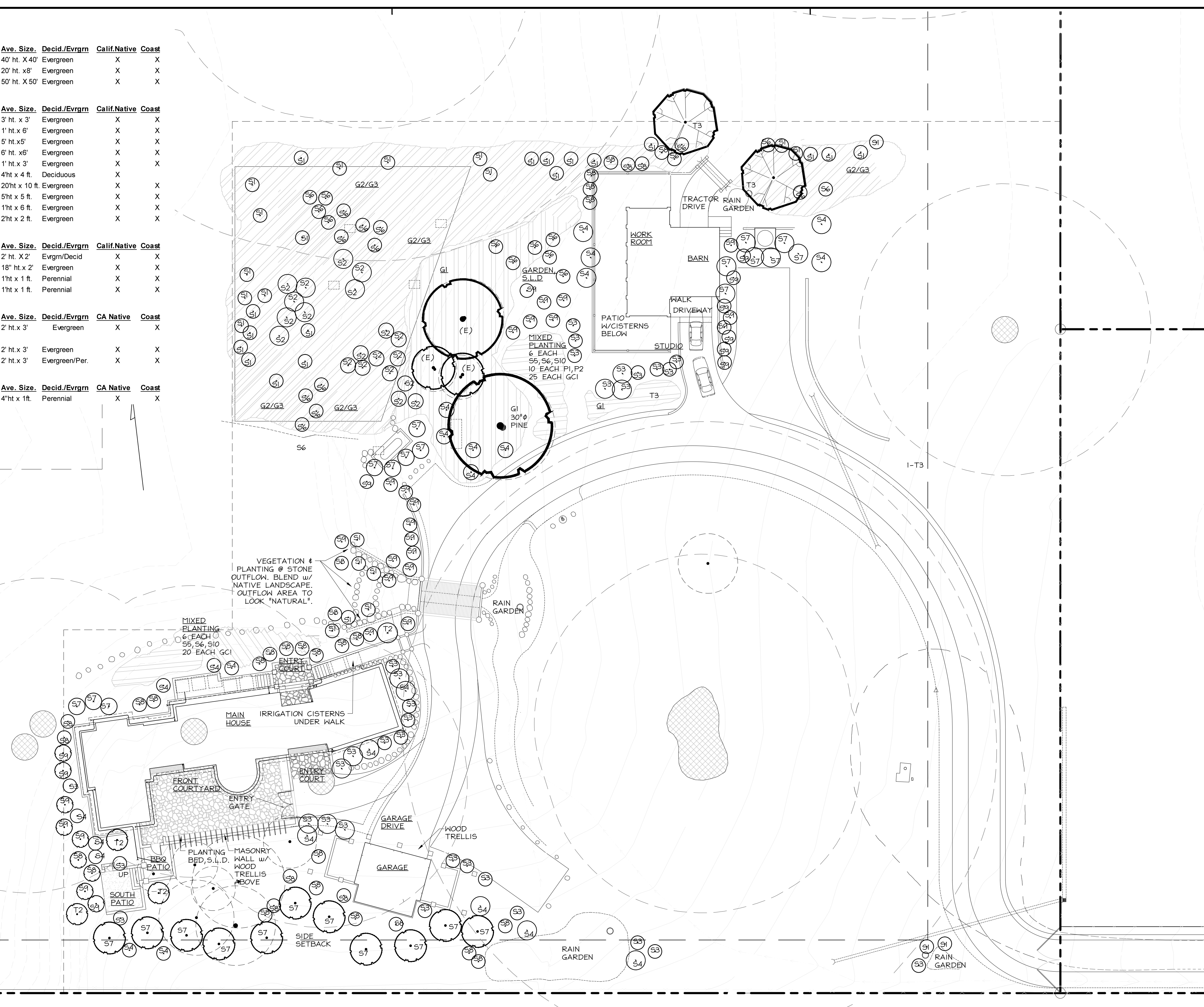
PLANT LIST

| TREES:             |                    |         |  |                                   |             |                  |                |               |       |
|--------------------|--------------------|---------|--|-----------------------------------|-------------|------------------|----------------|---------------|-------|
| Key                | Qty.               | Size    | Name   | Common Name                       | Growth Rate | Ave. Size        | Decid./Evrgrm  | Calif. Native | Coast |
| T1                 | 8                  | 15 Gal. | Cupressus macrocarpa   | Monterey Cypress                  | Fast        | 40' ht. X 40'    | Evergreen      | X             | X     |
| T2                 | 4                  | 15 Gal. | Cupressus macrocarpa 'citriodora'                                | Lemon Yellow Cypress              | Slow        | 20' ht. x 8'     | Evergreen      | X             | X     |
| T3                 | 5                  | 15 Gal. | Quercus agrifolia  | Coast Live Oak                    | Moderate    | 50' ht. X 50'    | Evergreen      | X             | X     |
| SHRUBS:            |                    |         |  |                                   |             |                  |                |               |       |
| No.                | Qty.               | Size    | Name   | Common Name                       | Growth Rate | Ave. Size        | Decid./Evrgrm  | Calif. Native | Coast |
| S1                 | 36                 | 1 Gal.  | Artemisia californica 'Montara'                                  | California Sagebrush var. Montara | Moderate    | 3' ht. x 3'      | Evergreen      | X             | X     |
| S2                 | 20                 | 1 Gal.  | Baccharis pilularis 'Pidgeon Point'                              | Dwarf Coyote Brush Pidgeon Point  | Moderate    | 1' ht. x 6'      | Evergreen      | X             | X     |
| S3                 | 12                 | 5 Gal.  | Carpenteria californica 'Elizabeth'                              | Bush Anemone                      | Moderate    | 5' ht. x 5'      | Evergreen      | X             | X     |
| S4                 | 13                 | 1 Gal.  | Ceanothus 'Concha'   | Ceanothus                         | Moderate    | 6' ht. x 6'      | Evergreen      | X             | X     |
| S5                 | 12                 | 1 Gal.  | Erigeron glaucus   | Beach Aster / Seaside Daisy       | Moderate    | 1' ht. x 3'      | Evergreen      | X             | X     |
| S6                 | 37                 | 1 Gal.  | Mimulus aurantiacus  | Monkey Flower                     | Moderate    | 4' ht. x 4 ft.   | Deciduous      | X             |       |
| S7                 | 16                 | 5 Gal.  | Myrica californica   | Pacific Wax Myrtle                | Moderate    | 20' ht. x 10 ft. | Evergreen      | X             | X     |
| S8                 | 21                 | 5 Gal.  | Rhamnus californica 'Mound San Bruno'                            | Coffeberry                        | Moderate    | 5' ht. x 5 ft.   | Evergreen      | X             | X     |
| S9                 | 33                 | 1 Gal.  | Rhamnus californica 'Sea View'                                   | Coffeberry                        | Moderate    | 1' ht. x 6 ft.   | Evergreen      | X             | X     |
| S10                | 18                 | 1 Gal.  | Zauschneria (Epilobium) californica 'Mexican California Fuchsia' | Mexican California Fuchsia        | Moderate    | 2' ht. x 2 ft.   | Evergreen      | X             | X     |
| PERENNIALS:        |                    |         |  |                                   |             |                  |                |               |       |
| No.                | Qty.               | Size    | Name   | Common Name                       | Growth Rate | Ave. Size        | Decid./Evrgrm  | Calif. Native | Coast |
| P1                 | 40                 | 1 Gal.  | Achillea millefolium californica                                 | Common Western                    | Moderate    | 2' ht. X 2'      | Evrgrm/Decid   | X             | X     |
| P2                 | 40                 | 1 Gal.  | Isis douglasiana   | Douglas Iris                      | Fast        | 18" ht. x 2'     | Evergreen      | X             | X     |
| P3                 | 40                 | 1 Gal.  | Sisyrinchium bellum 'Californian Skies'                          | Blue-Eyed Grass                   | Moderate    | 1' ht. x 1 ft.   | Perennial      | X             | X     |
| P4                 | 40                 | 1 Gal.  | Sisyrinchium californicum  | Yellow-Eyed grass                 | Moderate    | 1' ht. x 1 ft.   | Perennial      | X             | X     |
| GRASSES: Hydroseed |                    |         |  |                                   |             |                  |                |               |       |
| No.                | Qty.               | Size    | Name   | Common Name                       | Growth Rate | Ave. Size        | Decid./Evrgrm  | CA Native     | Coast |
| G1                 | 11,000             | SF      | Darthonia californica  | California Oatgrass               | Moderate    | 2' ht. x 3'      | Evergreen      | X             | X     |
| G2 G3              | 50/50 Mix = 12,000 | SF      |  |                                   |             |                  |                |               |       |
| G2                 | 6,000              | SF      | Festuca californica  | California Fescue                 | Moderate    | 2' ht. x 3'      | Evergreen      | X             | X     |
| G3                 | 6,000              | SF      | Stipa (Nassella) pulchra   | Purple Needle Grass               | Moderate    | 2' ht. x 3'      | Evergreen/Per. | X             | X     |
| GROUNDCOVERS:      |                    |         |  |                                   |             |                  |                |               |       |
| No.                | Qty.               | Size    | Name   | Common Name                       | Growth Rate | Ave. Size        | Decid./Evrgrm  | CA Native     | Coast |
| GC1                | 160                | 4"      | Fragaria chiloensis  | Beach Strawberry                  | Moderate    | 4" ht. x 1ft.    | Perennial      | X             | X     |

NOTES:

GENERAL:

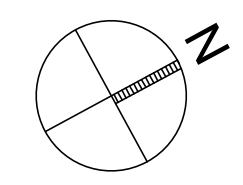
- THIS PLAN IS FOR LANDSCAPE WORK ONLY. IT IS GENERALLY SCHEMATIC AND INDICATIVE OF THE WORK TO BE PERFORMED. PLANS ARE NOT FULLY DETAILED OR SPECIFIED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSTALL ALL MATERIALS, AND EQUIPMENT.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXISTING ON SITE CONDITIONS; PROPERTY LINES, EASEMENTS, SETBACKS, UTILITIES, STRUCTURES. REVIEW ANY DISCREPANCIES WITH ARCHITECT/OWNER.
- ALL WORK AND MATERIALS SHALL MEET OR EXCEED ALL APPLICABLE BUILDING CODES AS PER THE CURRENT UNIFORM BUILDING CODE OR EXISTING STATE AND LOCAL REGULATIONS.
- ALL EQUIPMENT SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS AND IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES.
- THE OWNER OR THEIR REPRESENTATIVE SHALL APPROVE MATERIALS SUBSTITUTION.
- THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND PAY ALL APPLICABLE FEES.
- CONTRACTOR TO FURNISH ALL LABOR, MATERIALS, AND SUPPLIES TO PERFORM ALL OPERATIONS IN CONNECTION WITH AND REASONABLY INCIDENTAL TO THE COMPLETE INSTALLATION OF THE PROJECT.
- CONTRACTOR SHALL COORDINATE THEIR WORK WITH OTHER CONTRACTORS FOR THE LOCATION AND THE INSTALLATION OF SLEEVING UNDER HARDSURFACE AREAS ETC.
- DO NOT WILLFULLY INSTALL ANY SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS THE FIELD CONDITIONS WILL NOT ALLOW FOR DESIGN INTENT. NOTIFY THE LANDSCAPE ARCHITECT OR OWNER OF SUCH DEVIATIONS.
- THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS REQUIRED SHOULD NOTIFICATION NOT HAVE BEEN PROVIDED AND APPROVED BY THE ARCHITECT, OWNER OR THEIR REPRESENTATIVE.
- DURING CONSTRUCTION THE SITE WILL BE NEATLY KEPT AS PRACTICAL TO NOT DISTURB NORMAL USAGE OF THE SURROUNDING AREAS BY THE OWNER.
- CONTRACTOR SHALL REMOVE ANY FALL EXCESS MATERIALS, OR DEBRIS FROM THE SITE.



- NOTES:
- PLANTING AREA 28,000 SQ.FT.
  - IRRIGATE WITH RAINWATER.
  - IRRIGATE WITH GRAY WATER.

LANDSCAPE PLAN

1" = 20'-0"



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0801-L1.dwg Plot Date: 6.22.2016

Project

**BEWLEY RESIDENCE**

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Architect

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510 601 7196 f

Consultant

*Blue Sky*  
DESIGNS, INC.

CUSTOM LANDSCAPE ENVIRONMENTS  
Landscape Contractor's License #C27-436094  
General Contractor's License #B-436094  
Landscape Architect's License #LA-4205  
495 Purisimo Way, Half Moon Bay, CA 94019  
(650) 726-5990 FAX (650) 726-2353

Stamp

Printing Date

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| Planning Permit   | 03.18.2010 |
| Coordination      | 09.12.2011 |
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| Coordination      | 10.05.2011 |
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| D.R.Pre-app conf. | 03.26.2014 |
| Design Review     | 08.12.2014 |
| Story Pole        | 11.14.2014 |
| D.R. coord        | 06.08.2015 |
| Design Review     | 07.10.2015 |
| Story Pole        | 10.23.2015 |
| Site Drainage Rev | 04.10.2016 |

HM,a+e Job Number  
2005.01

Sheet Title  
**LANDSCAPE PLAN**

Sheet Number

**L1**

# BEWLEY RESIDENCE

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Consultant

Stamp

Printing Date

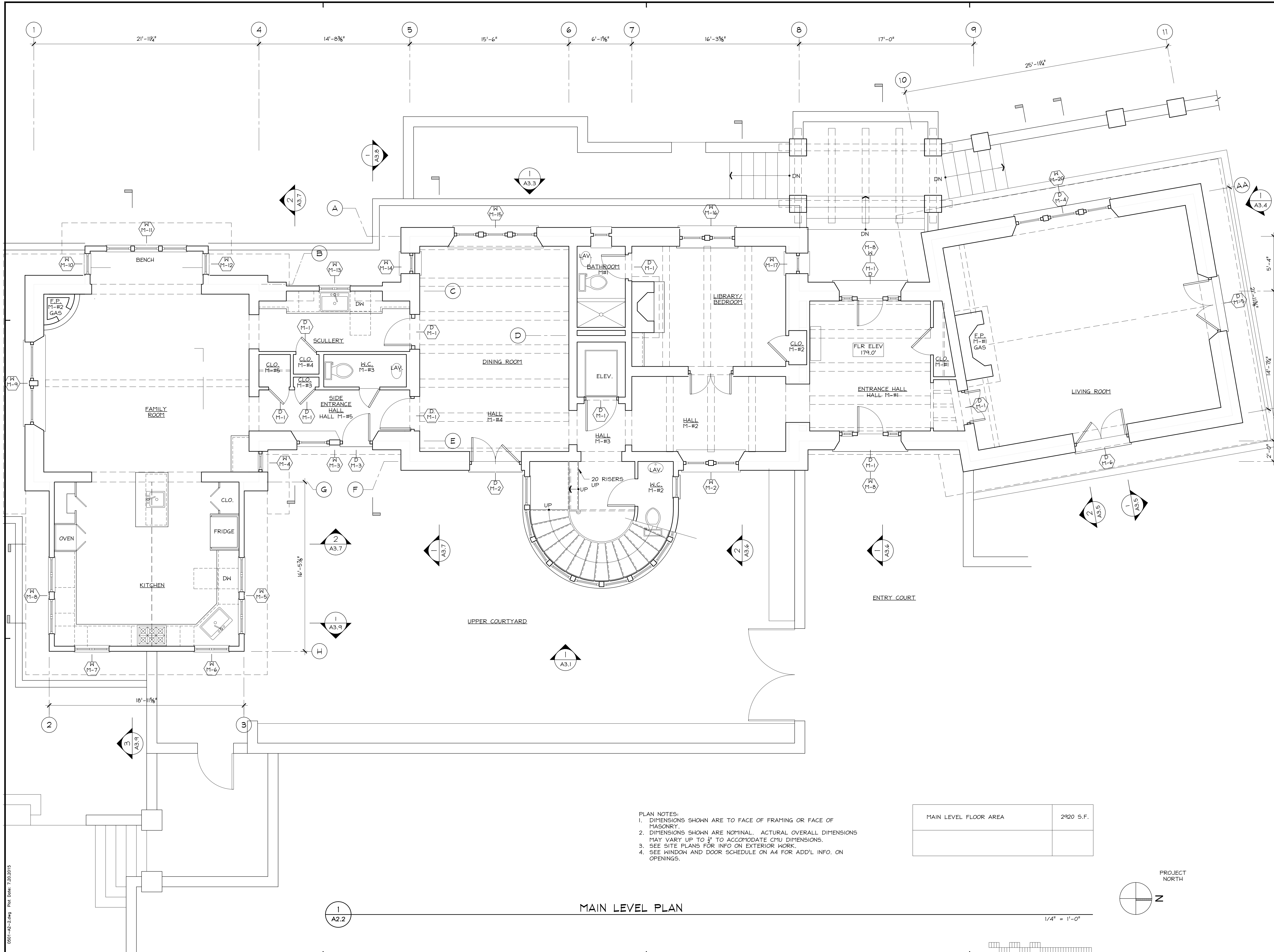
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| D.R. coord        | 06.08.2015 |
| Design Review     | 07.10.2015 |

HM,a+e Job Number  
2005,01

## Sheet Title MAIN LEVEL PLAN

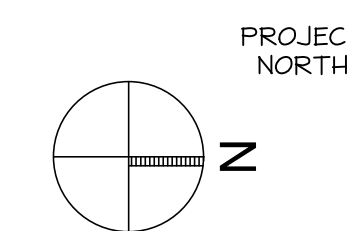
Sheet Number

# A2.2



- PLAN NOTES:
1. DIMENSIONS SHOWN ARE TO FACE OF FRAMING OR FACE OF MASONRY.
  2. DIMENSIONS SHOWN ARE NOMINAL. ACTUAL OVERALL DIMENSIONS MAY VARY UP TO 1/8" TO ACCOMMODATE CMU DIMENSIONS.
  3. SEE SITE PLANS FOR INFO ON EXTERIOR WORK.
  4. SEE WINDOW AND DOOR SCHEDULE ON A4 FOR ADD'L INFO. ON OPENINGS.

|                       |           |
|-----------------------|-----------|
| MAIN LEVEL FLOOR AREA | 2920 S.F. |
|                       |           |



1/4" = 1'-0"

### MAIN LEVEL PLAN

# BEWLEY RESIDENCE

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Architecture and Engineering

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Consultant

Stamp

Printing Date

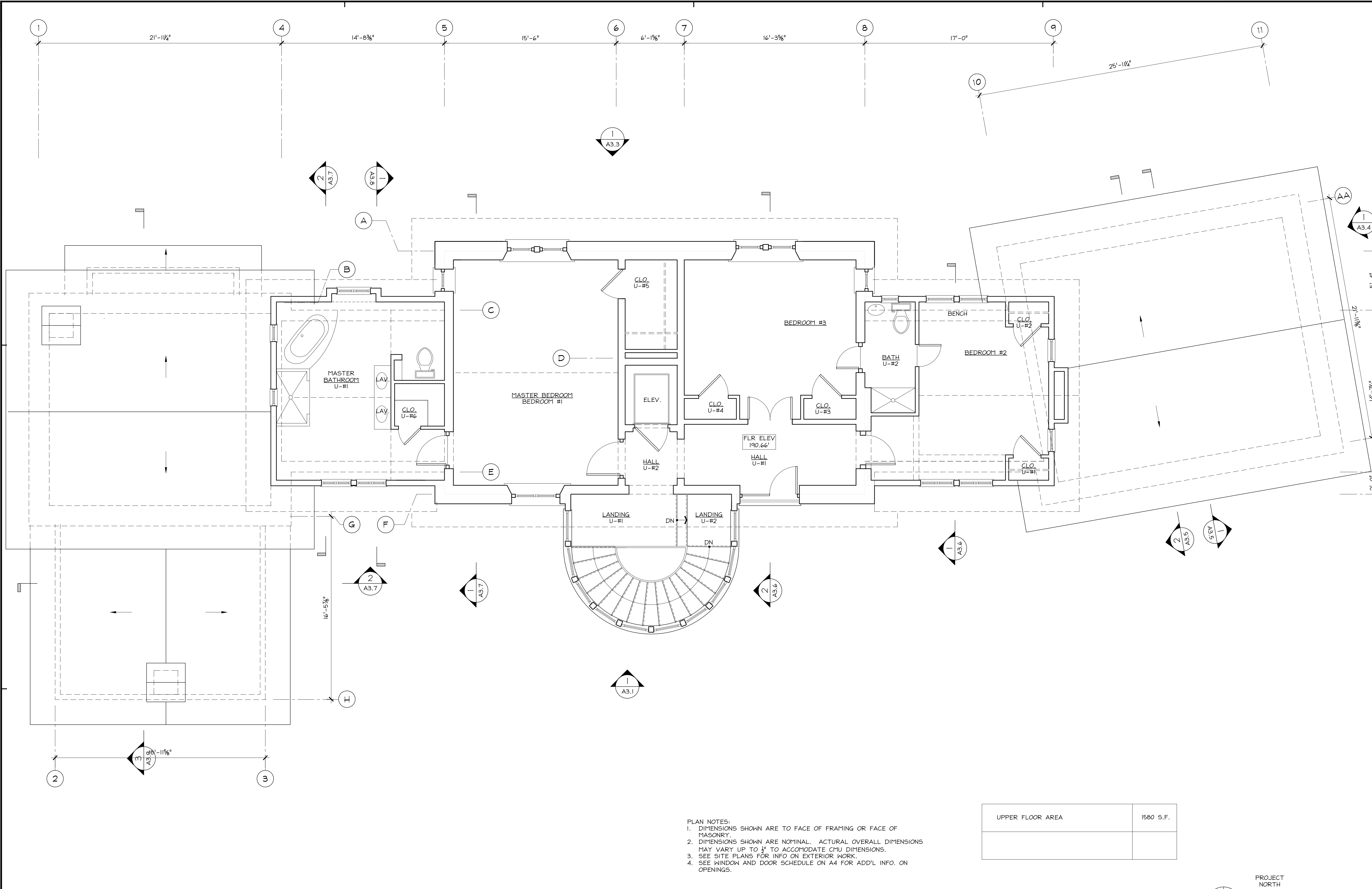
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| Design Review     | 07.10.2015 |

HM,a+e Job Number  
2005,01

### UPPER LEVEL PLAN

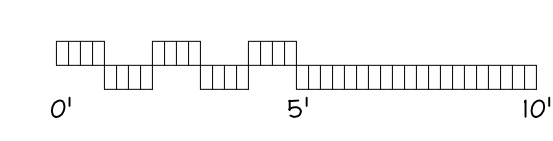
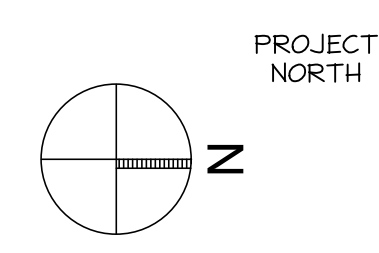
Sheet Number

# A2.3



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  4. SEE WINDOW AND DOOR SCHEDULE ON A4 FOR ADD'L INFO. ON OPENINGS.

|                  |           |
|------------------|-----------|
| UPPER FLOOR AREA | 1580 S.F. |
|                  |           |



### UPPER LEVEL PLAN

1  
A2.3

0501-a2-a2-3.dwg Plot Date: 7.20.2015

Project

### BEWLEY RESIDENCE

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Consultant

Stamp

Printing Date

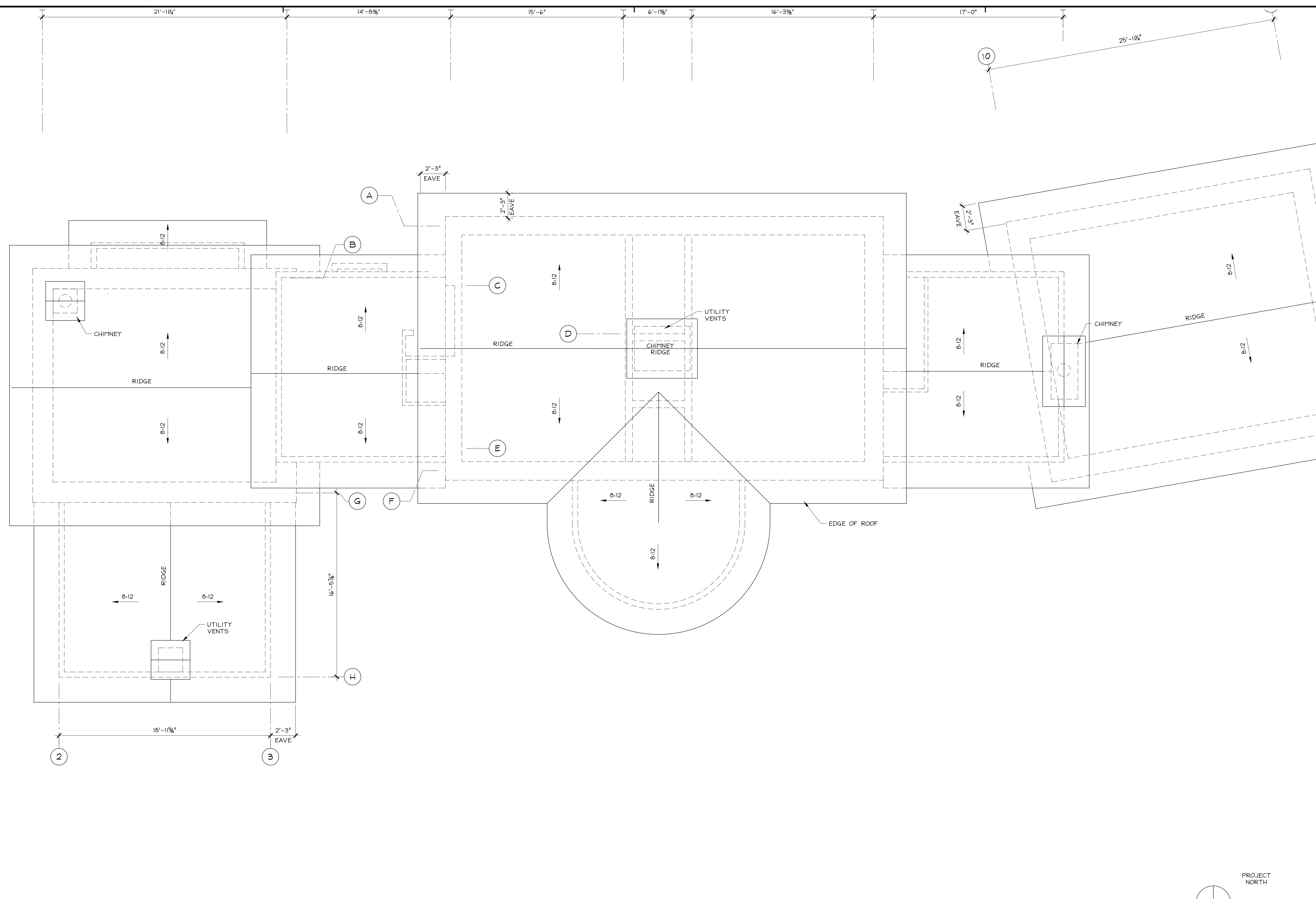
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| Design Review     | 07.10.2015 |

