



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT

SUNSHINE VALLEY RESIDENCE

APN 037156130
Sunshine Valley Road
Moss Beach, California 94038

REVISION:



SHEET LIST	
#	NAME

GENERAL INFORMATION	
A001	GENERAL NOTES

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C002	EROSION & SEDIMENT CONTROL

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A213	DIMENSION FLOOR PLAN - LEVEL 3
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A311	ELEVATIONS
A312	ELEVATIONS

STRUCTURAL	
S001	STRUCTURAL TBD

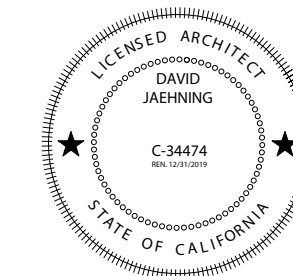
PLUMBING	
P001	PLUMBING TBD

MECHANICAL	
M001	MECHANICAL TBD

ELECTRICAL	
E001	ELECTRICAL TBD

**FOR REVIEW & FILING
NOT FOR CONSTRUCTION**

STAMP:



ARCHITECT:

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25 Forest Side Avenue, San Francisco, California 94127

CONSULTANT TEAM:

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Saratoga, California

BIOLOGICAL:
SWCA Environmental Consultants: Half Moon Bay, California

CIVIL:
Sigma Prime Geosciences, Inc.: Half Moon Bay, California

STRUCTURAL:
Alex Lau Engineering: C 75773, San Francisco, California

CLIENT:

Elle and Ivan Li
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T: +1 408 207 6113

MECHANICAL, ELECTRICAL, & PLUMBING:

DESIGN/BUILD BY CONTRACTOR

BUILDING CODE INFORMATION:

APPLICABLE BUILDING CODE: 2016 CALIFORNIA BUILDING STANDARDS CODE (CAL. CODE REGS., TITLE 24)

COUNTY ZONED: S-17 COMBINING DISTRICT (MIDCOAST)

PARCEL SIZE: 5000 SF

LOT COVERAGE: BUILDING: 730 SF
LANDSCAPE: 734 SF
TOTAL: 1464 SF (29%)

FLOOR AREA RATIO: 0.44

LANDSCAPE AREA (REHABILITATED): 2061 SF
LANDSCAPE AREA (TURF & PLANT): 954 SF

OCCUPANCY CLASSIFICATION: R-3

BUILDING CHARACTERISTICS: LEVEL 1: 730 SF
LEVEL 2: 730 SF
LEVEL 3: 730 SF
TOTAL: 2190 SF

GRADE ELEVATION: 109'-0"

BUILDING HEIGHT: 28'-0" PERIMETER, 31'-4" PEAK

BUILDING LEVELS: 3

BUILDING CODE INFORMATION: TYPE V-A
PRIMARY STRUCTURAL FRAME: 1

TYPE OF CONSTRUCTION: BEARING WALLS: 1
NON-BEARING WALLS AND PARTITIONS (EXT.): TABLE 602
NON-BEARING WALLS AND PARTITIONS (INT.): 0
FLOOR CONSTRUCTION: 1
ROOF CONSTRUCTION: 1