HM,a+e Job Number  
2005,01

### Sheet Title ROOF PLAN

Sheet Number

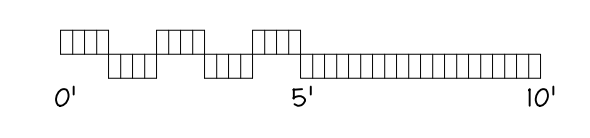
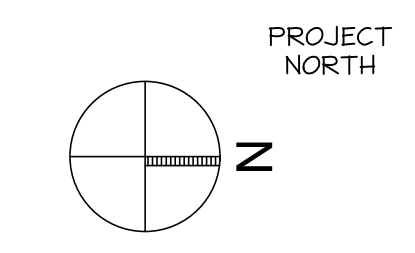
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1  
A2.4

### ROOF PLAN

1/4" = 1'-0"



0501-A2-A2-4.dwg Plot Date: 7.20.2015

# BEWLEY RESIDENCE

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Consultant

Stamp

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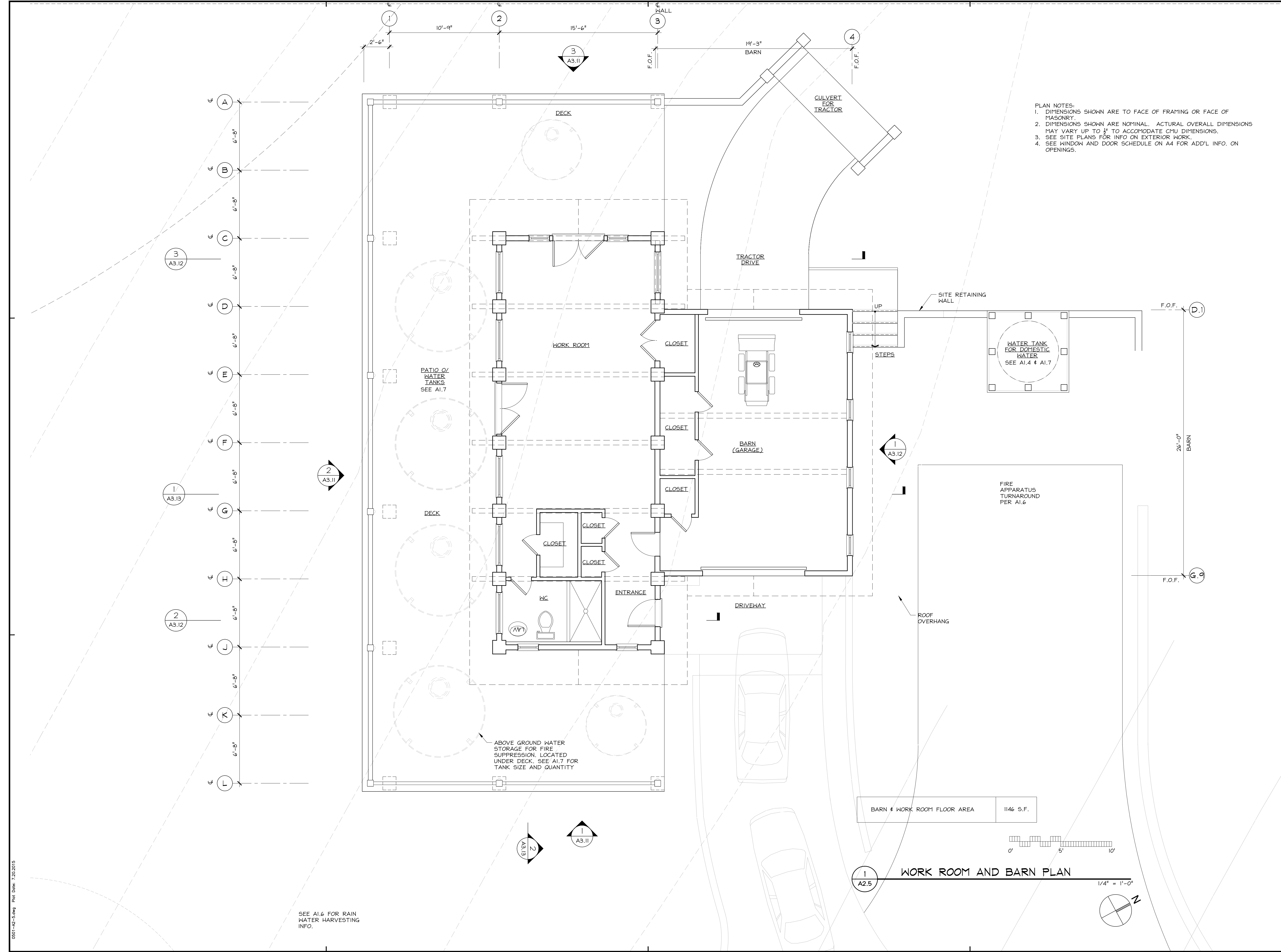
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| D.R. coord        | 06.08.2015 |
| Design Review     | 07.10.2015 |

HM,a+e Job Number  
2005,01

### Sheet Title BARN PLAN

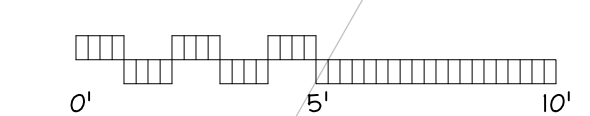
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# A2.5



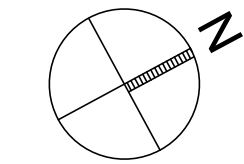
PLAN NOTES:  
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|                             |           |
|-----------------------------|-----------|
| BARN & WORK ROOM FLOOR AREA | 1146 S.F. |
|-----------------------------|-----------|



1 A2.5 WORK ROOM AND BARN PLAN

1/4" = 1'-0"



SEE A1.6 FOR RAIN WATER HARVESTING INFO.

0501-A2-A2-5.dwg Plot Date: 7.20.2015

# BEWLEY RESIDENCE

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Montara, CA 94037  
A.P.N. 036-310-180

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510 601 7196 f

Consultant

Stamp

Printing Date

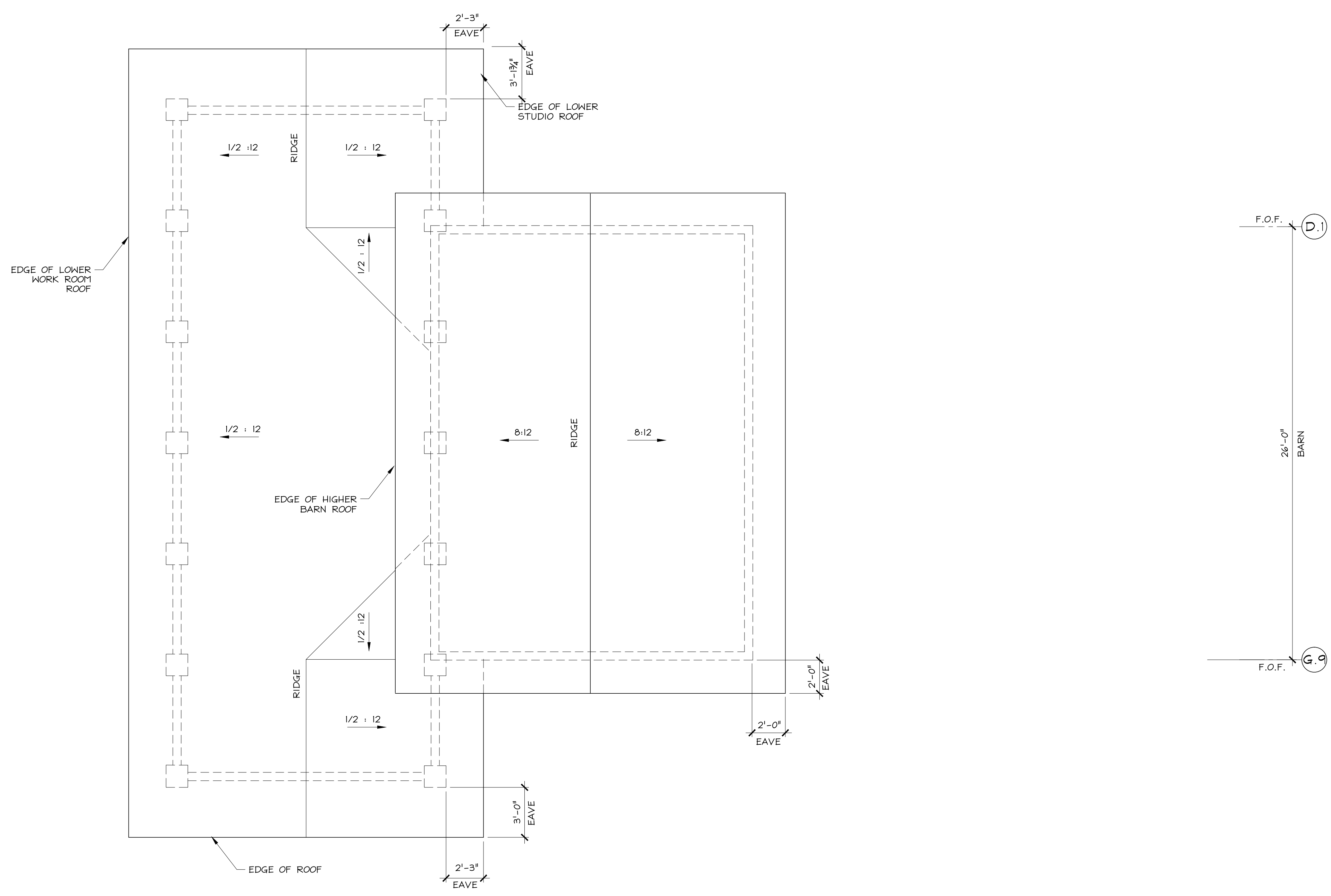
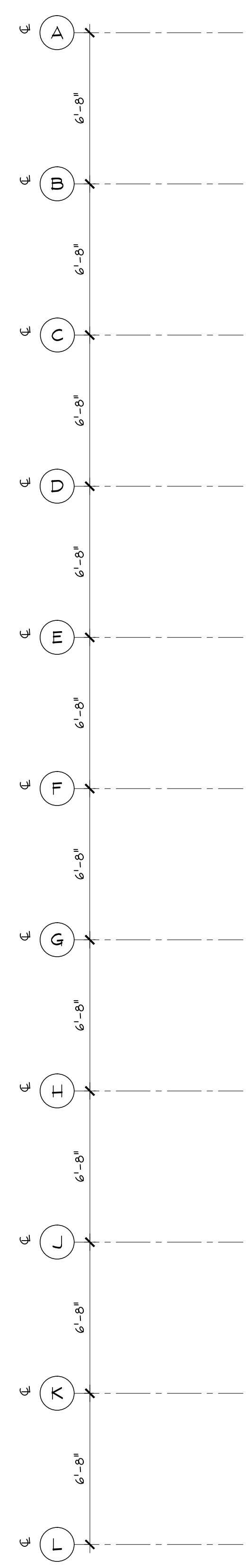
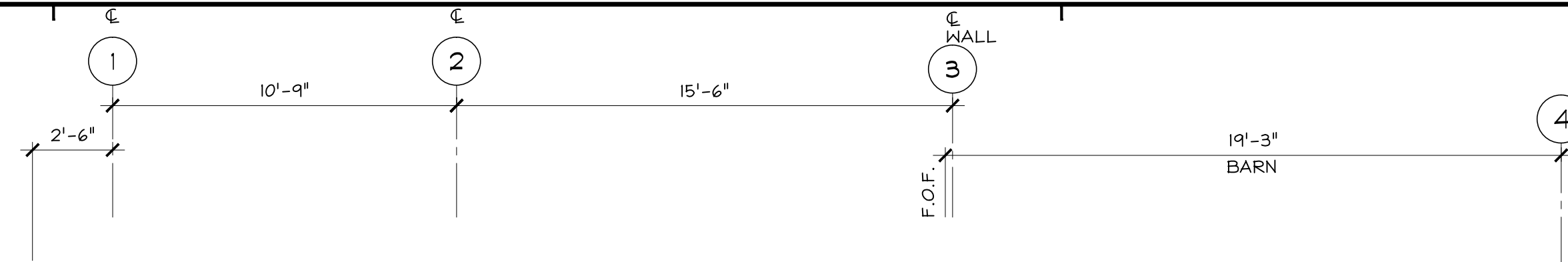
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| Design Review     | 07.10.2015 |

HM,a+e Job Number  
2005,01

### Sheet Title ROOF PLAN BARN

Sheet Number

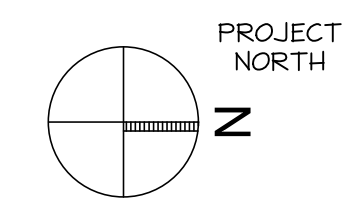
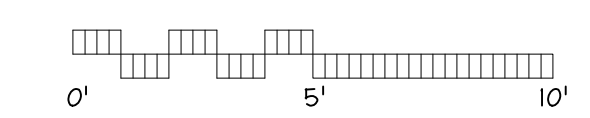
# A2.6



1  
A2.6

### ROOF PLAN - BARN

1/4" = 1'-0"



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Consultant

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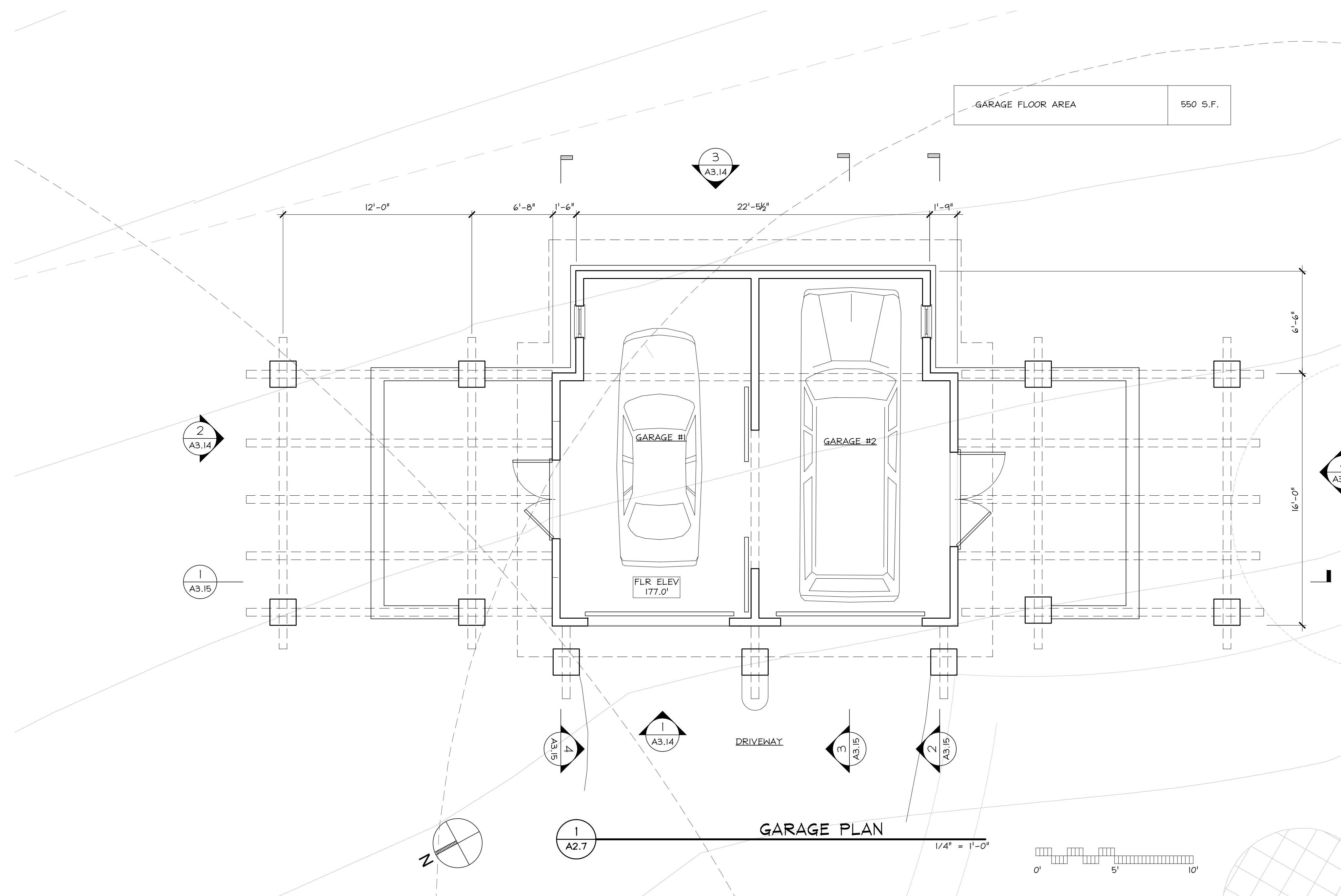
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| Design Review     | 07.10.2015 |

HM,a+e Job Number  
2005,01

## GARAGE PLAN

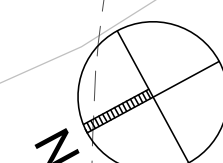
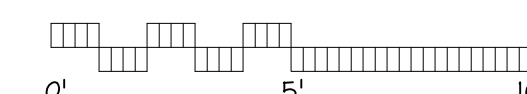
Sheet Number

# A2.7



GARAGE PLAN

1/4" = 1'-0"



Project

### BEWLEY RESIDENCE

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Oakland, CA 94609  
510.652.1511 p  
510.601.7196 f

Consultant

Stamp

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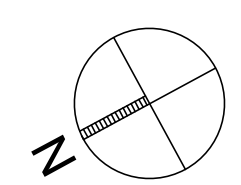
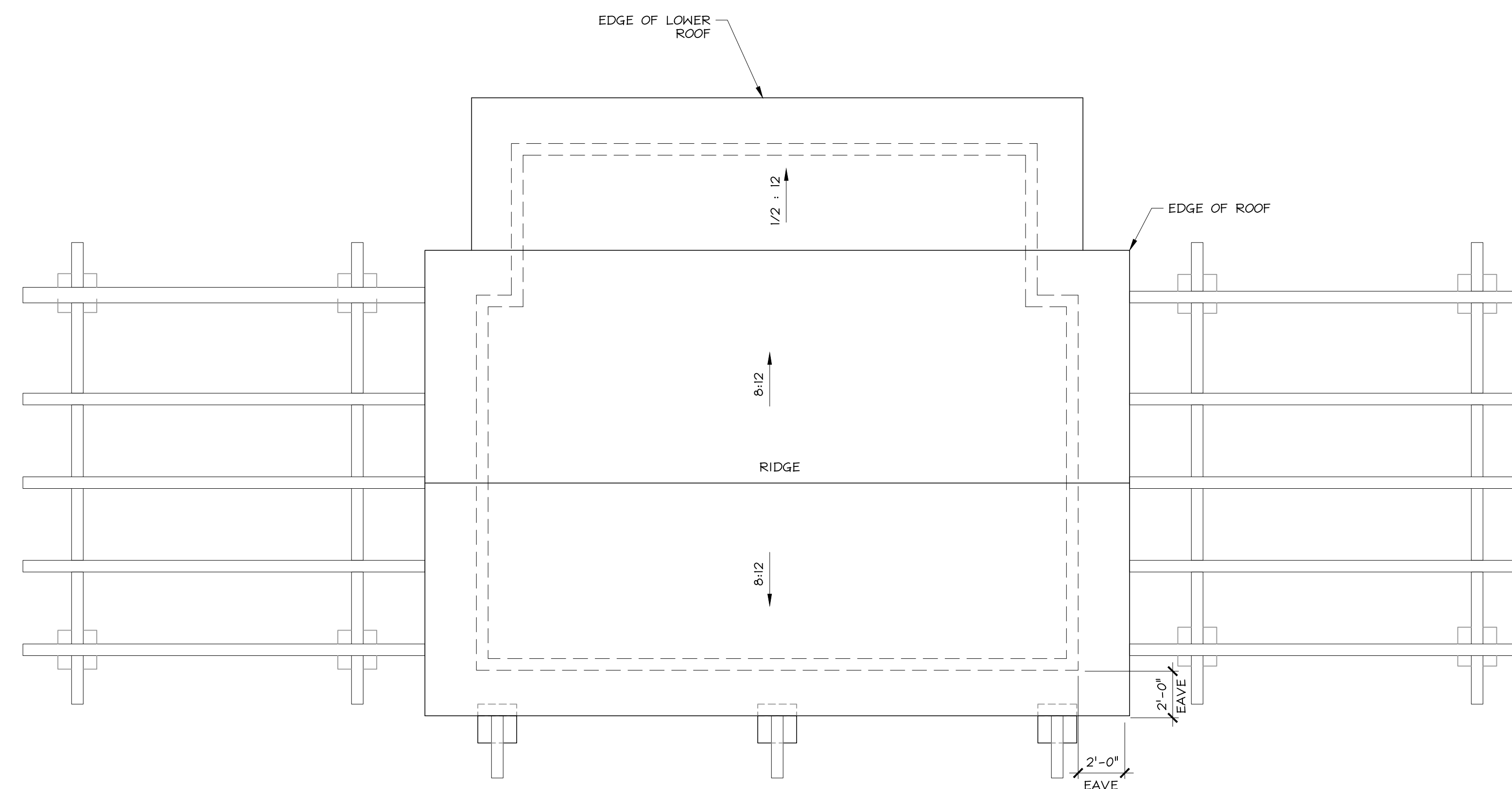
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| Design Review     | 07.10.2015 |

HM,a+e Job Number  
2005,01

Sheet Title  
**GARAGE  
ROOF PLAN**

Sheet Number

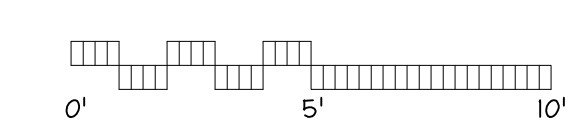
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1  
A2.8

### GARAGE ROOF PLAN

1/4" = 1'-0"



0501-A2-A2-8.dwg Plot Date: 7.20.2015



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| Design Review     | 07.10.2015 |

HM,a+e Job Number  
2005,01

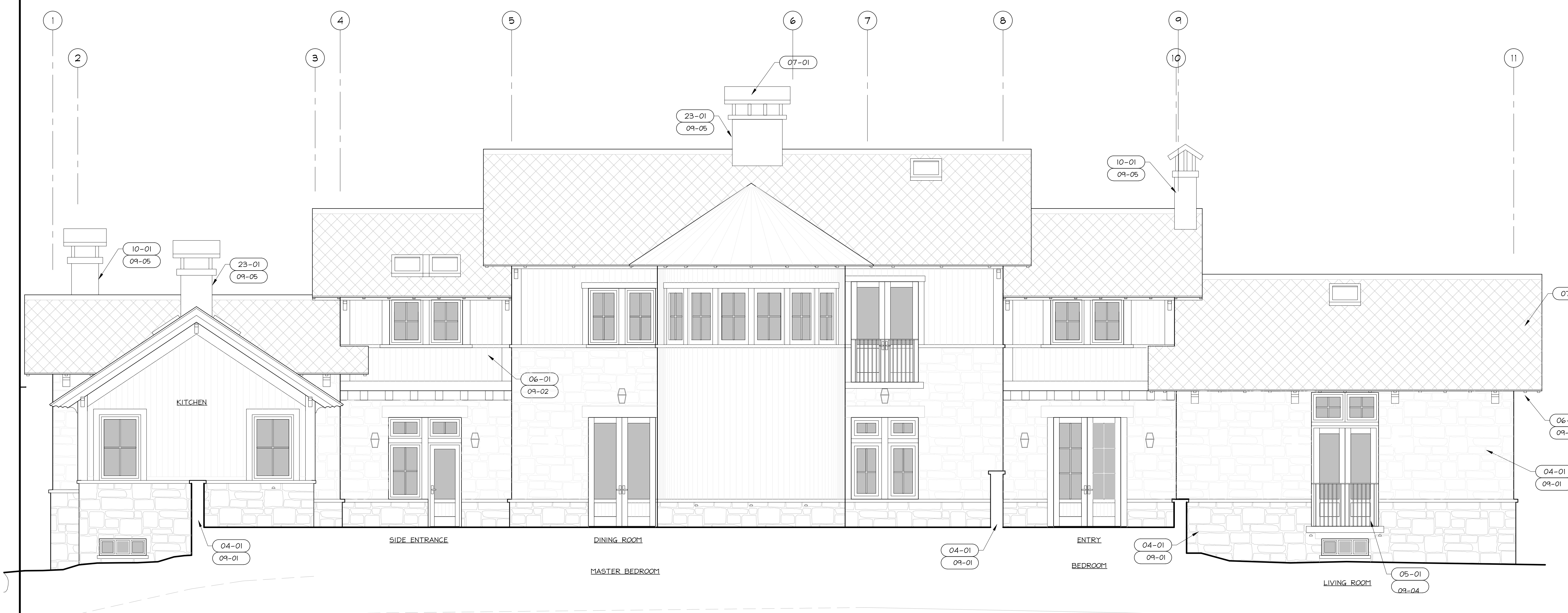
Sheet Title  
**EAST ELEVATION**

Sheet Number

**A3.1**

ELEVATION NOTES

| KEY (C.S.I.#-ITEM#)               | DESCRIPTION                                    | KEY (C.S.I.#-ITEM#) | DESCRIPTION                | KEY (C.S.I.#-ITEM#)       | DESCRIPTION   |
|-----------------------------------|--|---------------------|----------------------------|---------------------------|---|
| 04. MASONRY                       |  | 08. OPENINGS        |                            | 26. LIGHTING              |   |
| 04-01                             | CMU wall or Concrete wall                      | 08-01               | Wood or fiberglass windows | 26-01                     | Wall Sconce. Hooded down light                            |
| 05. METALS                        |  | 09. FINISHES        |                            | 26-02                     | Wall Fixture. Opaque reflector. down light                |
| 05-01                             | Steel guardrail                                | 09-01               | Stone veneer               | 26-03                     | Wall Sconce. Solid metal. Down light Low wattage          |
| 06. WOOD, PLASTICS, COMPOSITES    |  | 09-02               | Dark brown wood stain      | 26-04                     | Solid metal. Down light Low wattage. Path light           |
| 06-01                             | Wood siding. Redwood or Cement Board           | 09-03               | Paint. Ocean blue          | 26-05                     | Down light Low wattage. Fixture hidden in trellis framing |
| 06-02                             | Wood trim. Redwood                             | 09-04               | Dark bronze paint          |                           |   |
| 06-03                             | Wood roof framing. Doug Fir                    | 09-05               | Cement Stucco. Off-white   | 32. EXTERIOR IMPROVEMENTS |   |
| 06-04                             | Wood trellis. Reclaimed. Natural oil finish    | 10. SPECIALTIES     |                            | 32-01                     | Exterior paving. See A1.5                                 |
| 07. THERMAL & MOISTURE PROTECTION |  | 10-01               | Gas fireplace chimney      | 32-02                     | Landscaping boulder                                       |
| 07-01                             | Composite shingle. Black. Tamko Lamarite Slate | 23. HVAC            |                            |                           |   |
|                                   |  | 23-01               | Exhaust and vent stacks    |                           |   |
|                                   |  | 23-02               | Solar hot water panels     |                           |   |



GENERAL ELEVATION NOTES:  
1. FLOOR ELEVATIONS ARE FOR REFERENCE. SEE PLANS FOR ACTUAL FLOOR ELEVATIONS.  
2. SEE ROOF PLAN FOR ROOF SLOPES.  
3. SEE ELEVATIONS FOR FINISH NOTES

**EAST ELEVATION**  
ENTRY

1/4" = 1'-0"

0501-A3-1.dwg Plot Date: 7.20.2015

1  
A3.1

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HM,a+e Job Number  
2005,01

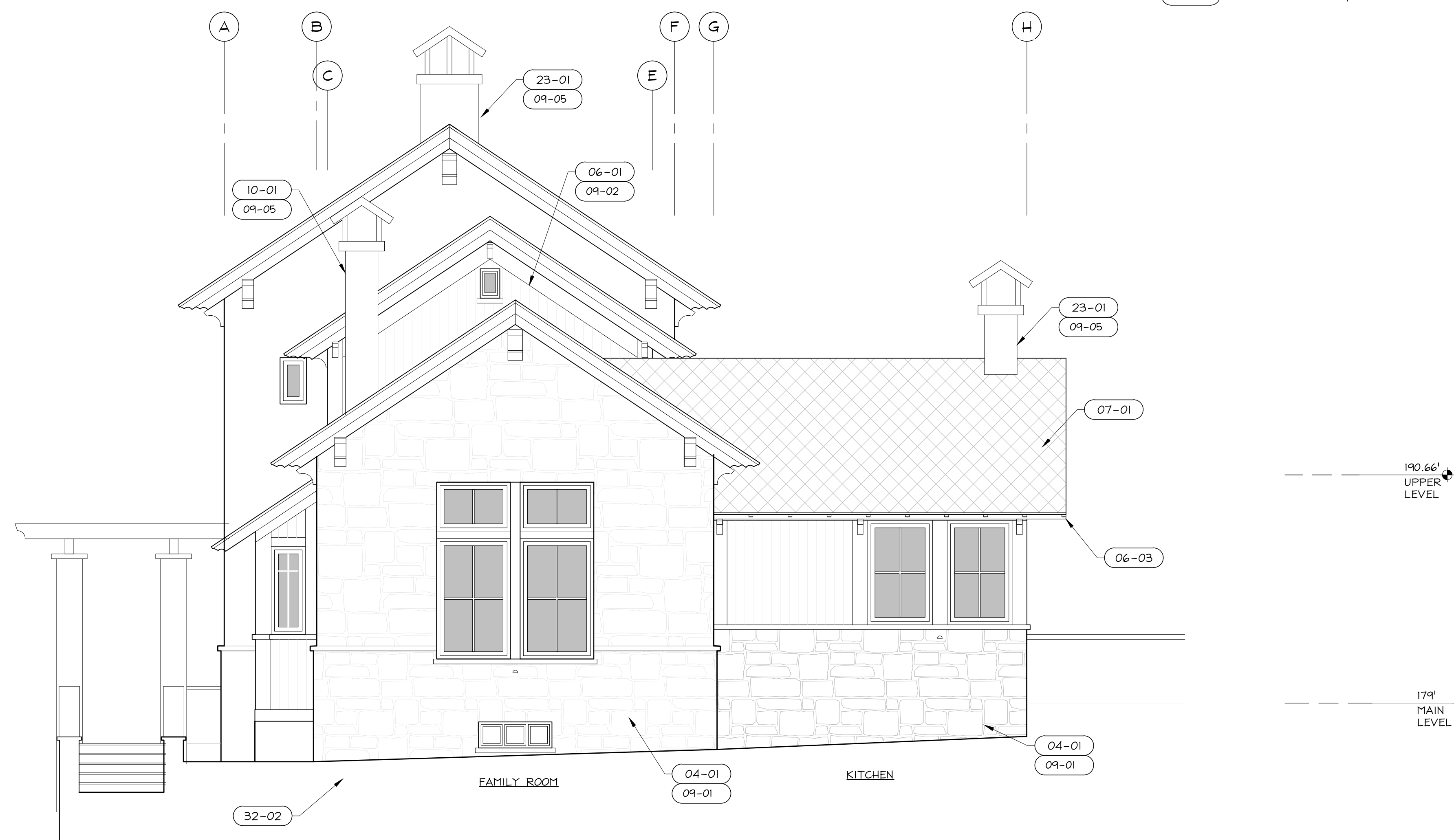
Sheet Title  
**SOUTH ELEVATION**

Sheet Number

**A3.2**

ELEVATION NOTES

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|-----------------------------------|---|------------------------|----------------------------|---------------------------|---|
| 04. MASONRY                       |   | 08. OPENINGS           |                            | 26. LIGHTING              |   |
| 04-01                             | CMU wall or Concrete wall                       | 08-01                  | Wood or fiberglass windows | 26-01                     | Wall Sconce. Hooded down light                            |
| 05. METALS                        |   | 09. FINISHES           |                            | 26-02                     | Wall Fixture. Opague reflector. down light                |
| 05-01                             | Steel guardrail                                 | 09-01                  | Stone veneer               | 26-03                     | Wall Sconce. Solid metal. Down light Low wattage          |
| 06. WOOD, PLASTICS, COMPOSITES    |   | 09-02                  | Dark brown wood stain      | 26-04                     | Solid metal. Down light Low wattage. Path light           |
| 06-01                             | Wood siding. Redwood or Cement Board            | 09-03                  | Paint. Ocean blue          | 26-05                     | Down light Low wattage. Fixture hidden in trellis framing |
| 06-02                             | Wood trim. Redwood                              | 09-04                  | Dark bronze paint          |                           |   |
| 06-03                             | Wood roof framing. Doug Fir                     | 09-05                  | Cement Stucco. Off-white   | 32. EXTERIOR IMPROVEMENTS |   |
| 06-04                             | Wood trellis. Reclaimed. Natural oil finish     | 10. SPECIALTIES        |                            | 32-01                     | Exterior paving. See A1.5                                 |
| 07. THERMAL & MOISTURE PROTECTION |   | 10-01                  | Gas fireplace chimney      | 32-02                     | Landscaping boulder                                       |
| 07-01                             | Composite shingle. Black. Tamko Lamarrite Slate | 23. HVAC               |                            |                           |   |
|                                   |   | 23-01                  | Exhaust and vent stacks    |                           |   |
|                                   |   | 23-02                  | Solar hot water panels     |                           |   |



GENERAL ELEVATION NOTES:  
1. FLOOR ELEVATIONS ARE FOR REFERENCE. SEE PLANS FOR ACTUAL FLOOR ELEVATIONS.  
2. SEE ROOF PLAN FOR ROOF SLOPES.  
3. SEE ELEVATIONS FOR FINISH NOTES

1  
A3.2

**SOUTH ELEVATION  
FAMILY ROOM AND KITCHEN**

1/4" = 1'-0"

# BEWLEY RESIDENCE

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A.P.N. 036-310-180

Architect

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510 601 7196 f

Consultant

Stamp

Printing Date

|                   |            |
|-------------------|------------|
| Planning Permit   | 03.18.2010 |
| Coordination      | 09.12.2011 |
| Planning          | 09.13.2011 |
| Coordination      | 10.05.2011 |
| Coordination      | 10.11.2011 |
| Coordination      | 07.19.2013 |
| Coordination      | 08.08.2013 |
| Coordination      | 10.07.2013 |
| Coordination      | 10.21.2013 |
| Coordination      | 11.05.2013 |
| Constraints Map   | 11.07.2013 |
| Constraints Map   | 11.25.2013 |
| Coordination      | 03.19.2014 |
| D.R.Pre-app conf. | 03.26.2014 |
| Design Review     | 08.12.2014 |
| Story Pole        | 11.14.2014 |
| D.R. coord        | 06.08.2015 |
| Design Review     | 07.10.2015 |

HM,a+e Job Number  
2005,01

Sheet Title  
**WEST  
ELEVATION**

Sheet Number

# A3.3

### ELEVATION NOTES

| KEY (C.S.I.#-ITEM#)               | DESCRIPTION                                    | KEY (C.S.I.#-ITEM#) | DESCRIPTION                | KEY (C.S.I.#-ITEM#)       | DESCRIPTION   |
|-----------------------------------|--|---------------------|----------------------------|---------------------------|---|
| 04. MASONRY                       |  | 08. OPENINGS        |                            | 26. LIGHTING              |   |
| 04-01                             | CMU wall or Concrete wall                      | 08-01               | Wood or fiberglass windows | 26-01                     | Wall Sconce. Hooded down light                            |
| 05. METALS                        |  | 09. FINISHES        |                            | 26-02                     | Wall Fixture. Opaque reflector. down light                |
| 05-01                             | Steel guardrail                                | 09-01               | Stone veneer               | 26-03                     | Wall Sconce. Solid metal. Down light Low wattage          |
| 06. WOOD, PLASTICS, COMPOSITES    |  | 09-02               | Dark brown wood stain      | 26-04                     | Solid metal. Down light Low wattage. Path light           |
| 06-01                             | Wood siding. Redwood or Cement Board           | 09-03               | Paint. Ocean blue          | 26-05                     | Down light Low wattage. Fixture hidden in trellis framing |
| 06-02                             | Wood trim. Redwood                             | 09-04               | Dark bronze paint          |                           |   |
| 06-03                             | Wood roof framing. Doug Fir                    | 09-05               | Cement Stucco. Off-white   | 32. EXTERIOR IMPROVEMENTS |   |
| 06-04                             | Wood trellis. Reclaimed. Natural oil finish    |                     |                            | 32-01                     | Exterior paving. See A1.5                                 |
| 07. THERMAL & MOISTURE PROTECTION |  | 10. SPECIALTIES     |                            | 32-02                     | Landscaping boulder                                       |
| 07-01                             | Composite shingle. Black. Tamko Lamarite Slate | 10-01               | Gas fireplace chimney      |                           |   |
|                                   |  | 23. HVAC            |                            |                           |   |
|                                   |  | 23-01               | Exhaust and vent stacks    |                           |   |
|                                   |  | 23-02               | Solar hot water panels     |                           |   |



NOTES:  
1. ELEVATION DOES NOT SHOW BUILDING SKEWED.

GENERAL ELEVATION NOTES:  
1. FLOOR ELEVATIONS ARE FOR REFERENCE. SEE PLANS FOR ACTUAL FLOOR ELEVATIONS.  
2. SEE ROOF PLAN FOR ROOF SLOPES.  
3. SEE ELEVATIONS FOR FINISH NOTES

## WEST ELEVATION SIDE OF BUILDING

1/4" = 1'-0"

1  
A3.3

### BEWLEY RESIDENCE

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| Design Review     | 08.12.2014 |
| Story Pole        | 11.14.2014 |
| D.R. coord        | 06.08.2015 |
| Design Review     | 07.10.2015 |

HM,a+e Job Number  
2005,01

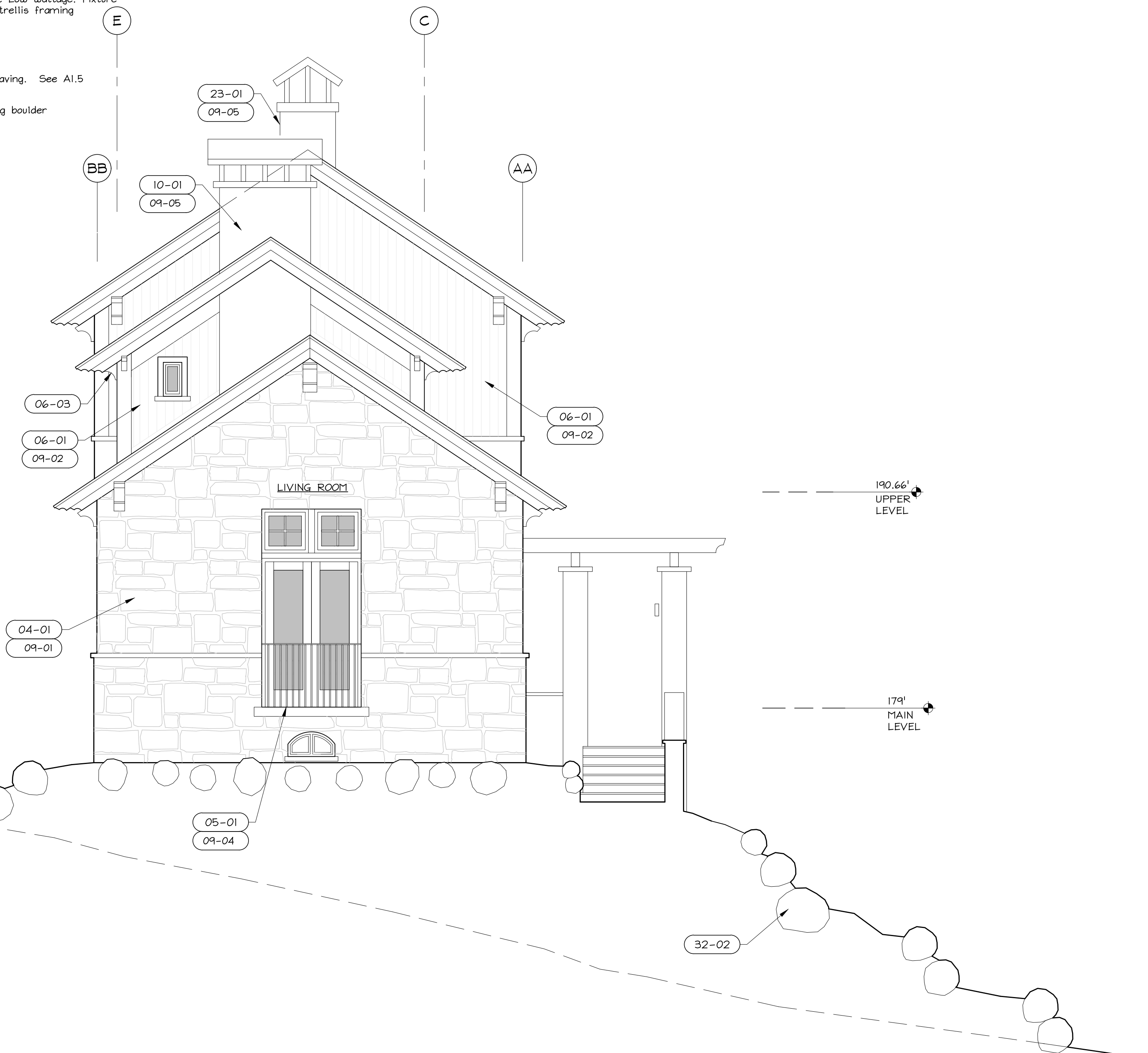
### NORTH ELEVATION

Sheet Number

# A3.4

#### ELEVATION NOTES

| KEY (C.S.I.#-ITEM#) | DESCRIPTION                                    | KEY (C.S.I.#-ITEM#) | DESCRIPTION                | KEY (C.S.I.#-ITEM#) | DESCRIPTION  |
|---------------------|--|---------------------|----------------------------|---------------------|--|
| 04                  | MASONRY  | 08                  | OPENINGS                   | 26                  | LIGHTING   |
| 04-01               | CMU wall or Concrete wall                      | 08-01               | Wood or fiberglass windows | 26-01               | Wall Sconce. Hooded down light                             |
| 05                  | METALS   | 09                  | FINISHES                   | 26-02               | Wall Fixture. Opaque reflector. down light                 |
| 05-01               | Steel guardrail                                | 09-01               | Stone veneer               | 26-03               | Wall Sconce. Solid metal. Down light. Low wattage          |
| 06                  | WOOD, PLASTICS, COMPOSITES                     | 09-02               | Dark brown wood stain      | 26-04               | Solid metal. Down light. Low wattage. Path light           |
| 06-01               | Wood siding. Redwood or Cement Board           | 09-03               | Paint. Ocean blue          | 26-05               | Down light. Low wattage. Fixture hidden in trellis framing |
| 06-02               | Wood trim. Redwood                             | 09-04               | Dark bronze paint          |                     |  |
| 06-03               | Wood roof framing. Doug Fir                    | 09-05               | Cement Stucco. Off-white   | 32                  | EXTERIOR IMPROVEMENTS                                      |
| 06-04               | Wood trellis. Reclaimed. Natural oil finish    | 10                  | SPECIALTIES                | 32-01               | Exterior paving. See A1.5                                  |
| 07                  | THERMAL & MOISTURE PROTECTION                  | 10-01               | Gas fireplace chimney      | 32-02               | Landscaping boulder  |
| 07-01               | Composite shingle. Black. Tamko Lamarite Slate | 23                  | HVAC                       |                     |  |
|                     |  | 23-01               | Exhaust and vent stacks    |                     |  |
|                     |  | 23-02               | Solar hot water panels     |                     |  |



NOTES:  
1. ELEVATION DOES NOT SHOW BUILDING SKEWED.

GENERAL ELEVATION NOTES:  
1. FLOOR ELEVATIONS ARE FOR REFERENCE. SEE PLANS FOR ACTUAL FLOOR ELEVATIONS.  
2. SEE ROOF PLAN FOR ROOF SLOPES.  
3. SEE ELEVATIONS FOR FINISH NOTES

1  
A3.4

### NORTH ELEVATION LIVING ROOM

1/4" = 1'-0"

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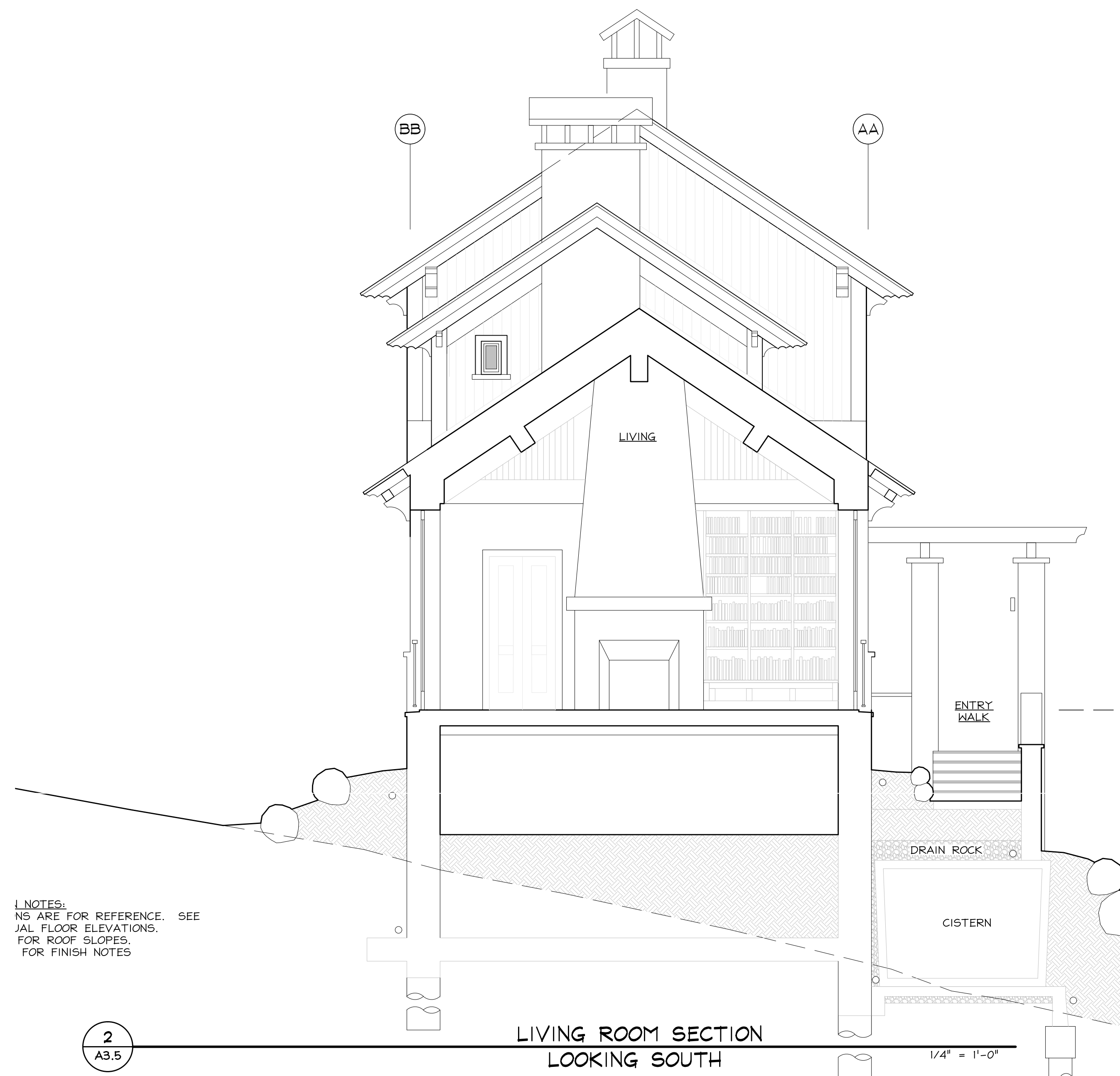
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| Constraints Map   | 11.25.2013 |
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| D.R.Pre-app conf. | 03.26.2014 |
| Design Review     | 08.12.2014 |
| Story Pole        | 11.14.2014 |
| D.R. coord        | 06.08.2015 |
| Design Review     | 07.10.2015 |
| Story Pole        | 10.23.2015 |

HM,a+e Job Number  
2005,01

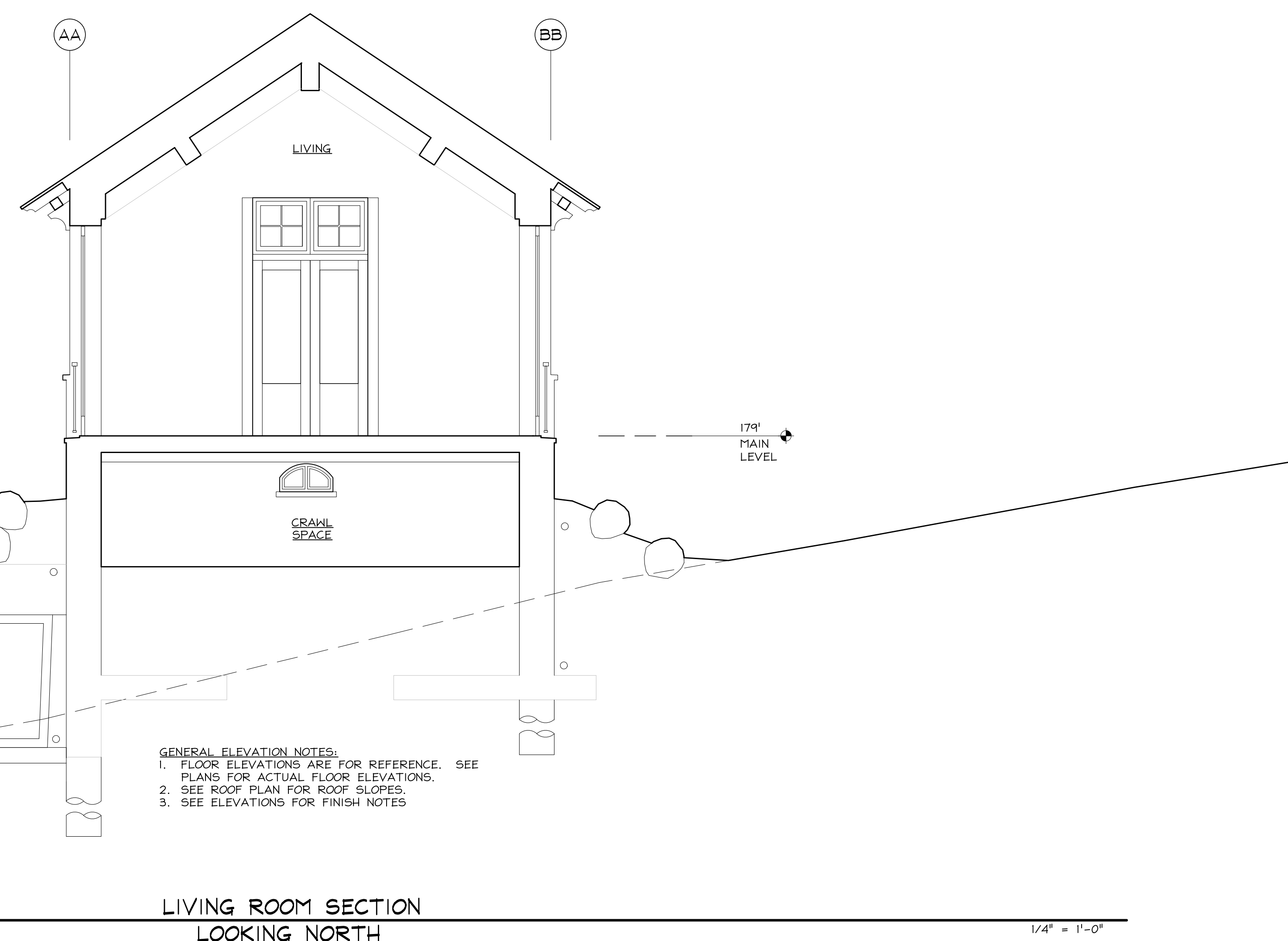
## LIVING ROOM SECTION

Sheet Number

# A3.5



1. NOTES:  
NS ARE FOR REFERENCE. SEE  
JAL FLOOR ELEVATIONS.  
FOR ROOF SLOPES.  
FOR FINISH NOTES



GENERAL ELEVATION NOTES:  
1. FLOOR ELEVATIONS ARE FOR REFERENCE. SEE  
PLANS FOR ACTUAL FLOOR ELEVATIONS.  
2. SEE ROOF PLAN FOR ROOF SLOPES.  
3. SEE ELEVATIONS FOR FINISH NOTES