ALLOWABLE HEIGHT: 50'-0" PER TABLE 503

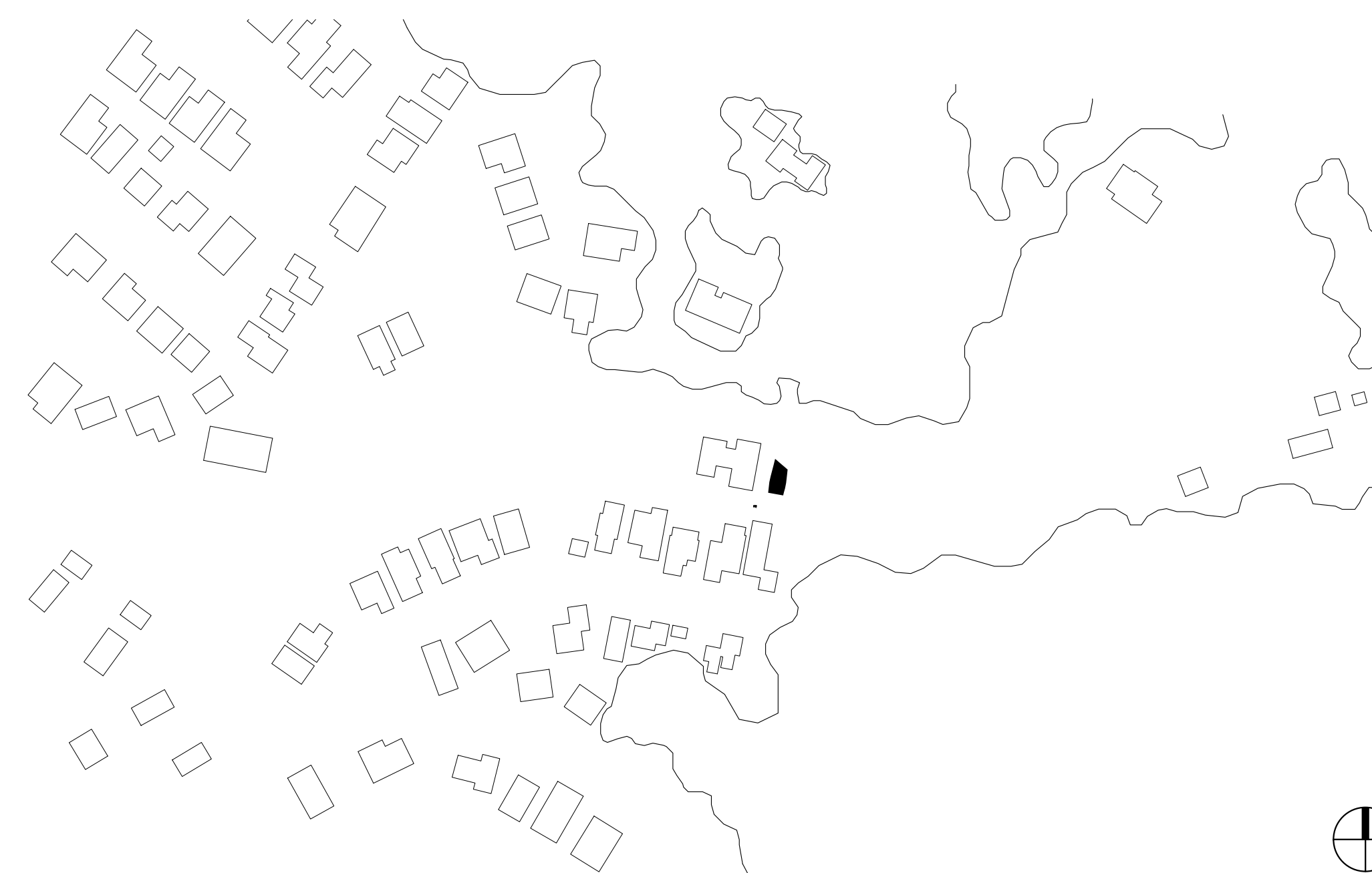
BUILDABLE AREA: UNLIMITED PER TABLE 503

OCCUPANT LOAD: 2190 SF / 200 GROSS = 11 PERSONS

EGRESS REQUIREMENT: PER SECTION 1006.2.1:
IN GROUP-R-2 AND R-3 OCCUPANCIES, ONE MEANS OF EGRESS IS PERMITTED WITHIN AND FROM INDIVIDUAL DWELLING UNITS WITH A MAXIMUM OCCUPANT LOAD OF 20 WHERE THE DWELLING UNIT IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.1.1 OR 903.2.1.2 AND THE COMMON PATH OF EGRESS TRAVEL DOES NOT EXCEED 125 FEET

SMOKE DETECTION: HARD-WIRED, INTERCONNECTED, AND BATTERY BACKUP PER CBC, STATE FIRE MARSHALL REGULATIONS, AND COASTSIDE FIRE DISTRICT ORDINANCE 2016-01. PLACED ONE PER BEDROOM AND ONE IN HALLWAY PER FLOOR

FIRE SUPPRESSION: BUILDING WILL BE PROTECTED BY AN AUTOMATIC FIRE SPRINKLER SYSTEM



PROJECT NO: PROJECT NAME:
1802 Sunshine Valley Residence

PROJECT ADDRESS: APN 037156130, Sunshine Valley Road
Moss Beach, California 94038

PROJECT PHASE: **Construction Documents**

DRAWN: Author CHECKED: Checker

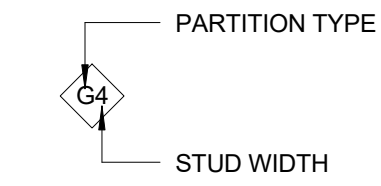
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DRAWING TITLE: **COVER SHEET**

DRAWING NO: **A000**

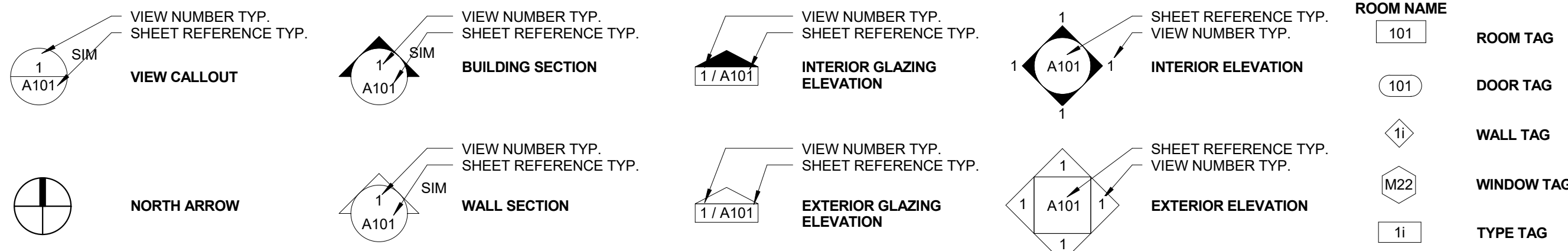
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PARTITION KEY LEGEND