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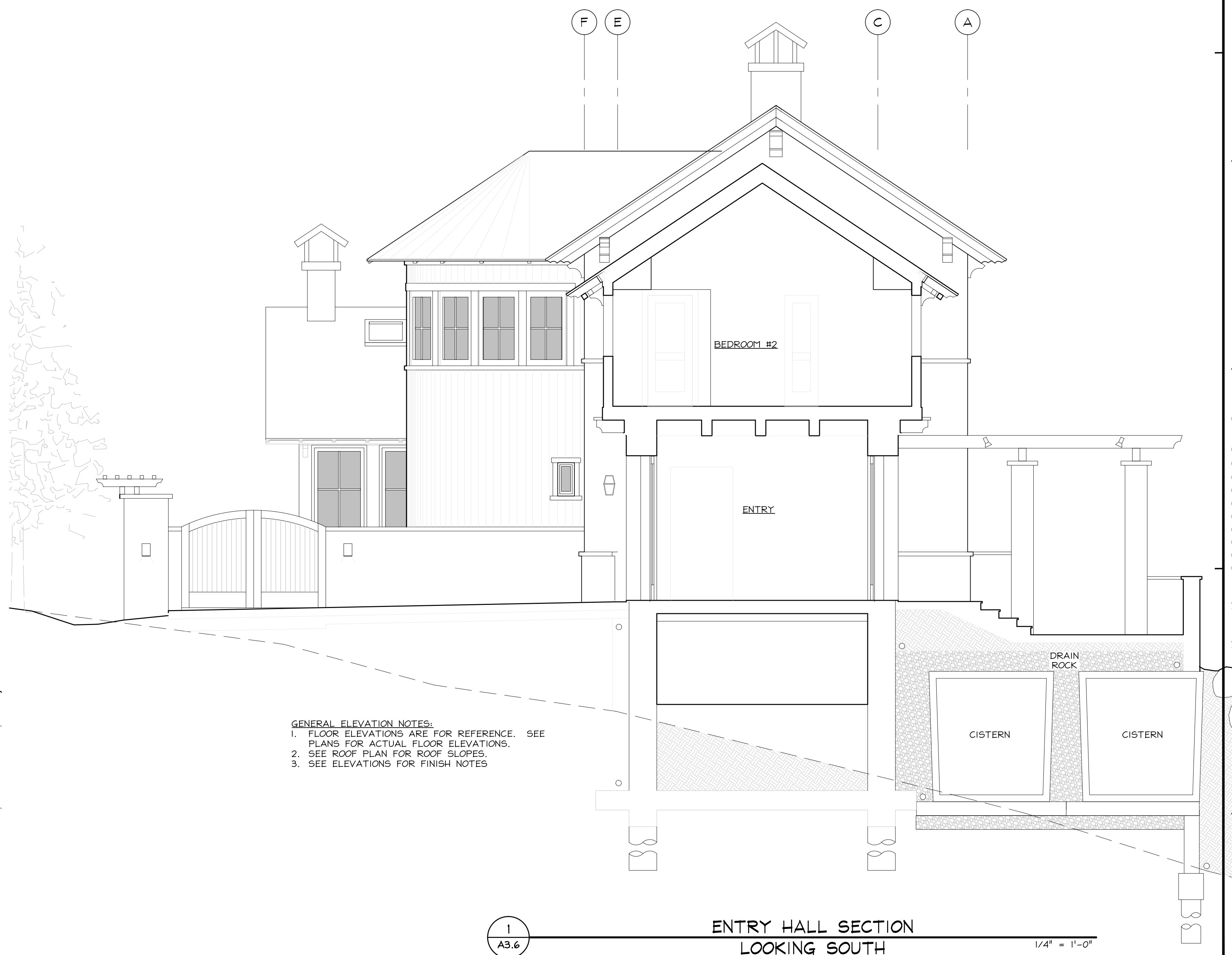
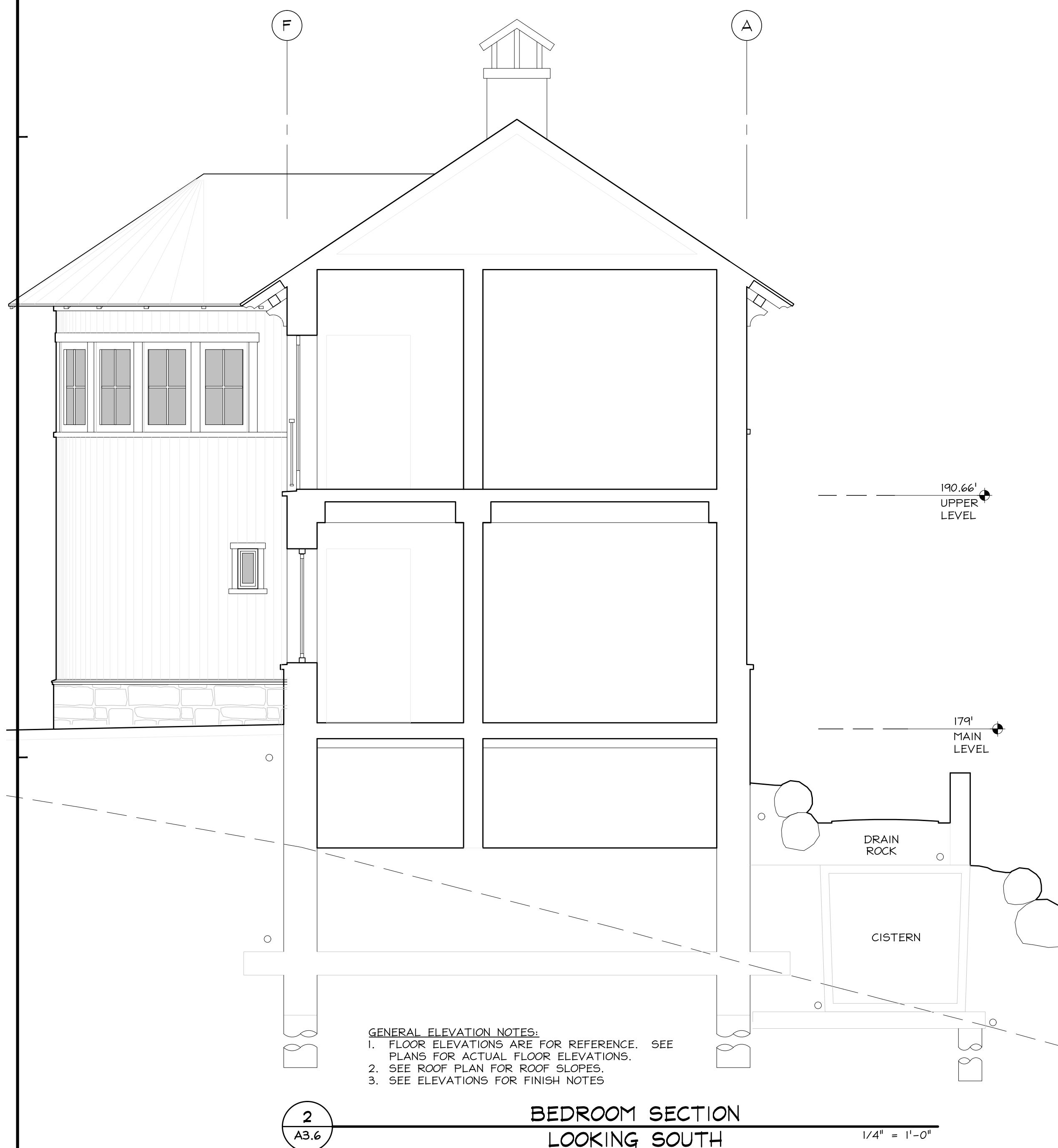
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| Planning          | 09.13.2011 |
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| D.R.Pre-app conf. | 03.26.2014 |
| Design Review     | 08.12.2014 |
| Story Pole        | 11.14.2014 |
| D.R. coord        | 06.08.2015 |
| Design Review     | 07.10.2015 |
| Story Pole        | 10.23.2015 |

HM,a+e Job Number  
2005,01

### Sheet Title STAIR SECTIONS

Sheet Number

# A3.6



### BEWLEY RESIDENCE

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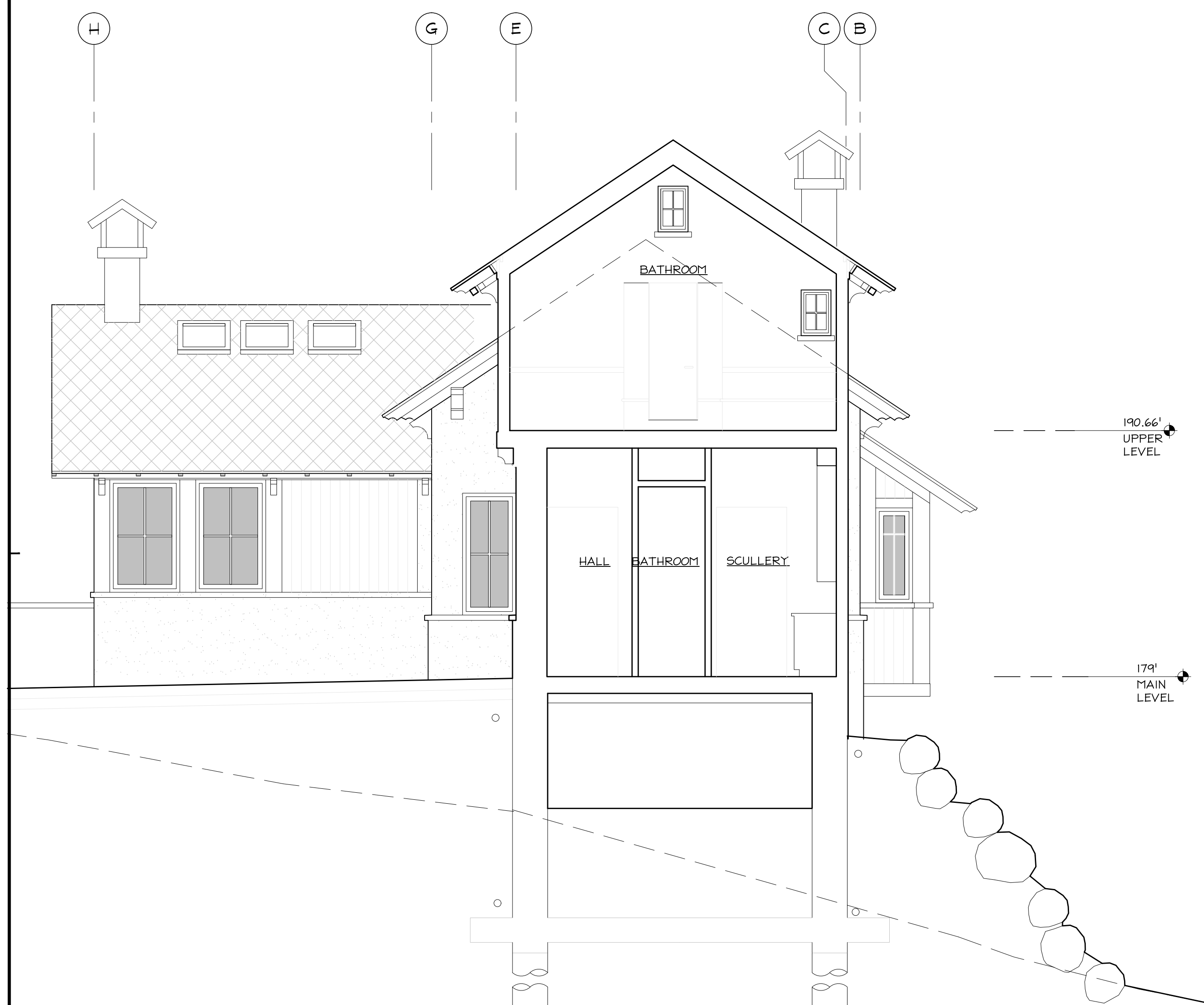
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| Coordination      | 11.05.2013 |
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| Constraints Map   | 11.25.2013 |
| Coordination      | 03.19.2014 |
| D.R.Pre-app conf. | 03.26.2014 |
| Design Review     | 08.12.2014 |
| Story Pole        | 11.14.2014 |
| D.R. coord        | 06.08.2015 |
| Design Review     | 07.10.2015 |
| Story Pole        | 10.23.2015 |

HM,a+e Job Number  
2005,01

### DINING ROOM & MASTER BEDROOM SECTIONS

Sheet Number

# A3.7

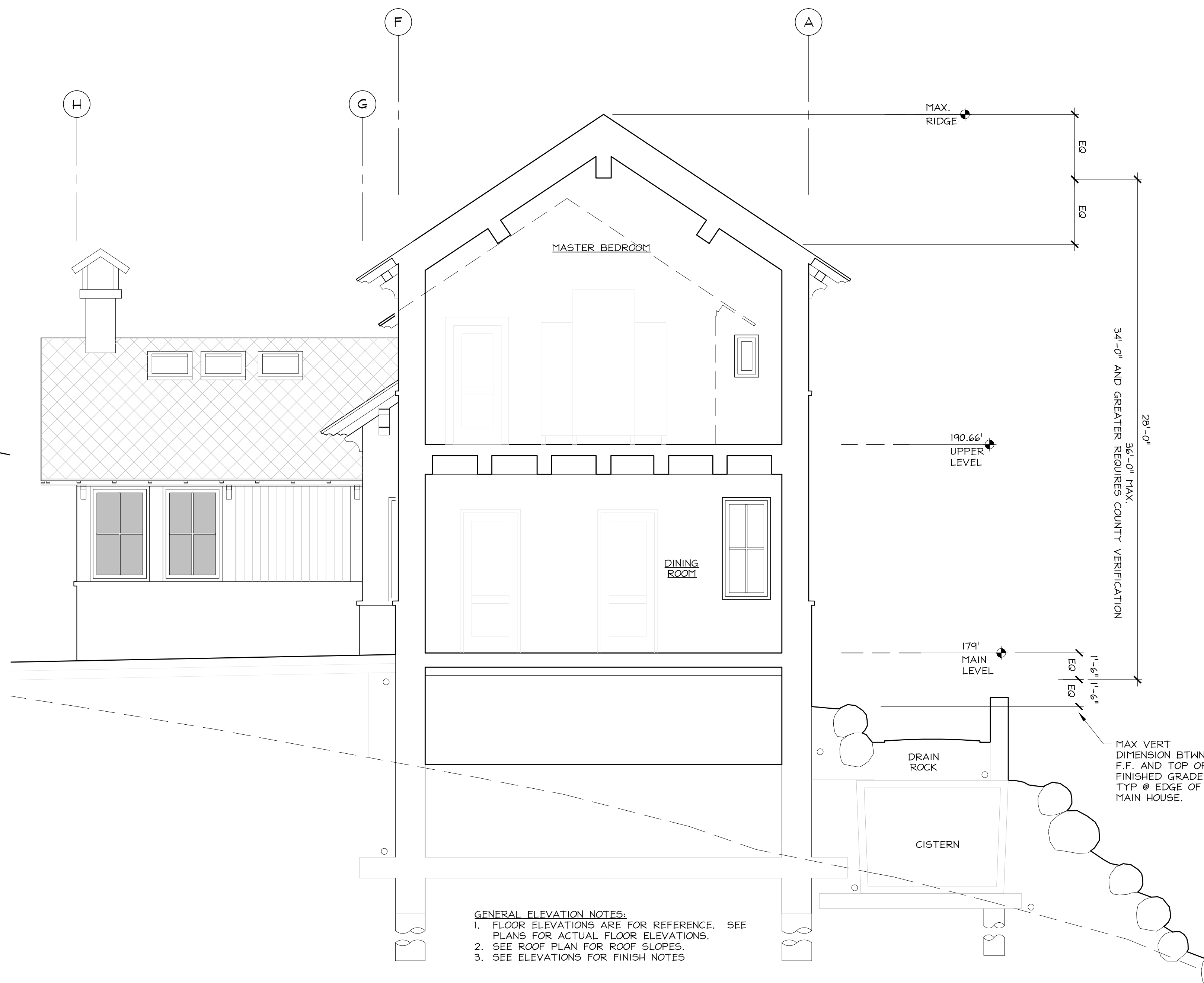


GENERAL ELEVATION NOTES:  
 1. FLOOR ELEVATIONS ARE FOR REFERENCE. SEE PLANS FOR ACTUAL FLOOR ELEVATIONS.  
 2. SEE ROOF PLAN FOR ROOF SLOPES.  
 3. SEE ELEVATIONS FOR FINISH NOTES

2  
A3.7

### MASTER BEDROOM SECTION LOOKING SOUTH

1/4" = 1'-0"



GENERAL ELEVATION NOTES:  
 1. FLOOR ELEVATIONS ARE FOR REFERENCE. SEE PLANS FOR ACTUAL FLOOR ELEVATIONS.  
 2. SEE ROOF PLAN FOR ROOF SLOPES.  
 3. SEE ELEVATIONS FOR FINISH NOTES

1  
A3.7

### DINING ROOM SECTION LOOKING SOUTH

1/4" = 1'-0"

Project

### BEWLEY RESIDENCE

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A.P.N. 036-310-180

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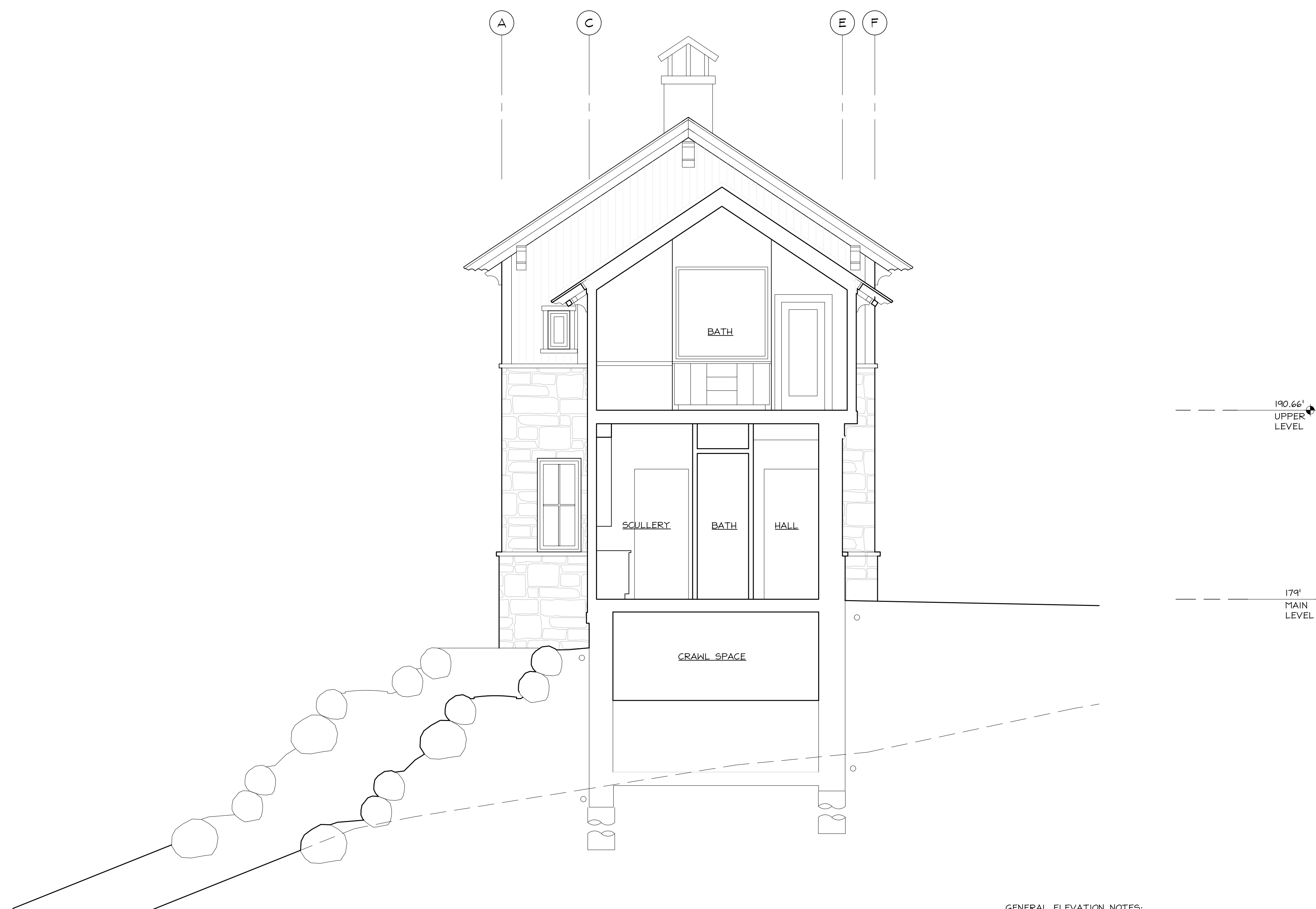
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| Coordination      | 03.19.2014 |
| D.R.Pre-app conf. | 03.26.2014 |
| Design Review     | 08.12.2014 |
| Story Pole        | 11.14.2014 |
| D.R. coord        | 06.08.2015 |
| Design Review     | 07.10.2015 |
| Story Pole        | 10.23.2015 |

HM,a+e Job Number  
2005,01

Sheet Title  
**MASTER  
BEDROOM  
SECTION**

Sheet Number

# A3.8



GENERAL ELEVATION NOTES:  
 1. FLOOR ELEVATIONS ARE FOR REFERENCE. SEE PLANS FOR ACTUAL FLOOR ELEVATIONS.  
 2. SEE ROOF PLAN FOR ROOF SLOPES.  
 3. SEE ELEVATIONS FOR FINISH NOTES

1  
A3.8

### MASTER BEDROOM SECTION LOOKING NORTH

1/4" = 1'-0"



**BEWLEY  
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Consultant

Stamp

Printing Date

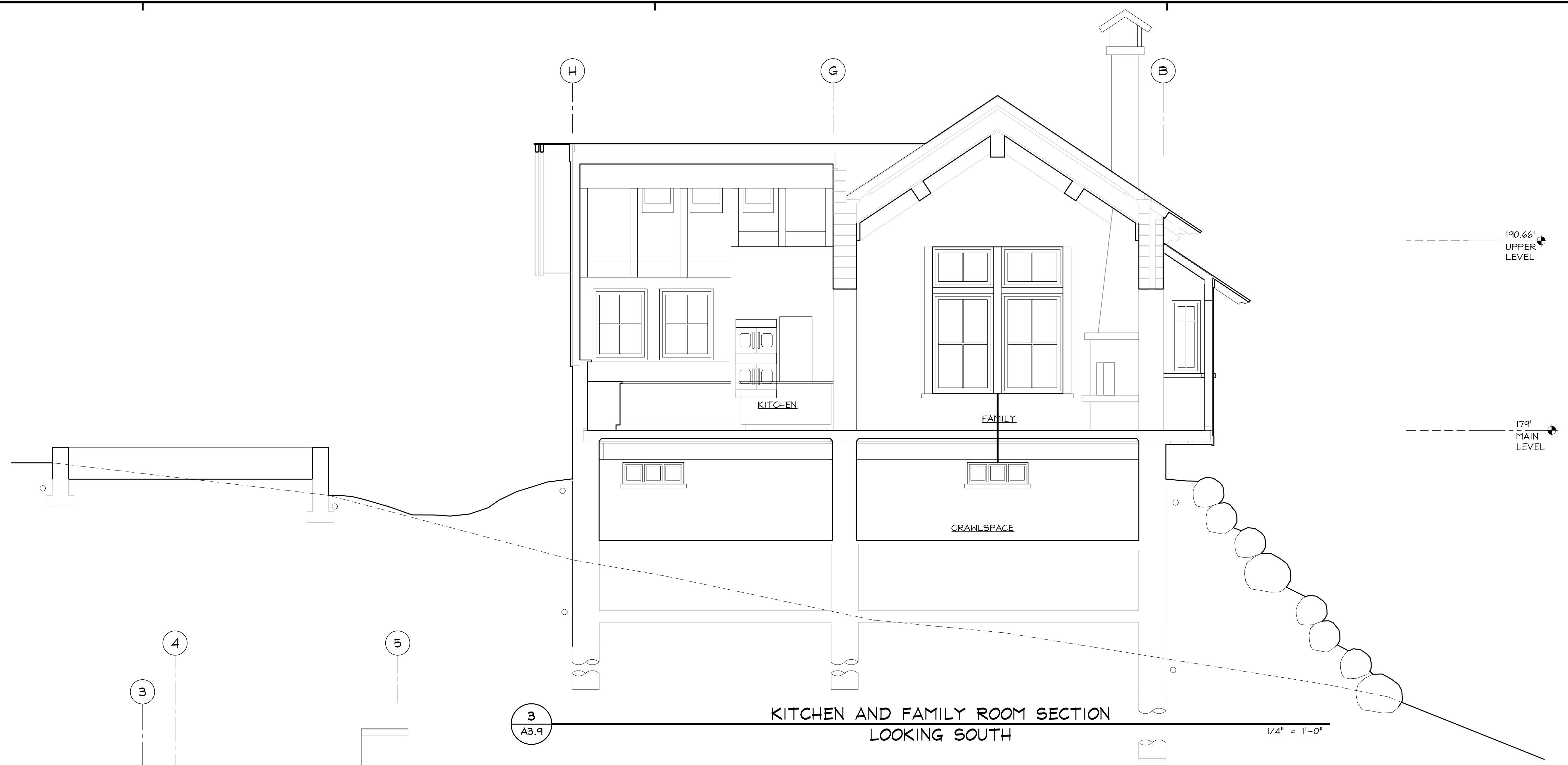
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| Coordination      | 03.19.2014 |
| D.R.Pre-app conf. | 03.26.2014 |
| Design Review     | 08.12.2014 |
| Story Pole        | 11.14.2014 |
| D.R. coord        | 06.08.2015 |
| Design Review     | 07.10.2015 |
| Story Pole        | 10.23.2015 |

HM,a+e Job Number  
2005,01

Sheet Title  
**SECTION**

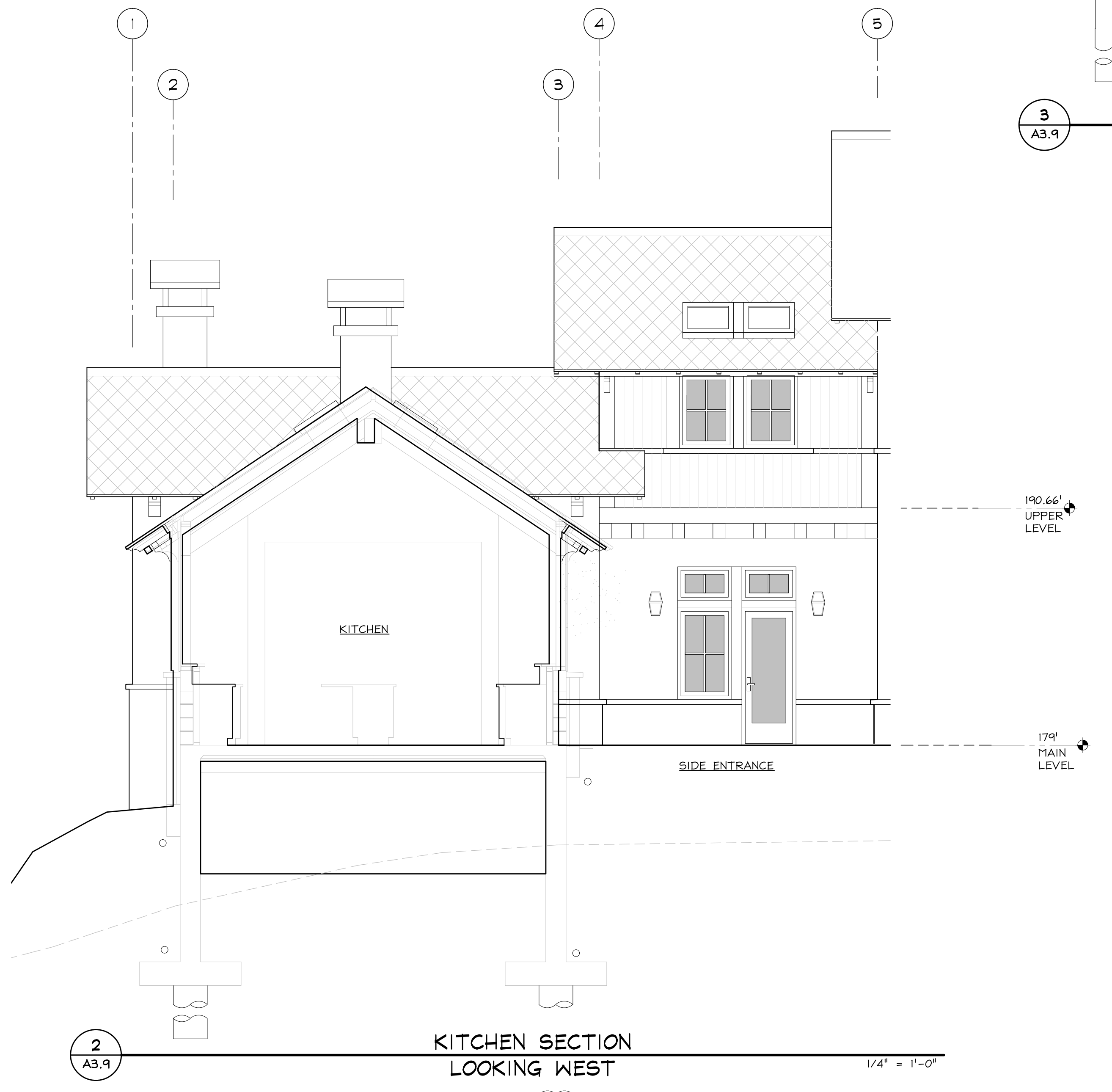
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**A3.9**



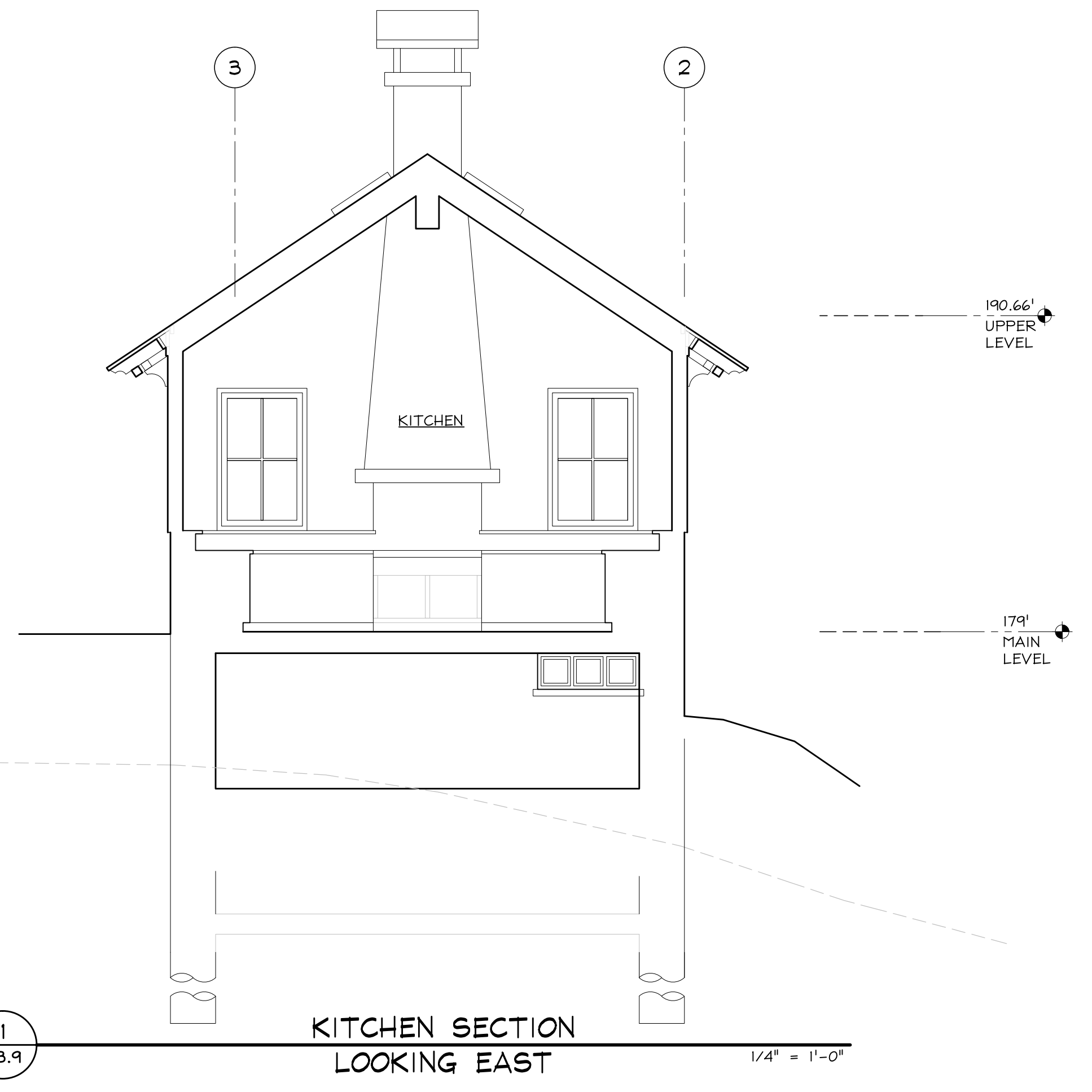
**KITCHEN AND FAMILY ROOM SECTION  
LOOKING SOUTH**

1/4" = 1'-0"



**KITCHEN SECTION  
LOOKING WEST**

1/4" = 1'-0"



**KITCHEN SECTION  
LOOKING EAST**

1/4" = 1'-0"

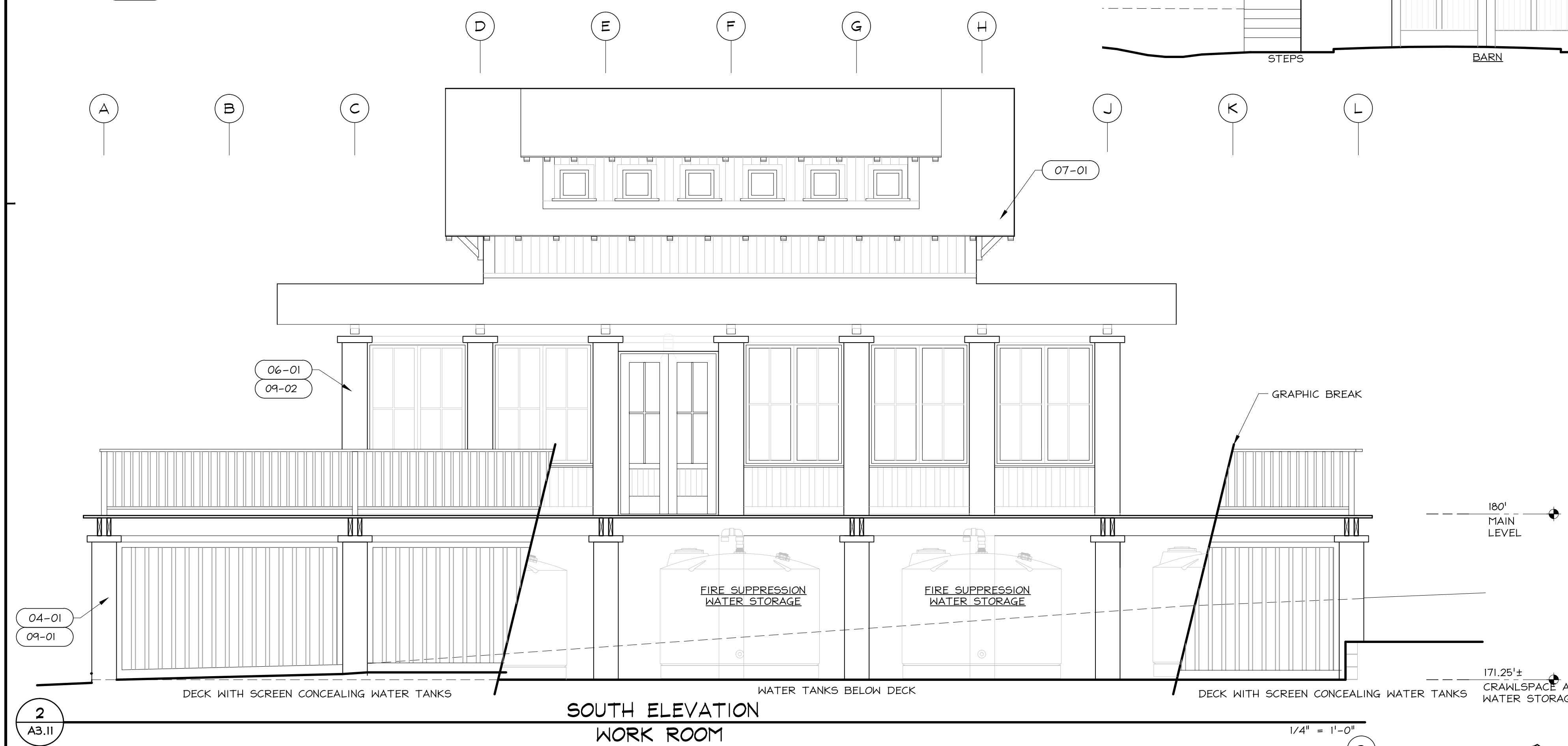
| KEY<br>(C.S.I.#-ITEM#)            | DESCRIPTION                                     |
|-----------------------------------|---|
| 04. MASONRY                       |   |
| 04-01                             | CMU wall  |
| 05. METALS                        |   |
| 05-01                             | Steel guardrail                                 |
| 06. WOOD, PLASTICS, COMPOSITES    |   |
| 06-01                             | Wood siding. Redwood                            |
| 06-02                             | Wood trim. Redwood                              |
| 06-03                             | Wood roof framing. Doug Fir                     |
| 06-04                             | Wood trellis. Reclaimed. Natural oil finish     |
| 07. THERMAL & MOISTURE PROTECTION |   |
| 07-01                             | Composite shingle. Black. Tarko Lamarrite Slate |

| KEY<br>(C.S.I.#-ITEM#) | DESCRIPTION                                    |
|------------------------|--|
| 08. OPENINGS           |  |
| 08-01                  | Wood or fiberglass windows                     |
| 09. FINISHES.          |  |
| 09-01                  | Plaster over concrete masonry. Lime. Off-white |
| 09-02                  | Dark brown wood stain                          |
| 09-03                  | Paint. Ocean blue                              |
| 09-04                  | Dark bronze paint                              |
| 09-05                  | Cement Stucco. Off-white                       |
| 10. SPECIALTIES        |  |
| 10-01                  | Gas fireplace chimney                          |

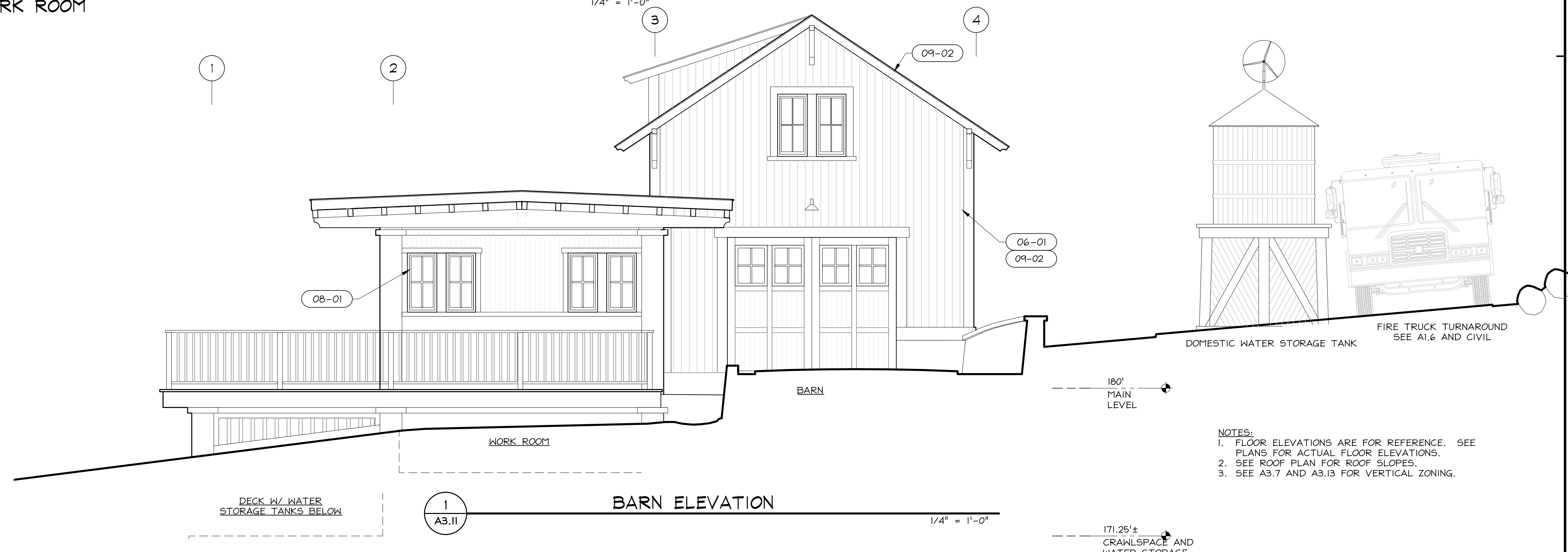
| KEY<br>(C.S.I.#-ITEM#)    | DESCRIPTION                                |
|---------------------------|--|
| 23. HVAC                  |  |
| 23-01                     | Exhaust and vent stacks                    |
| 23-02                     | Solar hot water panels                     |
| 26. LIGHTING              |  |
| 26-01                     | Wall Sconce. Hooded down light             |
| 26-02                     | Wall Fixture. Opaque reflector. down light |
| 32. EXTERIOR IMPROVEMENTS |  |
| 32-01                     | Exterior paving. See A1.5                  |



3  
A3.11  
**WEST ELEVATION  
WORK ROOM & BARN**  
1/4" = 1'-0"



2  
A3.11  
**SOUTH ELEVATION  
WORK ROOM**  
1/4" = 1'-0"



1  
A3.11  
**BARN ELEVATION**  
1/4" = 1'-0"

NOTES:  
1. FLOOR ELEVATIONS ARE FOR REFERENCE. SEE PLANS FOR ACTUAL FLOOR ELEVATIONS.  
2. SEE ROOF PLAN FOR ROOF SLOPES.  
3. SEE A3.7 AND A3.13 FOR VERTICAL ZONING.

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| Constraints Map   | 11.25.2013 |
| Coordination      | 03.19.2014 |
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| Design Review     | 08.12.2014 |
| Story Pole        | 11.14.2014 |
| D.R. coord        | 06.08.2015 |
| Design Review     | 07.10.2015 |
| Story Pole        | 10.23.2015 |

HM,a+e Job Number  
2005,01

Sheet Title  
**BARN ELEVATIONS**

Sheet Number  
**A3.11**

**BEWLEY  
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| Coordination      | 10.07.2013 |
| Coordination      | 10.21.2013 |
| Coordination      | 11.05.2013 |
| Constraints Map   | 11.07.2013 |
| Constraints Map   | 11.25.2013 |
| Coordination      | 03.19.2014 |
| D.R.Pre-app conf. | 03.26.2014 |
| Design Review     | 08.12.2014 |
| Story Pole        | 11.14.2014 |
| D.R. coord        | 06.08.2015 |
| Design Review     | 07.10.2015 |
| Story Pole        | 10.23.2015 |

HM,a+e Job Number  
2005,01

Sheet Title

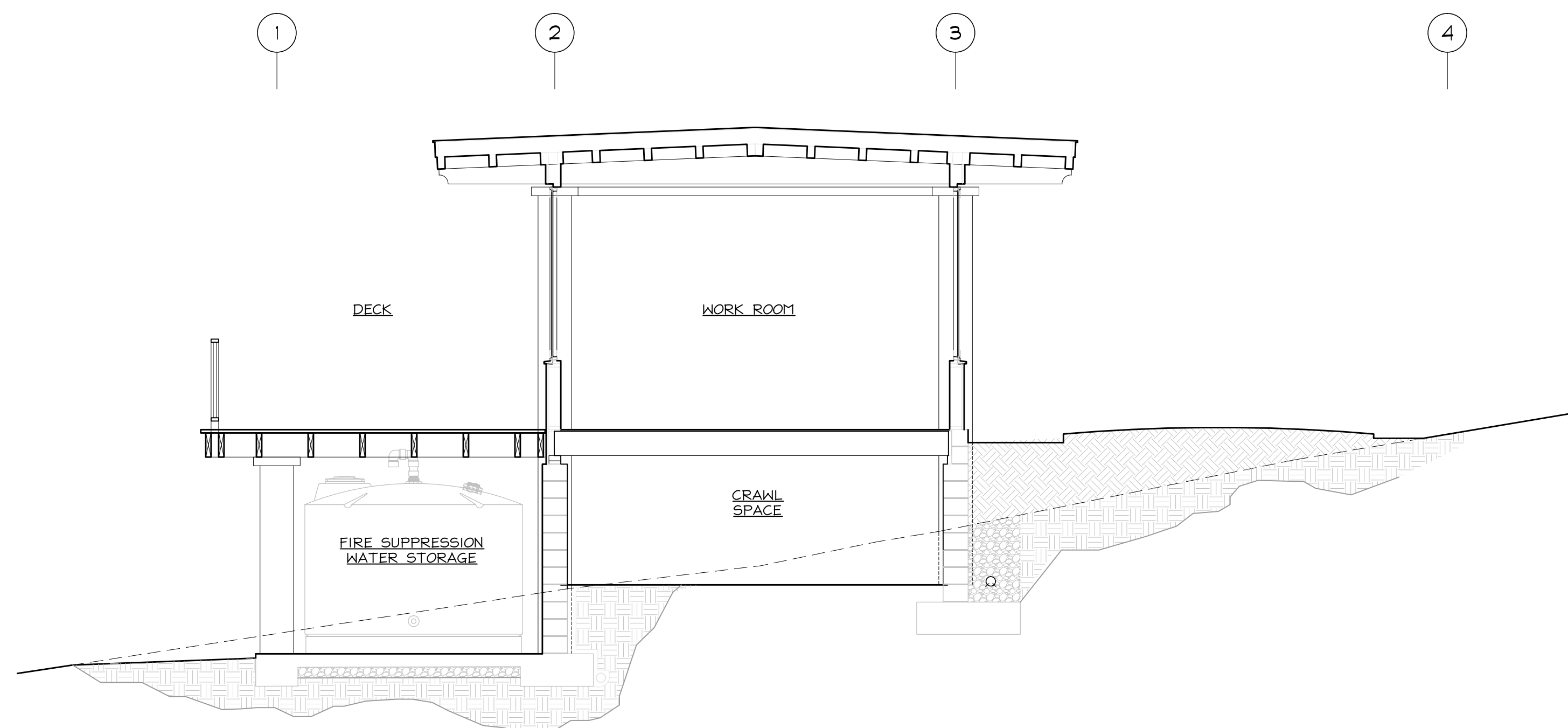
**STUDIO  
ELEVATIONS**

Sheet Number

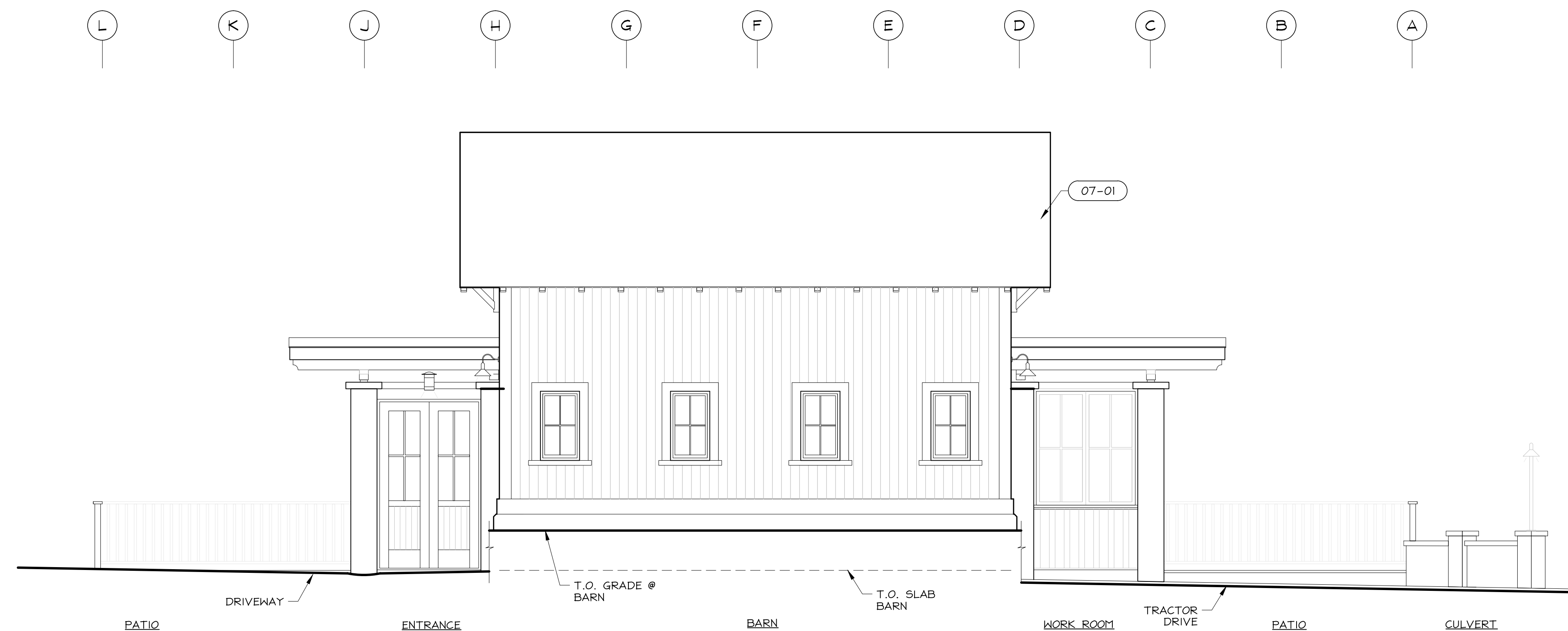
**A3.12**

ELEVATION NOTES

| KEY<br>(C.S.I.#-ITEM#)            | DESCRIPTION                                    | KEY<br>(C.S.I.#-ITEM#) | DESCRIPTION                                    |
|-----------------------------------|--|------------------------|--|
| 04. MASONRY                       |  | 08. OPENINGS           |  |
| 04-01                             | CMU wall                                       | 08-01                  | Wood or fiberglass windows                     |
| 05. METALS                        |  | 09. FINISHES           |  |
| 05-01                             | Steel guardrail                                | 09-01                  | Plaster over concrete masonry. Lime. Off-white |
| 06. WOOD, PLASTICS, COMPOSITES    |  | 09-02                  | Dark brown wood stain                          |
| 06-01                             | Wood siding. Redwood                           | 09-03                  | Paint. Ocean blue                              |
| 06-02                             | Wood trim. Redwood                             | 09-04                  | Dark bronze paint                              |
| 06-03                             | Wood roof framing. Doug Fir                    | 09-05                  | Cement Stucco. Off-white                       |
| 06-04                             | Wood trellis. Reclaimed. Natural oil finish    | 10. SPECIALTIES        |  |
| 07. THERMAL & MOISTURE PROTECTION |  | 10-01                  | Gas fireplace chimney                          |
| 07-01                             | Composite shingle. Black. Tamko Lamarite Slate |                        |  |
| KEY<br>(C.S.I.#-ITEM#)            | DESCRIPTION                                    |                        |  |
| 23. HVAC                          |  |                        |  |
| 23-01                             | Exhaust and vent stacks                        |                        |  |
| 23-02                             | Solar hot water panels                         |                        |  |
| 26. LIGHTING                      |  |                        |  |
| 26-01                             | Wall Sconce. Hooded down light                 |                        |  |
| 26-02                             | Wall Fixture. Opaque reflector. down light     |                        |  |
| 32. EXTERIOR IMPROVEMENTS         |  |                        |  |
| 32-01                             | Exterior paving. See A1.5                      |                        |  |



**3**  
A3.12 **WORK ROOM SECTION** 1/4" = 1'-0"



**1**  
A3.12 **NORTH ELEVATION** 1/4" = 1'-0"

**BEWLEY RESIDENCE**

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Consultant

Stamp

Printing Date

|                   |            |
|-------------------|------------|
| Planning Permit   | 03.18.2010 |
| Coordination      | 09.12.2011 |
| Planning          | 09.13.2011 |
| Coordination      | 10.05.2011 |
| Coordination      | 10.11.2011 |
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| Story Pole        | 10.23.2015 |

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2005.01

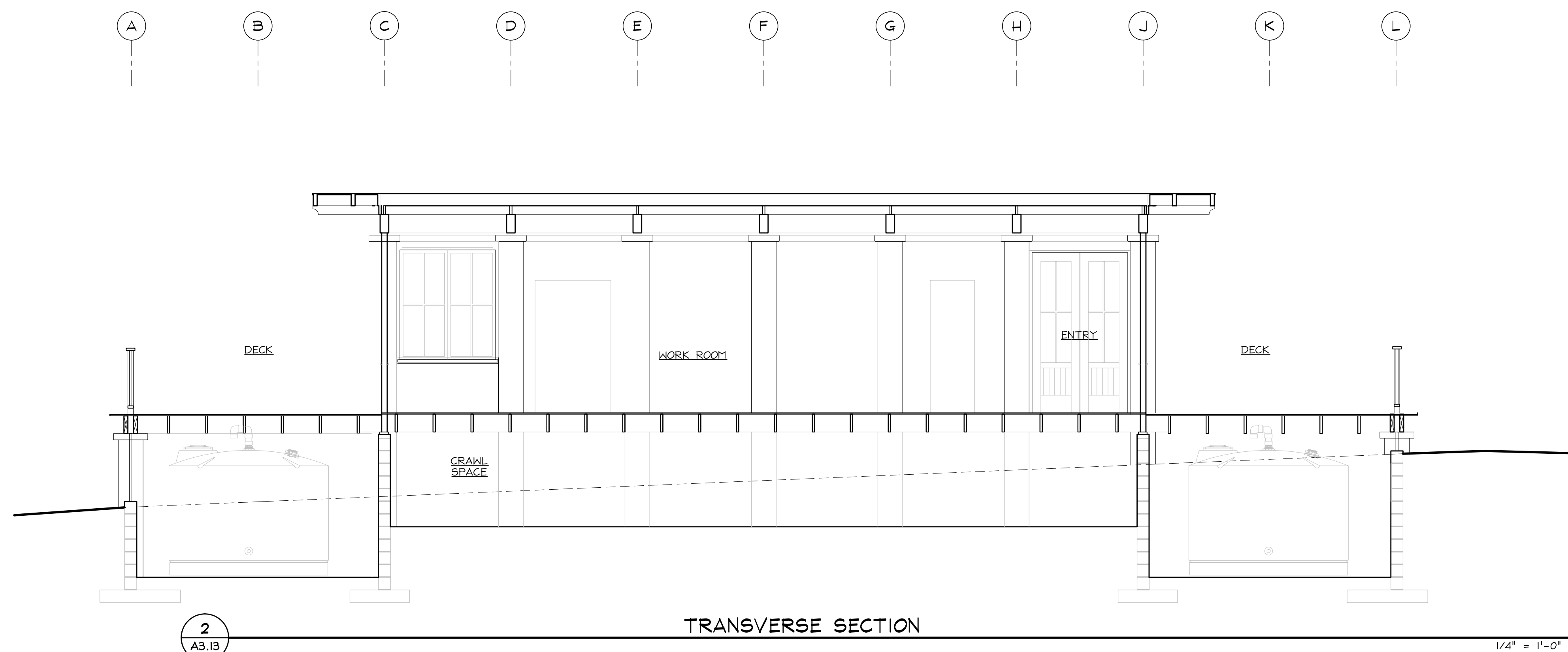
Sheet Title  
**BARN ELEVATIONS**

Sheet Number

**A3.13**

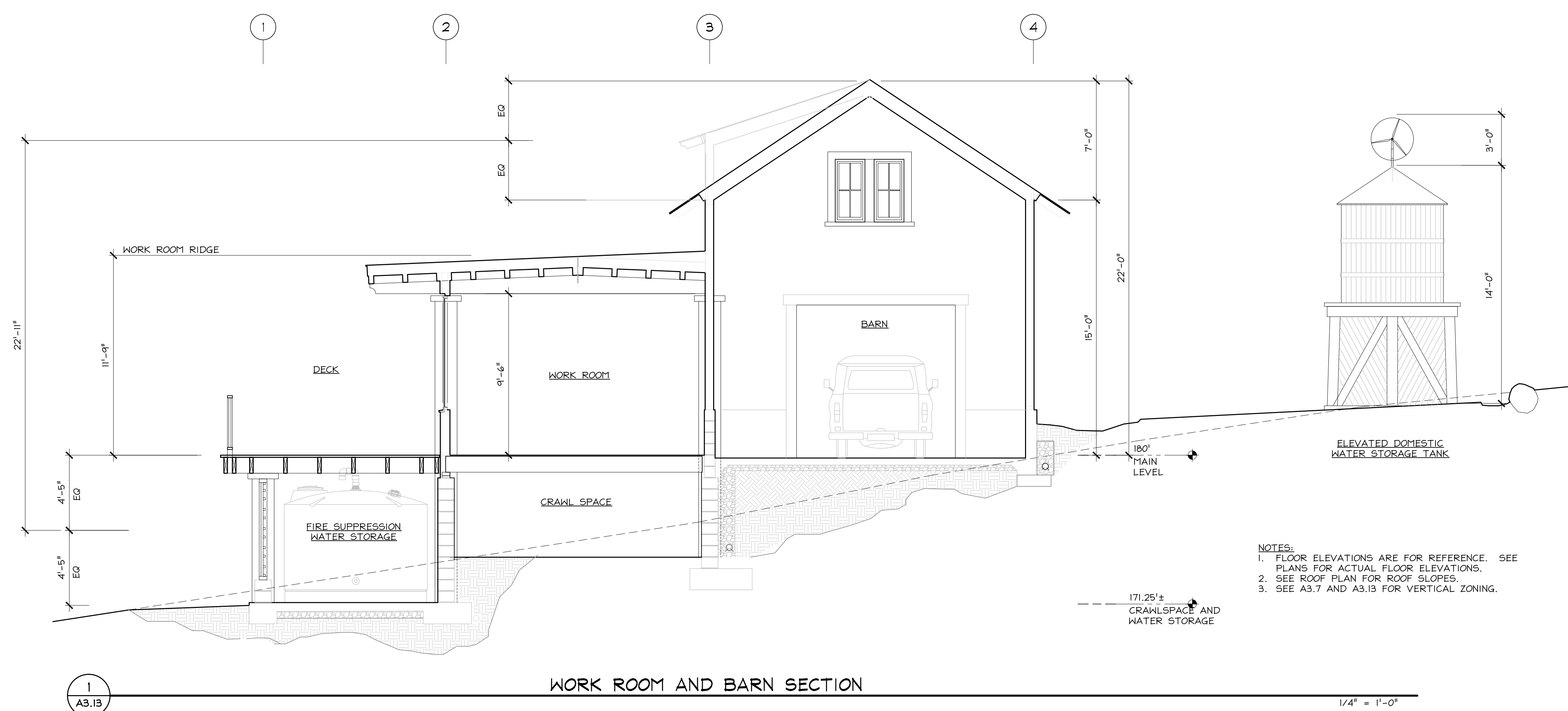
ELEVATION NOTES

| KEY (C.S.I.#-ITEM#)               | DESCRIPTION                                     | KEY (C.S.I.#-ITEM#) | DESCRIPTION                                    |
|-----------------------------------|---|---------------------|--|
| 04. MASONRY                       | CMU wall  | 08. OPENINGS        | Wood or fiberglass windows                     |
| 05. METALS                        | Steel guardrail                                 | 09. FINISHES.       | Plaster over concrete masonry. Lime, Off-white |
| 06. WOOD, PLASTICS, COMPOSITES    | Wood siding. Redwood                            |                     | Dark brown wood stain                          |
|                                   | Wood trim. Redwood                              |                     | Paint. Ocean blue                              |
|                                   | Wood roof framing. Doug Fir                     |                     | Dark bronze paint                              |
|                                   | Wood trellis. Reclaimed. Natural oil finish     | 10. SPECIALTIES     | Cement Stucco. Off-white                       |
| 07. THERMAL & MOISTURE PROTECTION | Composite shingle. Black. Tamko Lamarrite Slate |                     | Gas fireplace chimney                          |
| 23. HVAC                          | Exhaust and vent stacks                         |                     |  |
|                                   | Solar hot water panels                          |                     |  |
| 26. LIGHTING                      | Wall Sconce. Hooded down light                  |                     |  |
|                                   | Wall Fixture. Opaque reflector. down light      |                     |  |
| 32. EXTERIOR IMPROVEMENTS         | Exterior paving. See A1.5                       |                     |  |



**TRANSVERSE SECTION**

1/4" = 1'-0"



**WORK ROOM AND BARN SECTION**

1/4" = 1'-0"

- NOTES:
1. FLOOR ELEVATIONS ARE FOR REFERENCE. SEE PLANS FOR ACTUAL FLOOR ELEVATIONS.
  2. SEE ROOF PLAN FOR ROOF SLOPES.
  3. SEE A3.7 AND A3.13 FOR VERTICAL ZONING.

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| D.R. coord        | 06.08.2015 |
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| Story Pole        | 10.23.2015 |

HM,a+e Job Number  
2005,01

Sheet Title

### GARAGE ELEVATIONS

Sheet Number

# A3.14

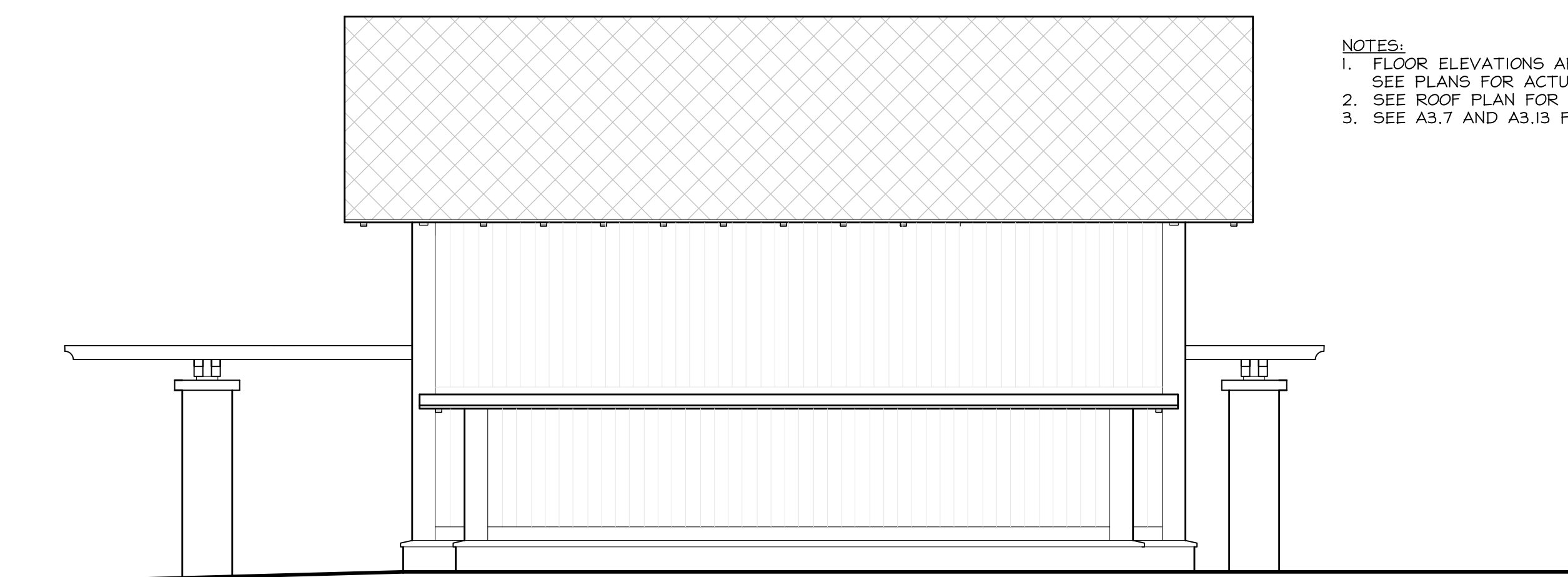
#### ELEVATION NOTES

| KEY (C.S.I.#-ITEM#)               | DESCRIPTION                                    | KEY (C.S.I.#-ITEM#) | DESCRIPTION                                    | KEY (C.S.I.#-ITEM#)       | DESCRIPTION                                |
|-----------------------------------|--|---------------------|--|---------------------------|--|
| 04. MASONRY                       | CMU wall                                       | 08. OPENINGS        | Wood or fiberglass windows                     | 23. HVAC                  | Exhaust and vent stacks                    |
| 05. METALS                        | Steel guardrail                                | 09. FINISHES        | Plaster over concrete masonry. Lime. Off-white | 26. LIGHTING              | Solar hot water panels                     |
| 06. WOOD, PLASTICS, COMPOSITES    | Wood siding. Redwood                           |                     | Dark brown wood stain                          |                           | Wall Sconce. Hooded down light             |
|                                   | Wood trim. Redwood                             |                     | Paint. Ocean blue                              |                           | Wall Fixture. Opaque reflector. down light |
|                                   | Wood roof framing. Doug Fir                    |                     | Dark bronze paint                              | 32. EXTERIOR IMPROVEMENTS | Exterior paving. See A1.5                  |
| 07. THERMAL & MOISTURE PROTECTION | Wood trellis. Reclaimed. Natural oil finish    | 10. SPECIALTIES     | Cement Stucco. Off-white                       |                           |  |
|                                   | Composite shingle. Black. Tamko Lamarite Slate |                     | Gas fireplace chimney                          |                           |  |



NOTES:  
 1. FLOOR ELEVATIONS ARE FOR REFERENCE.  
 2. SEE PLANS FOR ACTUAL FLOOR ELEVATIONS.  
 3. SEE ROOF PLAN FOR ROOF SLOPES.  
 4. SEE A3.7 AND A3.13 FOR VERTICAL ZONING.

4 SOUTH ELEVATION GARAGE 1/4" = 1'-0"



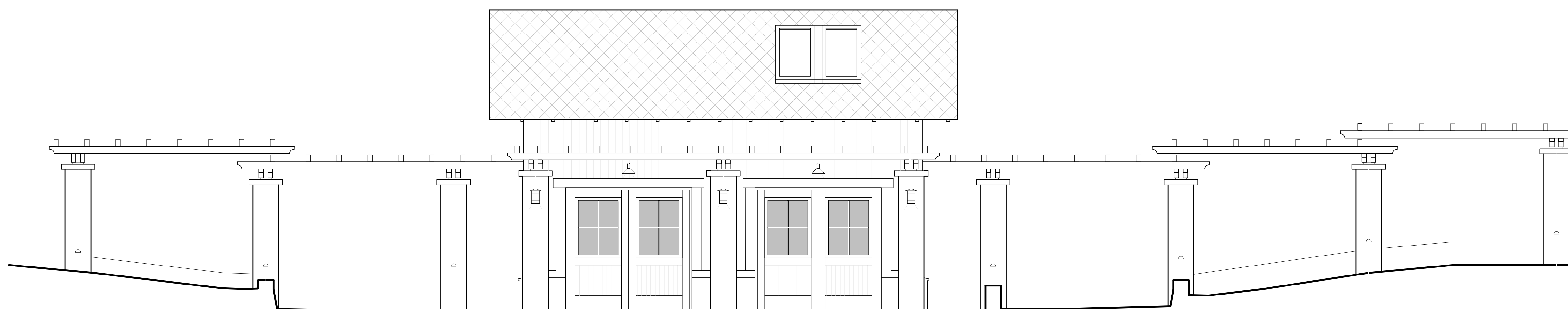
NOTES:  
 1. FLOOR ELEVATIONS ARE FOR REFERENCE.  
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 3. SEE ROOF PLAN FOR ROOF SLOPES.  
 4. SEE A3.7 AND A3.13 FOR VERTICAL ZONING.

3 EAST ELEVATION GARAGE 1/4" = 1'-0"



NOTES:  
 1. FLOOR ELEVATIONS ARE FOR REFERENCE.  
 2. SEE PLANS FOR ACTUAL FLOOR ELEVATIONS.  
 3. SEE ROOF PLAN FOR ROOF SLOPES.  
 4. SEE A3.7 AND A3.13 FOR VERTICAL ZONING.

2 NORTH ELEVATION GARAGE 1/4" = 1'-0"



NOTES:  
 1. FLOOR ELEVATIONS ARE FOR REFERENCE.  
 2. SEE PLANS FOR ACTUAL FLOOR ELEVATIONS.  
 3. SEE ROOF PLAN FOR ROOF SLOPES.  
 4. SEE A3.7 AND A3.13 FOR VERTICAL ZONING.

1 WEST ELEVATION GARAGE 1/4" = 1'-0"

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Stamp

Printing Date

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| Design Review     | 07.10.2015 |
| Story Pole        | 10.23.2015 |

HM,a+e Job Number  
2005,01

## GARAGE ELEVATIONS

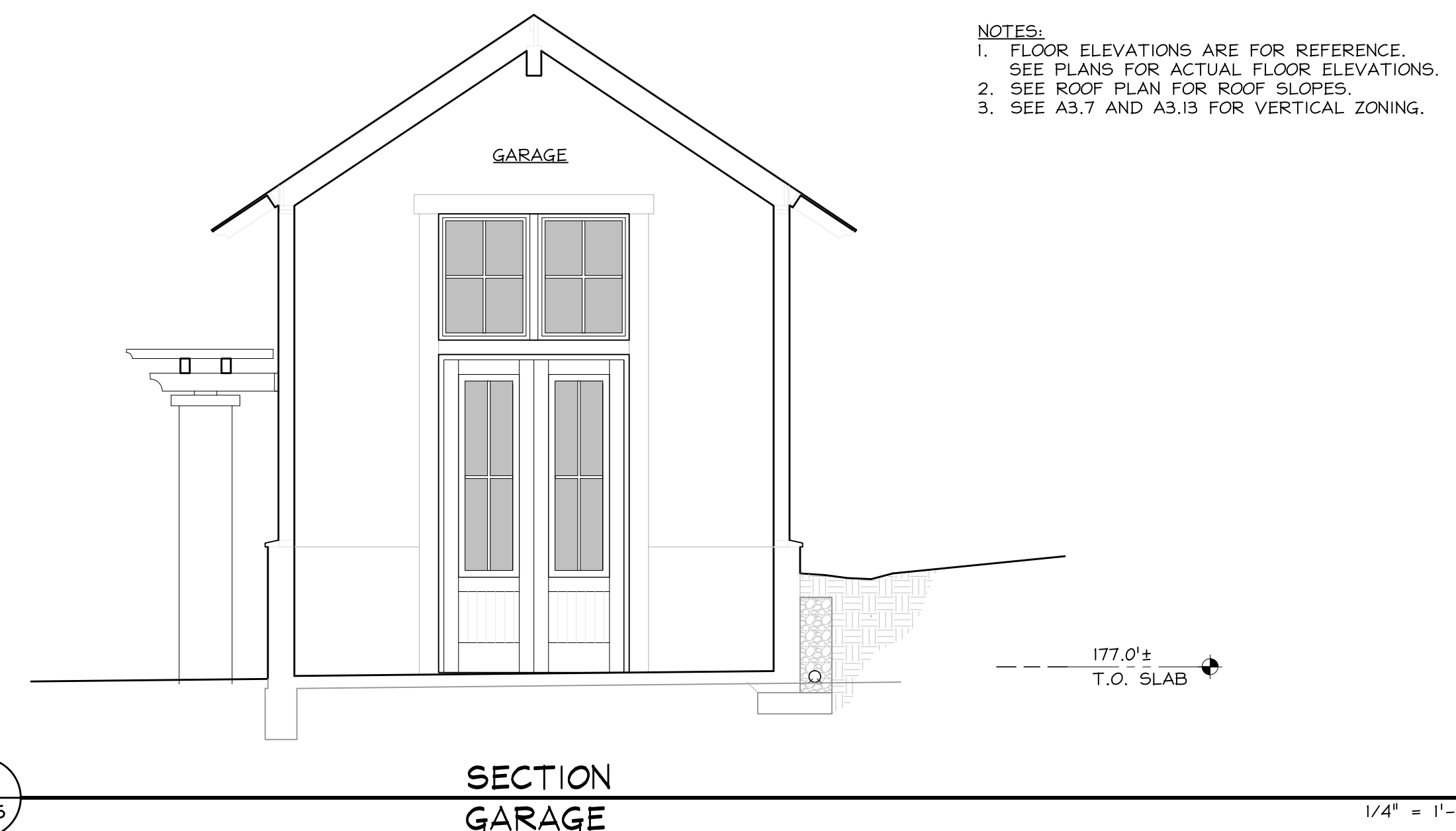
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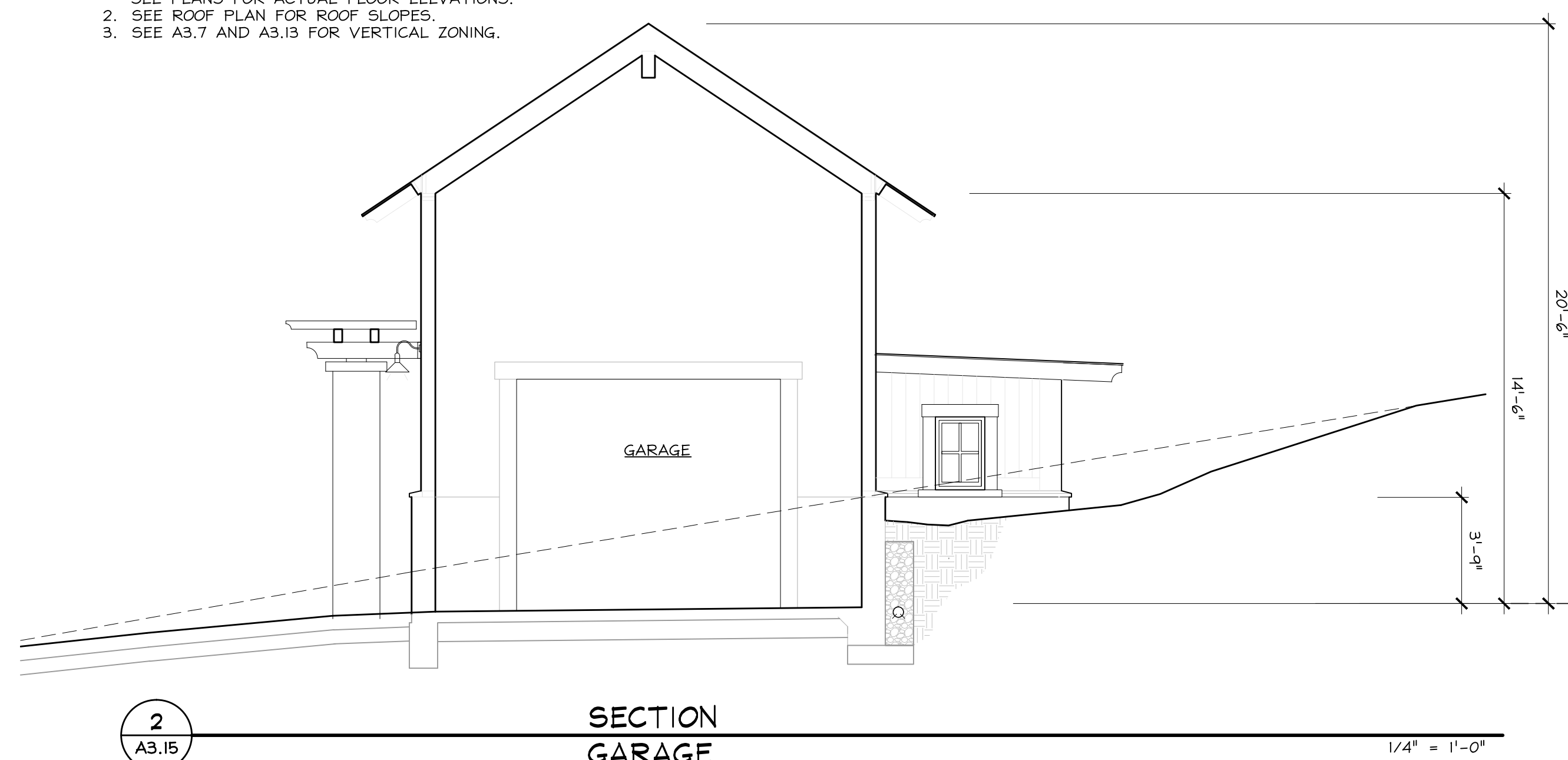
### ELEVATION NOTES

| KEY (C.S.I.#-ITEM#)               | DESCRIPTION                                    | KEY (C.S.I.#-ITEM#) | DESCRIPTION                                    | KEY (C.S.I.#-ITEM#)       | DESCRIPTION                                |
|-----------------------------------|--|---------------------|--|---------------------------|--|
| 04. MASONRY                       | CMU wall                                       | 08. OPENINGS        | Wood or fiberglass windows                     | 23. HVAC                  | Exhaust and vent stacks                    |
| 05. METALS                        | Steel guardrail                                | 09. FINISHES        | Plaster over concrete masonry. Lime. Off-white | 26. LIGHTING              | Solar hot water panels                     |
| 06. WOOD, PLASTICS, COMPOSITES    | Wood siding. Redwood                           |                     | Dark brown wood stain                          |                           | Wall Sconce. Hooded down light             |
|                                   | Wood trim. Redwood                             |                     | Paint. Ocean blue                              |                           | Wall Fixture. Opaque reflector. down light |
|                                   | Wood roof framing. Doug Fir                    |                     | Dark bronze paint                              | 32. EXTERIOR IMPROVEMENTS | Exterior paving. See A1.5                  |
| 07. THERMAL & MOISTURE PROTECTION | Wood trellis. Reclaimed. Natural oil finish    | 10. SPECIALTIES     | Cement Stucco. Off-white                       |                           |  |
|                                   | Composite shingle. Black. Tamko Lamarite Slate |                     | Gas fireplace chimney                          |                           |  |

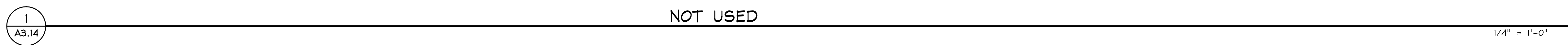
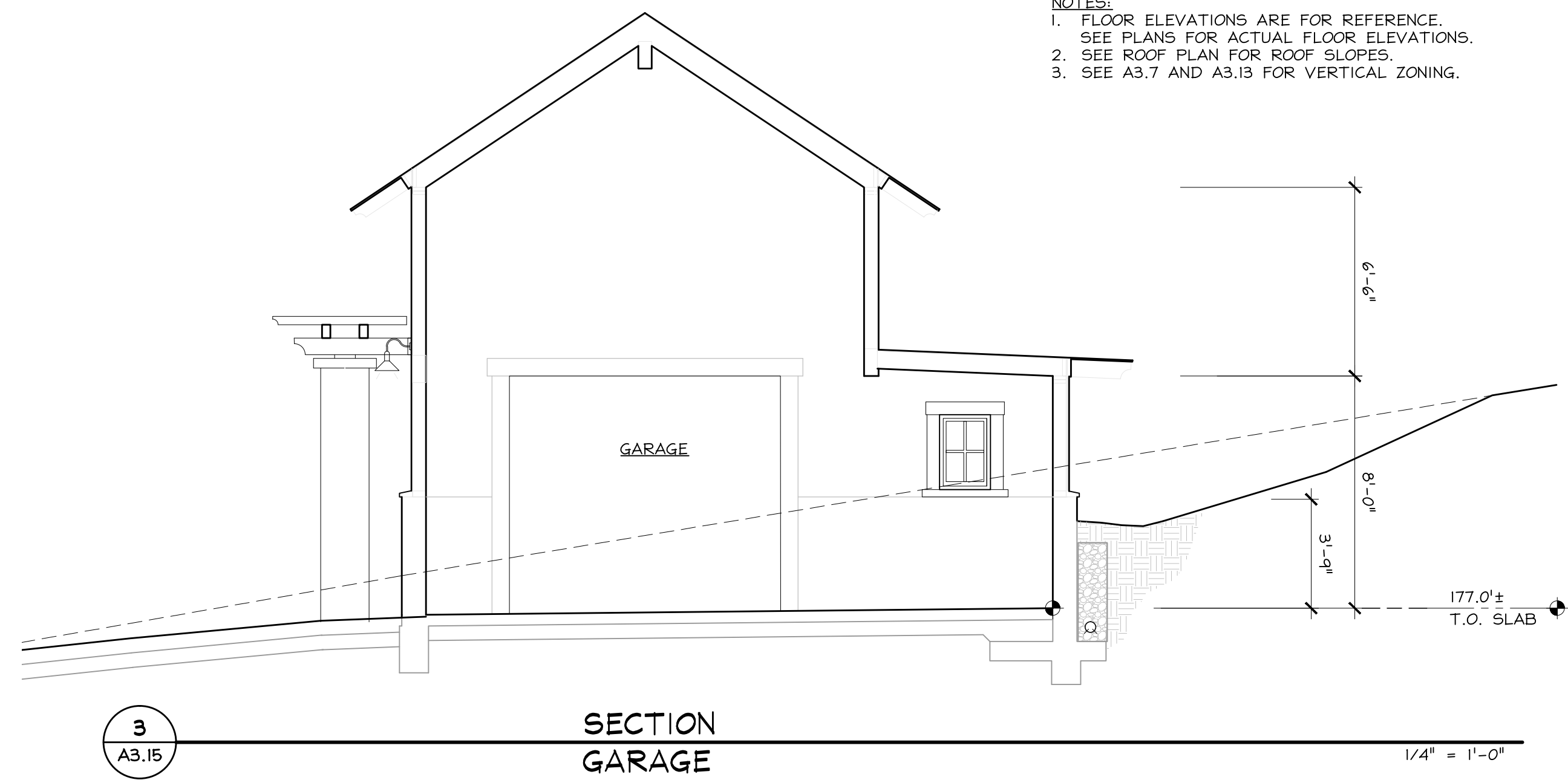
NOTES:  
 1. FLOOR ELEVATIONS ARE FOR REFERENCE.  
 SEE PLANS FOR ACTUAL FLOOR ELEVATIONS.  
 2. SEE ROOF PLAN FOR ROOF SLOPES.  
 3. SEE A3.7 AND A3.13 FOR VERTICAL ZONING.



NOTES:  
 1. FLOOR ELEVATIONS ARE FOR REFERENCE.  
 SEE PLANS FOR ACTUAL FLOOR ELEVATIONS.  
 2. SEE ROOF PLAN FOR ROOF SLOPES.  
 3. SEE A3.7 AND A3.13 FOR VERTICAL ZONING.



NOTES:  
 1. FLOOR ELEVATIONS ARE FOR REFERENCE.  
 SEE PLANS FOR ACTUAL FLOOR ELEVATIONS.  
 2. SEE ROOF PLAN FOR ROOF SLOPES.  
 3. SEE A3.7 AND A3.13 FOR VERTICAL ZONING.



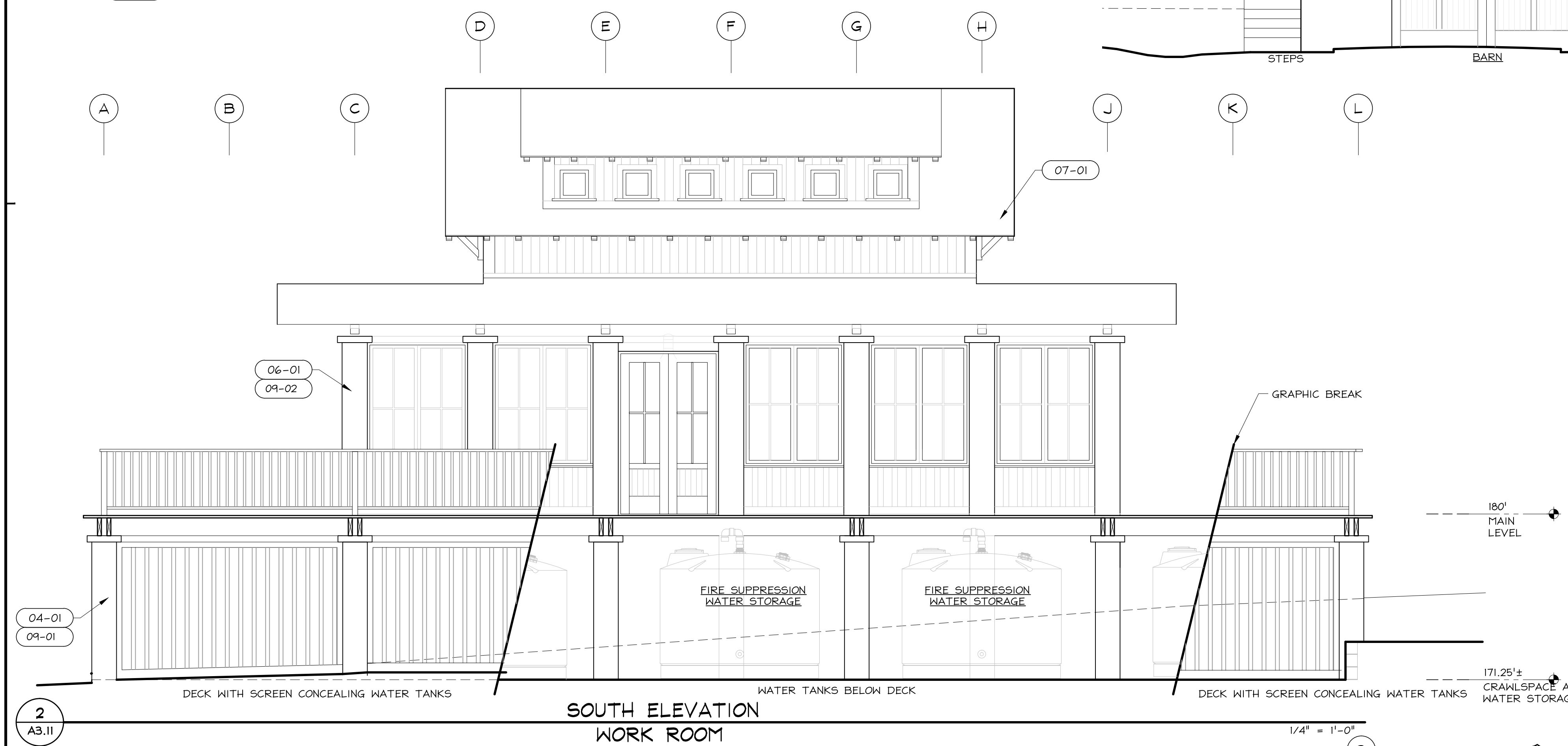
| KEY (C.S.I.#-ITEM#)               | DESCRIPTION                                     |
|-----------------------------------|---|
| 04. MASONRY                       |   |
| 04-01                             | CMU wall  |
| 05. METALS                        |   |
| 05-01                             | Steel guardrail                                 |
| 06. WOOD, PLASTICS, COMPOSITES    |   |
| 06-01                             | Wood siding. Redwood                            |
| 06-02                             | Wood trim. Redwood                              |
| 06-03                             | Wood roof framing. Doug Fir                     |
| 06-04                             | Wood trellis. Reclaimed. Natural oil finish     |
| 07. THERMAL & MOISTURE PROTECTION |   |
| 07-01                             | Composite shingle. Black. Tanko Lamarrite Slate |

| KEY (C.S.I.#-ITEM#) | DESCRIPTION                                    |
|---------------------|--|
| 08. OPENINGS        |  |
| 08-01               | Wood or fiberglass windows                     |
| 09. FINISHES.       |  |
| 09-01               | Plaster over concrete masonry. Lime. Off-white |
| 09-02               | Dark brown wood stain                          |
| 09-03               | Paint. Ocean blue                              |
| 09-04               | Dark bronze paint                              |
| 09-05               | Cement Stucco. Off-white                       |
| 10. SPECIALTIES     |  |
| 10-01               | Gas fireplace chimney                          |

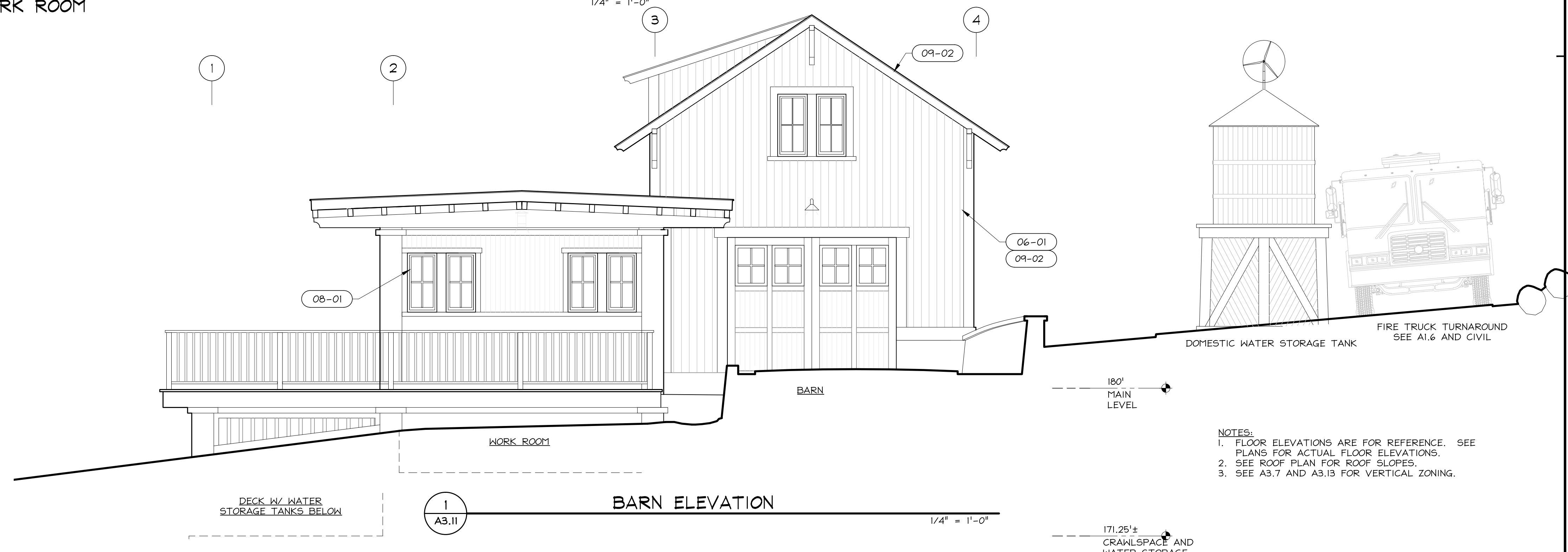
| KEY (C.S.I.#-ITEM#)       | DESCRIPTION                                |
|---------------------------|--|
| 23. HVAC                  |  |
| 23-01                     | Exhaust and vent stacks                    |
| 23-02                     | Solar hot water panels                     |
| 26. LIGHTING              |  |
| 26-01                     | Wall Sconce. Hooded down light             |
| 26-02                     | Wall Fixture. Opaque reflector. down light |
| 32. EXTERIOR IMPROVEMENTS |  |
| 32-01                     | Exterior paving. See A1.5                  |



3 WEST ELEVATION WORK ROOM & BARN 1/4" = 1'-0"



2 SOUTH ELEVATION WORK ROOM 1/4" = 1'-0"



1 BARN ELEVATION 1/4" = 1'-0"

NOTES:  
 1. FLOOR ELEVATIONS ARE FOR REFERENCE. SEE PLANS FOR ACTUAL FLOOR ELEVATIONS.  
 2. SEE ROOF PLAN FOR ROOF SLOPES.  
 3. SEE A3.7 AND A3.13 FOR VERTICAL ZONING.

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Consultant  
 Stamp

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|                   |            |
|-------------------|------------|
| Planning Permit   | 03.18.2010 |
| Coordination      | 09.12.2011 |
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| Coordination      | 03.19.2014 |
| D.R.Pre-app conf. | 03.26.2014 |
| Design Review     | 08.12.2014 |
| Story Pole        | 11.14.2014 |
| D.R. coord        | 06.08.2015 |
| Design Review     | 07.10.2015 |

HM,a+e Job Number  
 2005,01

Sheet Title  
**BARN ELEVATIONS**

Sheet Number  
**A3.11**

**BEWLEY RESIDENCE**

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| Coordination      | 10.07.2013 |
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HM,a+e Job Number  
2005.01

Sheet Title

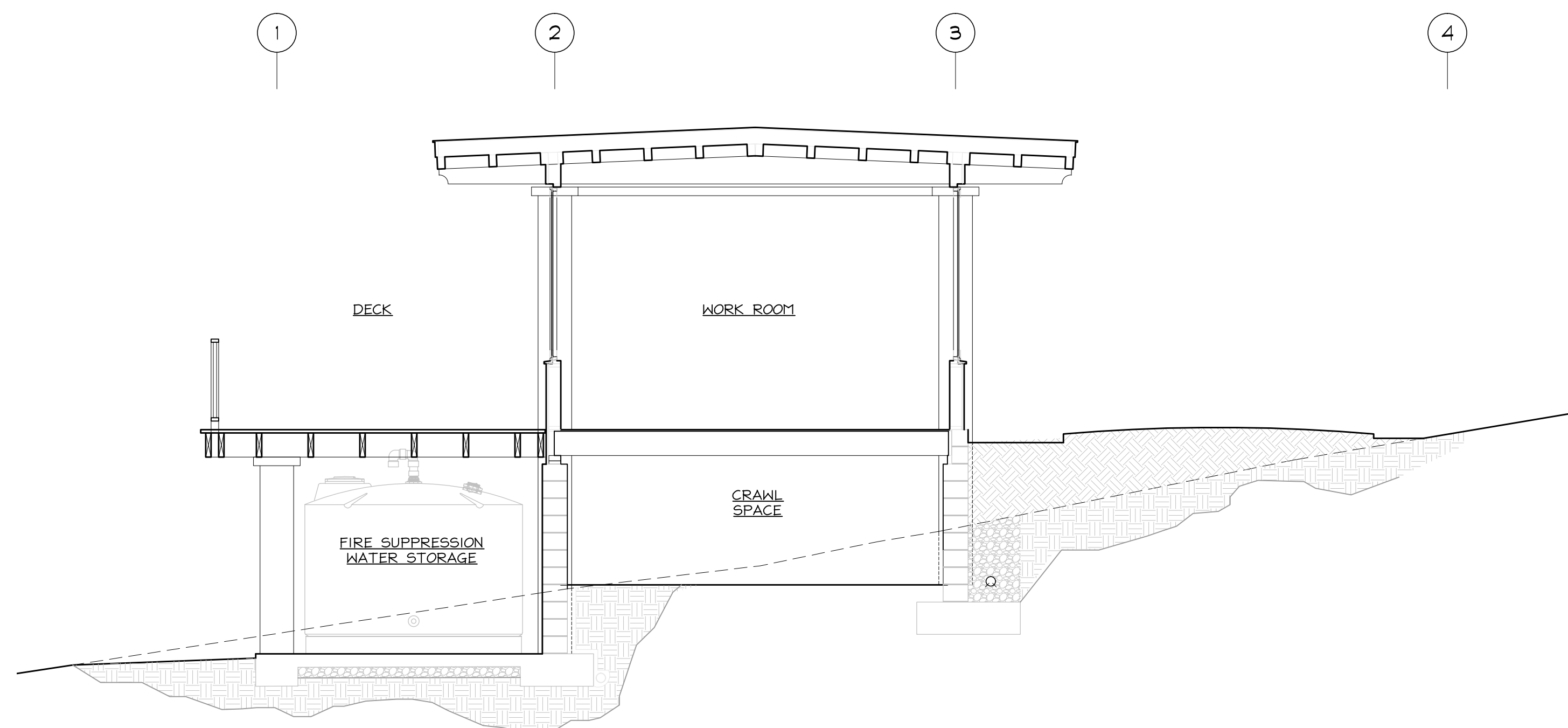
**STUDIO ELEVATIONS**

Sheet Number

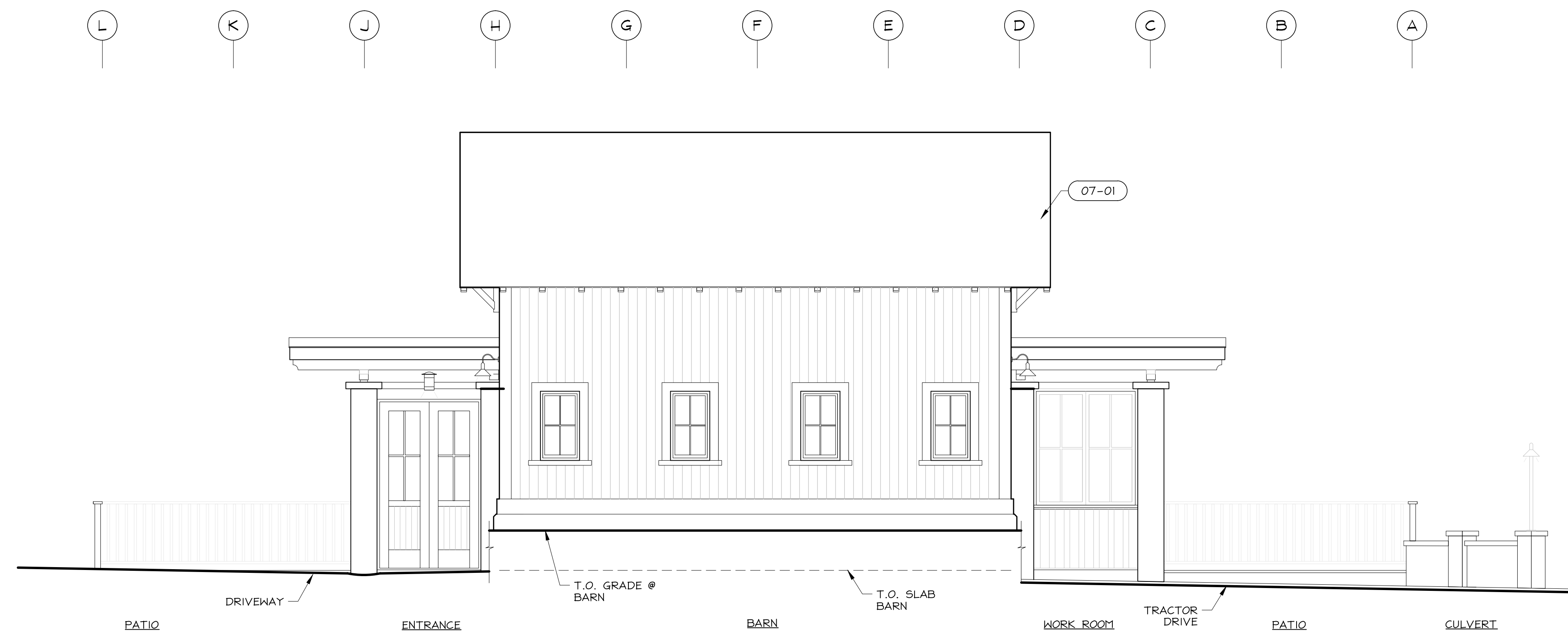
**A3.12**

ELEVATION NOTES

| KEY<br>(C.S.I.#-ITEM#)            | DESCRIPTION                                    | KEY<br>(C.S.I.#-ITEM#) | DESCRIPTION                                    |
|-----------------------------------|--|------------------------|--|
| 04. MASONRY                       |  | 08. OPENINGS           |  |
| 04-01                             | CMU wall                                       | 08-01                  | Wood or fiberglass windows                     |
| 05. METALS                        |  | 09. FINISHES           |  |
| 05-01                             | Steel guardrail                                | 09-01                  | Plaster over concrete masonry. Lime. Off-white |
| 06. WOOD, PLASTICS, COMPOSITES    |  | 09-02                  | Dark brown wood stain                          |
| 06-01                             | Wood siding. Redwood                           | 09-03                  | Paint. Ocean blue                              |
| 06-02                             | Wood trim. Redwood                             | 09-04                  | Dark bronze paint                              |
| 06-03                             | Wood roof framing. Doug Fir                    | 09-05                  | Cement Stucco. Off-white                       |
| 06-04                             | Wood trellis. Reclaimed. Natural oil finish    | 10. SPECIALTIES        |  |
| 07. THERMAL & MOISTURE PROTECTION |  | 10-01                  | Gas fireplace chimney                          |
| 07-01                             | Composite shingle. Black. Tamko Lamarite Slate |                        |  |
| KEY<br>(C.S.I.#-ITEM#)            | DESCRIPTION                                    |                        |  |
| 23. HVAC                          |  |                        |  |
| 23-01                             | Exhaust and vent stacks                        |                        |  |
| 23-02                             | Solar hot water panels                         |                        |  |
| 26. LIGHTING                      |  |                        |  |
| 26-01                             | Wall Sconce. Hooded down light                 |                        |  |
| 26-02                             | Wall Fixture. Opaque reflector. down light     |                        |  |
| 32. EXTERIOR IMPROVEMENTS         |  |                        |  |
| 32-01                             | Exterior paving. See A1.5                      |                        |  |



**3**  
A3.12 **WORK ROOM SECTION** 1/4" = 1'-0"



**1**  
A3.12 **NORTH ELEVATION** 1/4" = 1'-0"



**BEWLEY RESIDENCE**

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HM,a+e Job Number  
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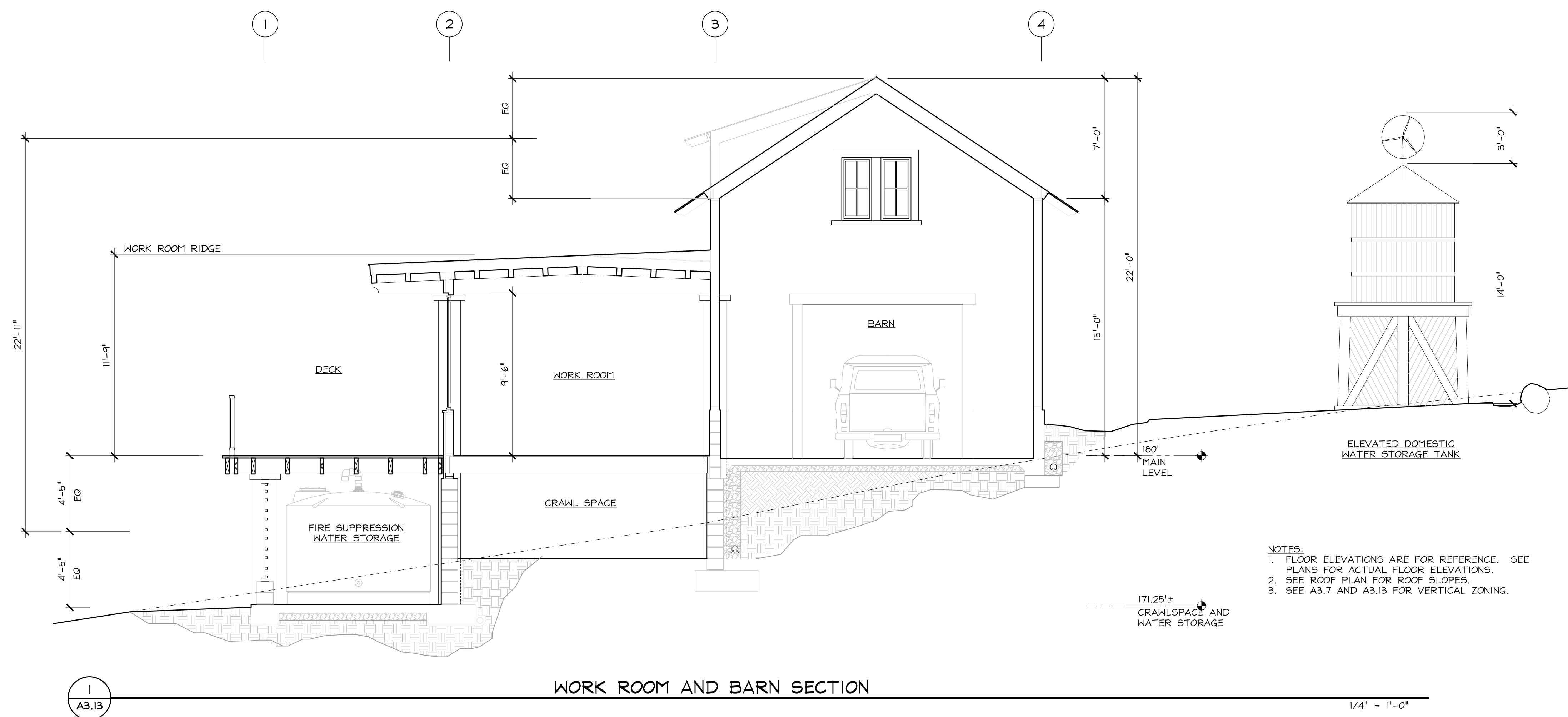
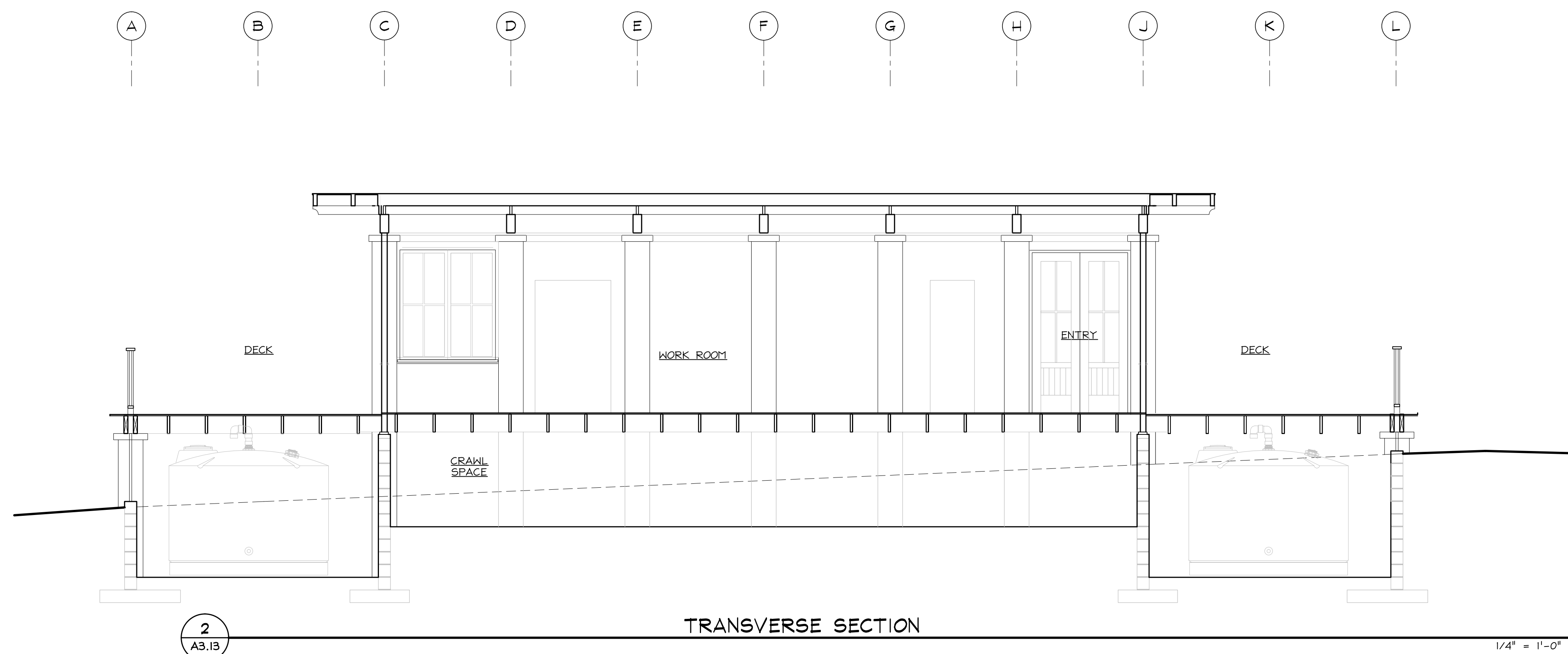
Sheet Title  
**BARN ELEVATIONS**

Sheet Number

**A3.13**

ELEVATION NOTES

| KEY (C.S.I.#-ITEM#)               | DESCRIPTION                                     | KEY (C.S.I.#-ITEM#) | DESCRIPTION                                    |
|-----------------------------------|---|---------------------|--|
| 04. MASONRY                       | CMU wall  | 08. OPENINGS        | Wood or fiberglass windows                     |
| 05. METALS                        | Steel guardrail                                 | 09. FINISHES.       | Plaster over concrete masonry. Lime, Off-white |
| 06. WOOD, PLASTICS, COMPOSITES    | Wood siding. Redwood                            |                     | Dark brown wood stain                          |
|                                   | Wood trim. Redwood                              |                     | Paint. Ocean blue                              |
|                                   | Wood roof framing. Doug Fir                     |                     | Dark bronze paint                              |
|                                   | Wood trellis. Reclaimed. Natural oil finish     |                     | Cement Stucco. Off-white                       |
| 07. THERMAL & MOISTURE PROTECTION | Composite shingle. Black. Tamko Lamarrite Slate | 10. SPECIALTIES     | Gas fireplace chimney                          |
| KEY (C.S.I.#-ITEM#)               | DESCRIPTION                                     |                     |  |
| 23. HVAC                          | Exhaust and vent stacks                         |                     |  |
|                                   | Solar hot water panels                          |                     |  |
| 26. LIGHTING                      | Wall Sconce. Hooded down light                  |                     |  |
|                                   | Wall Fixture. Opaque reflector. down light      |                     |  |
| 32. EXTERIOR IMPROVEMENTS         | Exterior paving. See A1.5                       |                     |  |



- NOTES:
1. FLOOR ELEVATIONS ARE FOR REFERENCE. SEE PLANS FOR ACTUAL FLOOR ELEVATIONS.
  2. SEE ROOF PLAN FOR ROOF SLOPES.
  3. SEE A3.7 AND A3.13 FOR VERTICAL ZONING.

171.25'±  
CRAWLSPACE AND WATER STORAGE

**WORK ROOM AND BARN SECTION**

### BEWLEY RESIDENCE

Audubon Ave.  
Montara, CA 94037  
A.P.N. 036-310-180

Architect

### HM,a+e

Henri Mannik,  
Architecture and Engineering

5429 Telegraph Ave.  
Oakland, CA 94609  
510 652 1511 p  
510 601 7196 f

Consultant

Stamp

Printing Date

|                   |            |
|-------------------|------------|
| Planning Permit   | 03.18.2010 |
| Coordination      | 09.12.2011 |
| Planning          | 09.13.2011 |
| Coordination      | 10.05.2011 |
| Coordination      | 10.11.2011 |
| Coordination      | 07.19.2013 |
| Coordination      | 08.08.2013 |
| Coordination      | 10.07.2013 |
| Coordination      | 10.21.2013 |
| Coordination      | 11.05.2013 |
| Constraints Map   | 11.07.2013 |
| Constraints Map   | 11.25.2013 |
| Coordination      | 03.19.2014 |
| D.R.Pre-app conf. | 03.26.2014 |
| Design Review     | 08.12.2014 |
| Story Pole        | 11.14.2014 |
| D.R. coord        | 06.08.2015 |
| Design Review     | 07.10.2015 |

HM,a+e Job Number  
2005,01

Sheet Title

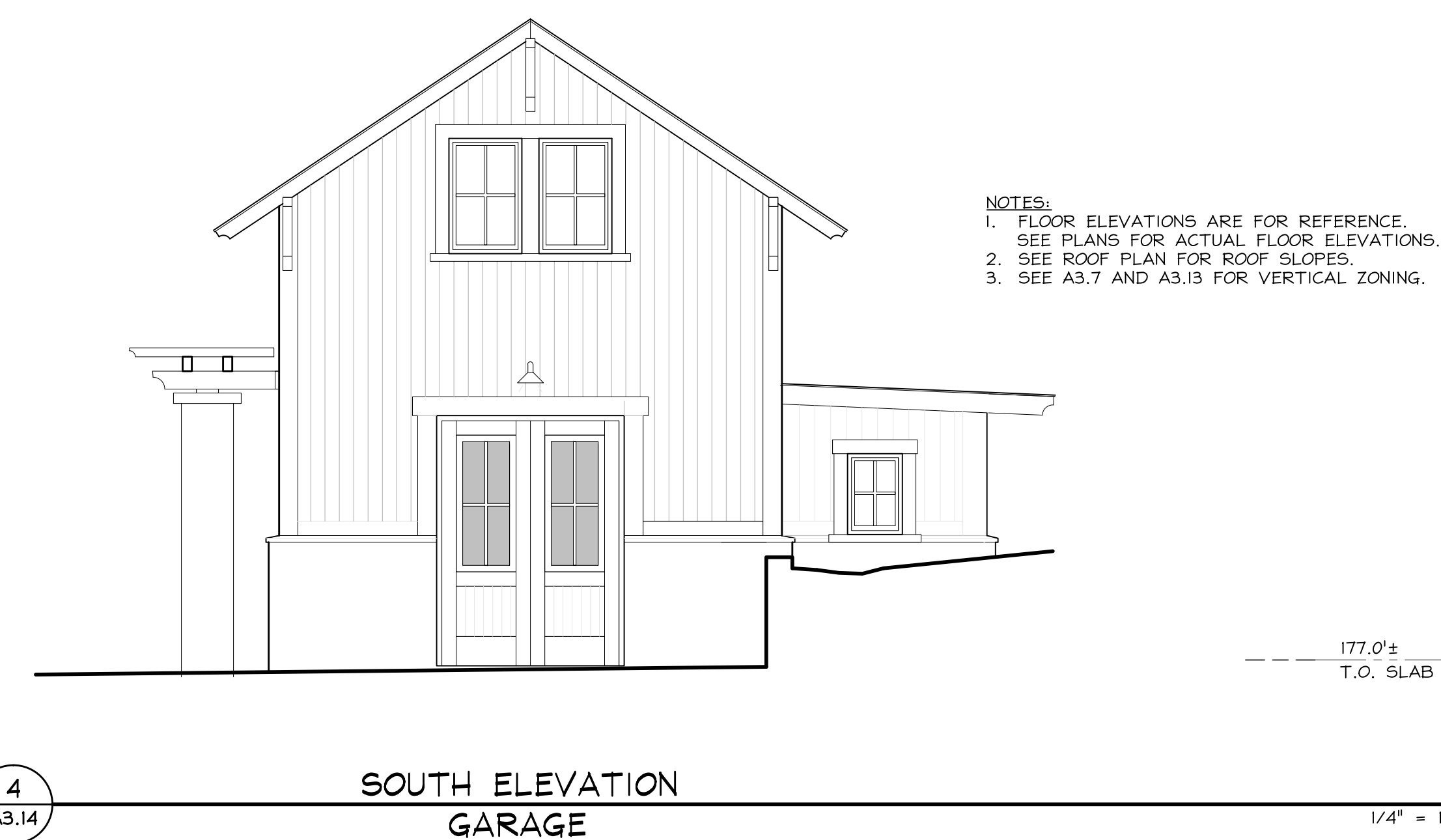
### GARAGE ELEVATIONS

Sheet Number

# A3.14

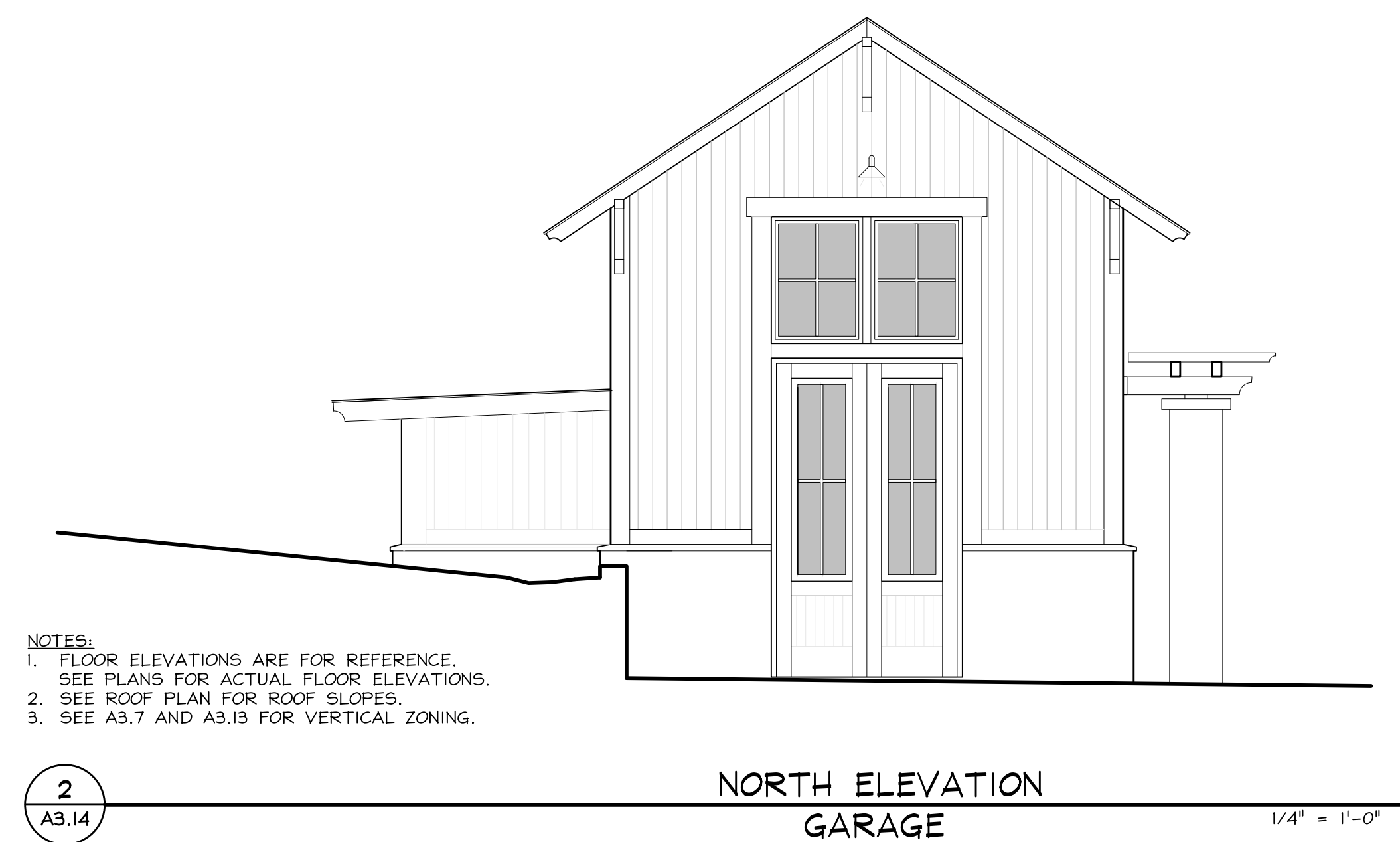
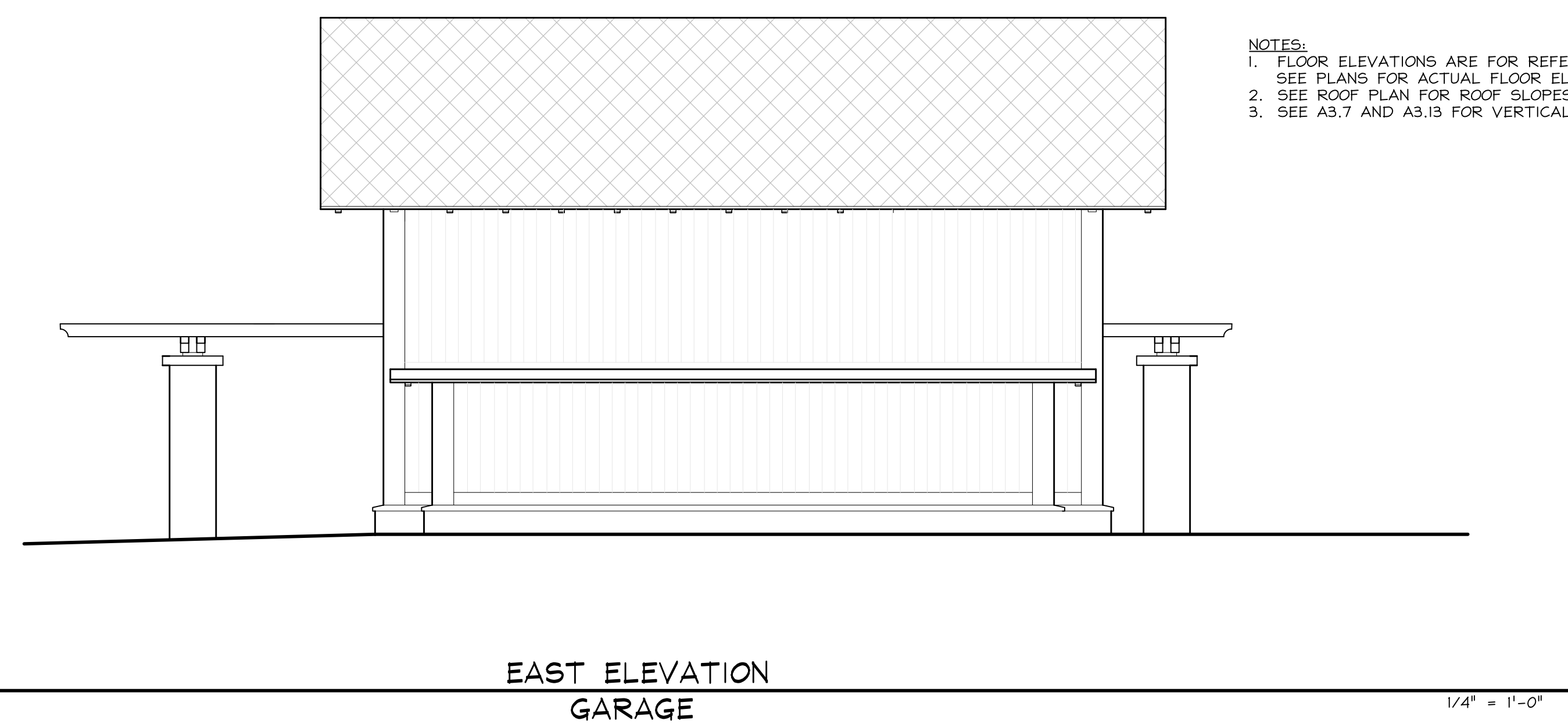
#### ELEVATION NOTES

| KEY (C.S.I.#-ITEM#)               | DESCRIPTION                                    | KEY (C.S.I.#-ITEM#) | DESCRIPTION                                    | KEY (C.S.I.#-ITEM#)       | DESCRIPTION                                |
|-----------------------------------|--|---------------------|--|---------------------------|--|
| 04. MASONRY                       | CMU wall                                       | 08. OPENINGS        | Wood or fiberglass windows                     | 23. HVAC                  | Exhaust and vent stacks                    |
| 05. METALS                        | Steel guardrail                                | 09. FINISHES        | Plaster over concrete masonry. Lime. Off-white | 26. LIGHTING              | Solar hot water panels                     |
| 06. WOOD, PLASTICS, COMPOSITES    | Wood siding. Redwood                           |                     | Dark brown wood stain                          |                           | Wall Sconce. Hooded down light             |
|                                   | Wood trim. Redwood                             |                     | Paint. Ocean blue                              |                           | Wall Fixture. Opaque reflector. down light |
|                                   | Wood roof framing. Doug Fir                    |                     | Dark bronze paint                              | 32. EXTERIOR IMPROVEMENTS | Exterior paving. See A1.5                  |
| 07. THERMAL & MOISTURE PROTECTION | Wood trellis. Reclaimed. Natural oil finish    | 10. SPECIALTIES     | Cement Stucco. Off-white                       |                           |  |
|                                   | Composite shingle. Black. Tamko Lamarite Slate |                     | Gas fireplace chimney                          |                           |  |

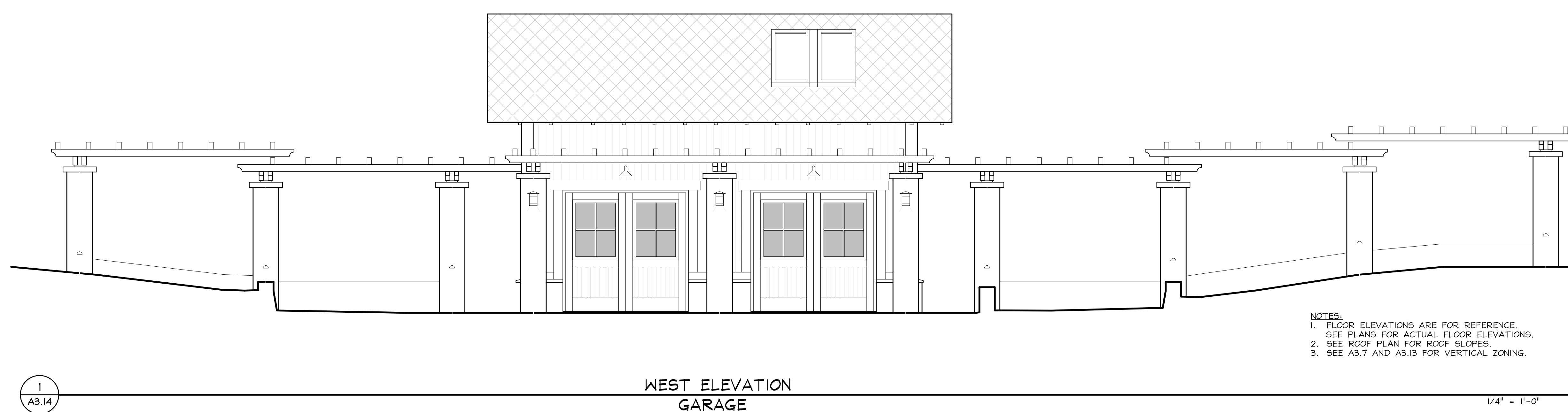


NOTES:  
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4. SEE A3.7 AND A3.13 FOR VERTICAL ZONING.

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0501-A3-14.dwg Plot Date: 7/20/2015

# BEWLEY RESIDENCE

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| Design Review     | 07.10.2015 |

HM,a+e Job Number  
2005,01

## GARAGE ELEVATIONS

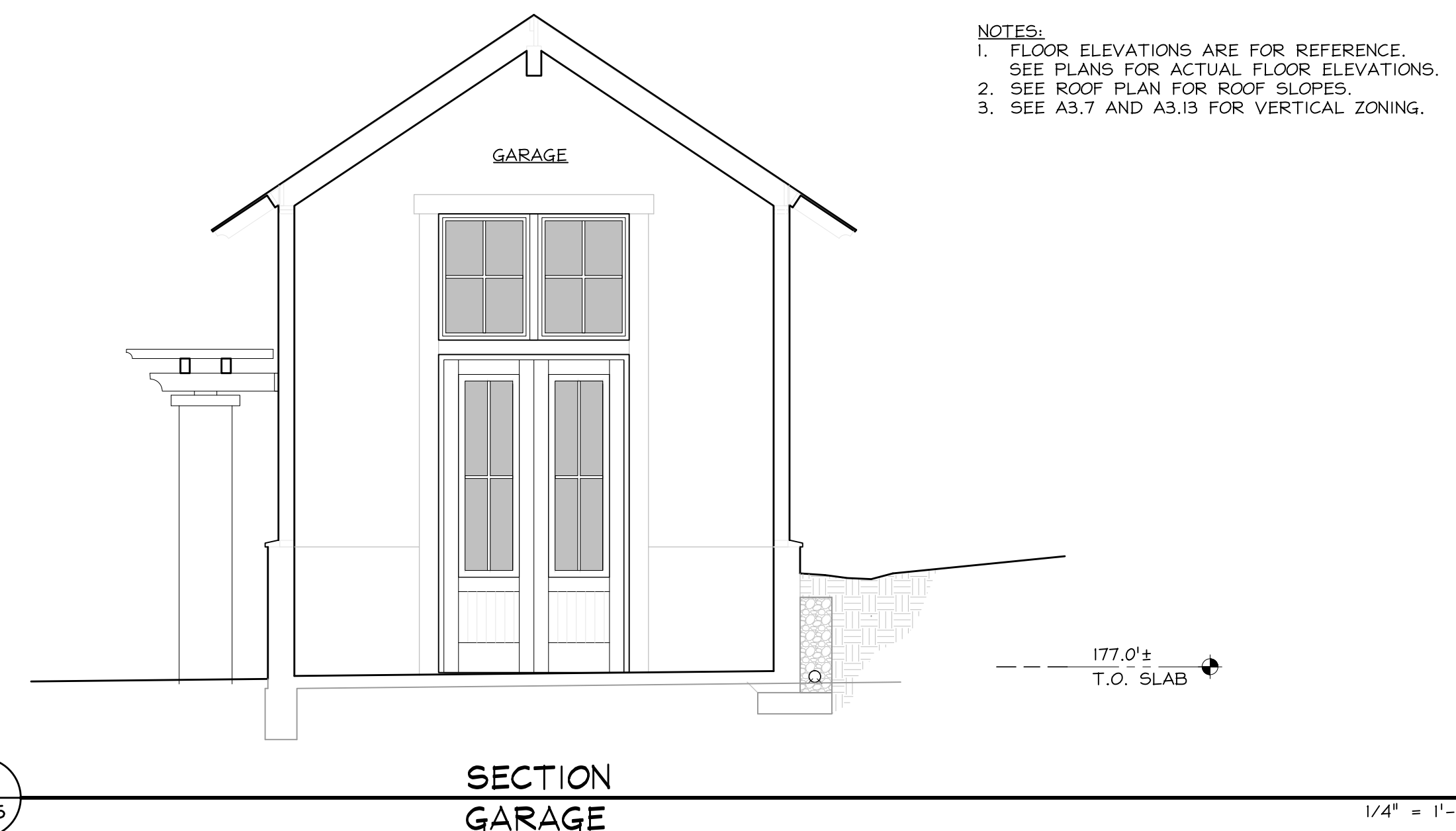
Sheet Number

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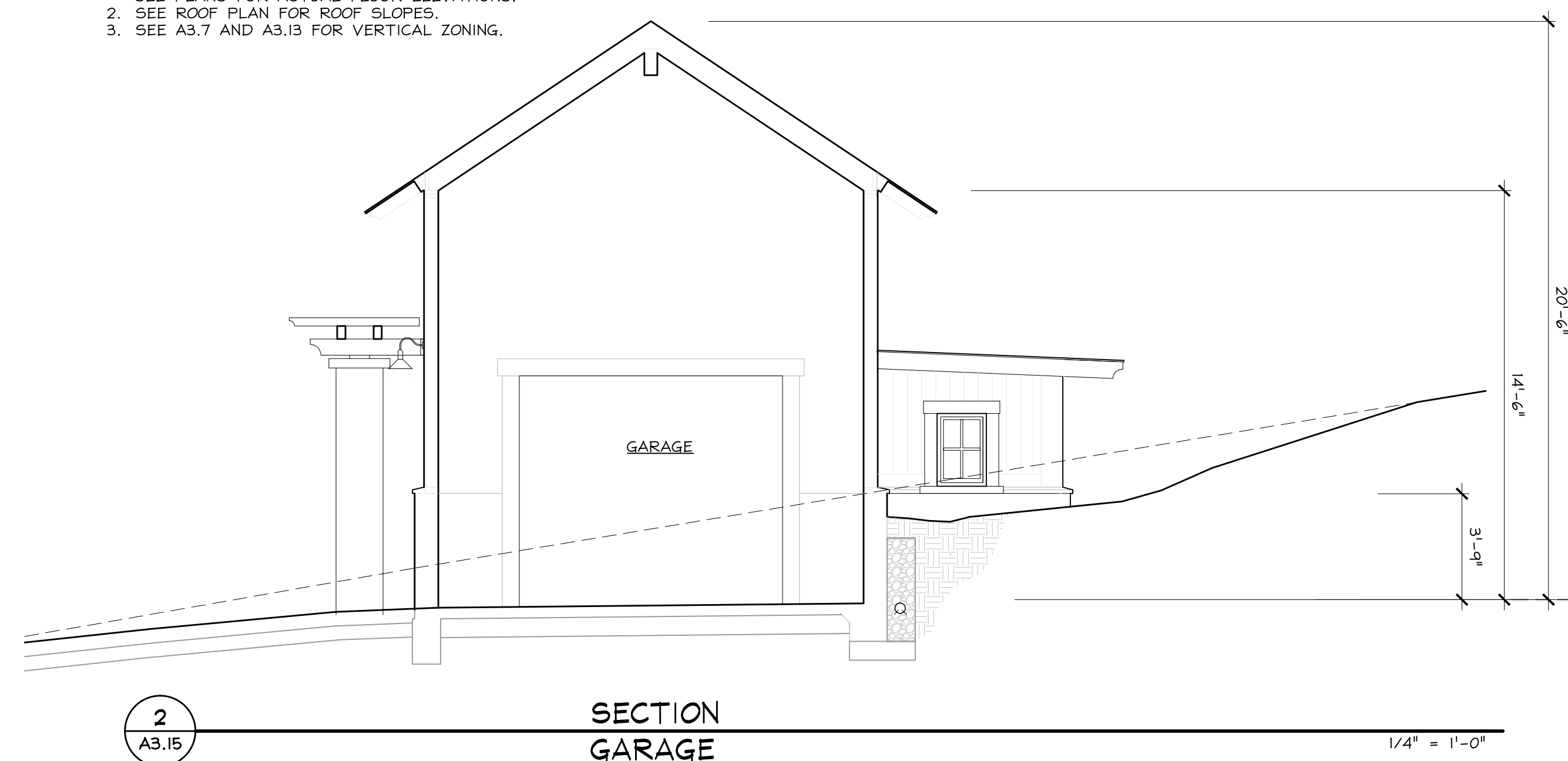
### ELEVATION NOTES

| KEY (C.S.I.#-ITEM#)               | DESCRIPTION                                    | KEY (C.S.I.#-ITEM#) | DESCRIPTION                                    | KEY (C.S.I.#-ITEM#)       | DESCRIPTION                                |
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|                                   | Composite shingle. Black. Tamko Lamarite Slate |                     | Gas fireplace chimney                          |                           |  |

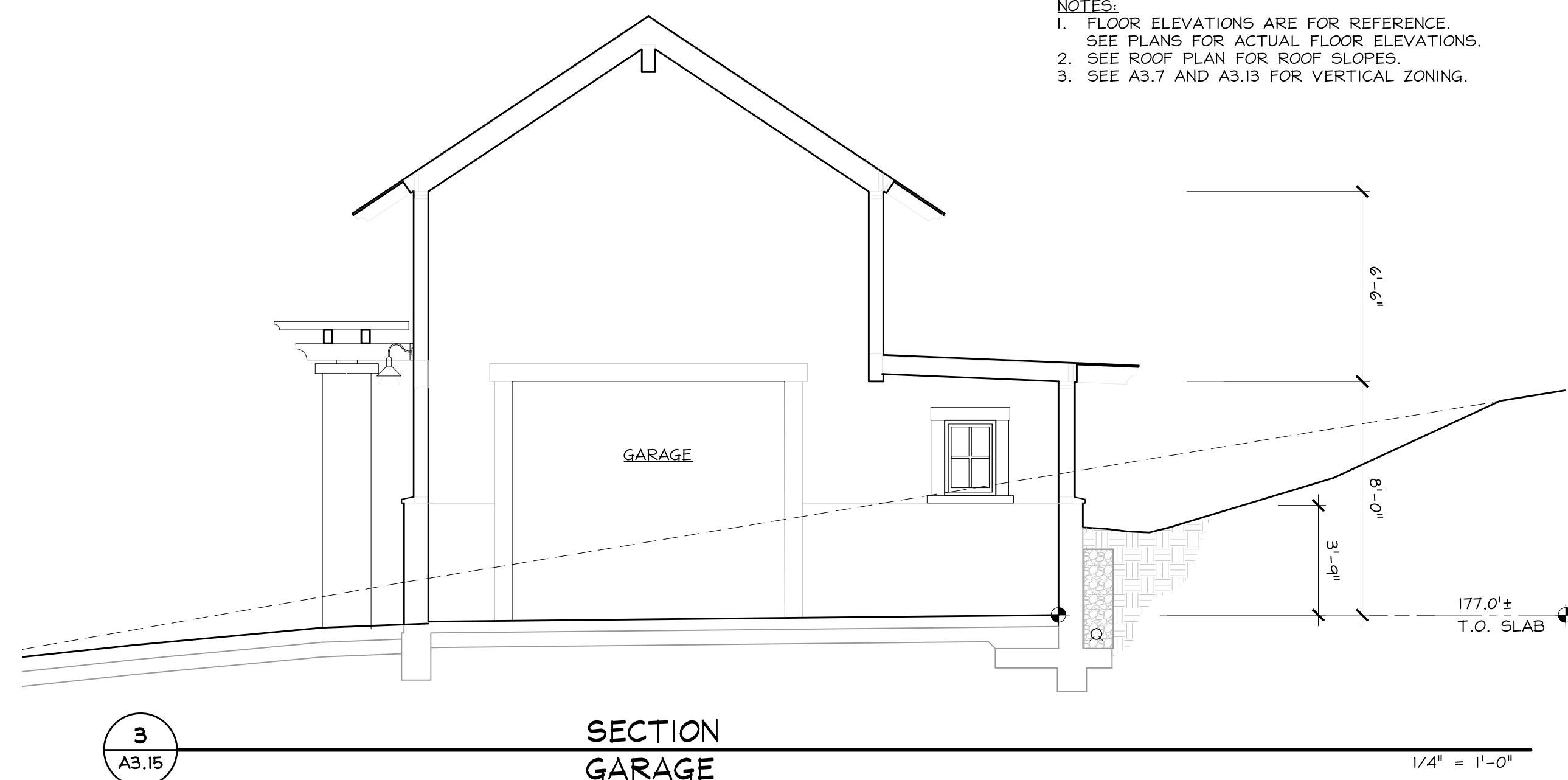
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NOT USED

1/4" = 1'-0"

1 A3.14