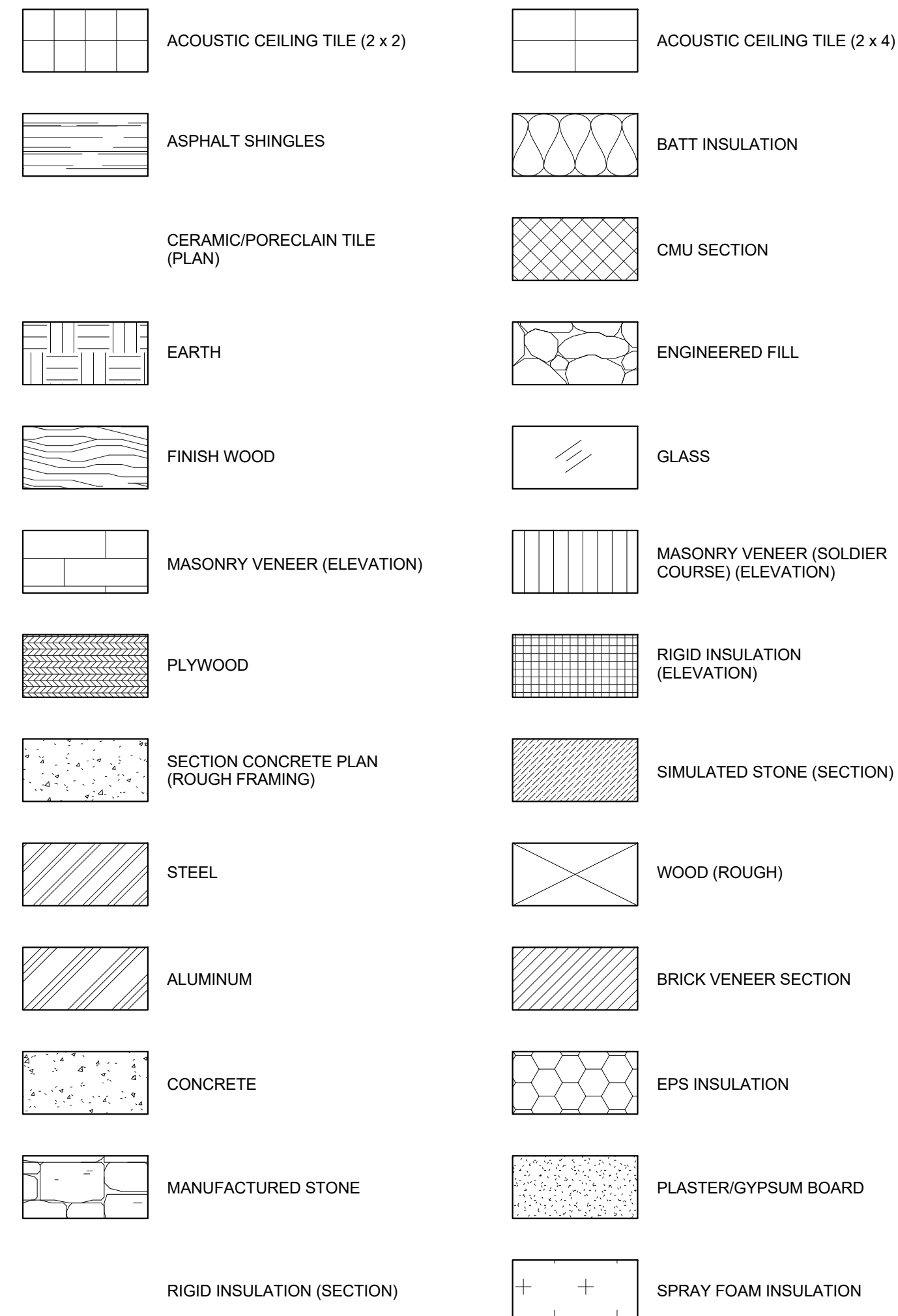
NOTES

- A. ALL INTERIOR PARTITION FRAMING TO BE WOOD STUD U.O.N.
- B. ALL INTERIOR PARTITIONS TO INCLUDE SOUND ATTENUATION UNLESS OTHERWISE NOTED
- C. EPOXY PAINT @ ALL KITCHENETTE BACKSLASHES, AND BREAKEROOM
- D. ALL FRAMING TO EXTEND TO ROOF DECK, U.O.N.
- E. RE. INTERIOR ELEVATION FOR PAINTED EXPOSED HOMASOTE, PAINT COLOR TO MATCH WINDOW FRAMES



ROOM NAME	ROOM TAG
101	ROOM TAG
101	DOOR TAG
11	WALL TAG
M22	WINDOW TAG
11	TYPE TAG

MATERIAL SYMBOLS



ABBREVIATION LEGEND

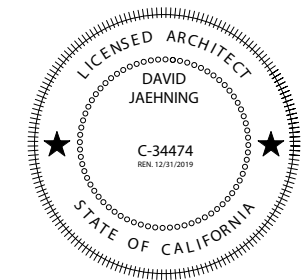
ABBRV	DESCRIPTION
A	AT
@	AT
A.F.F.	ABOVE FINISH FLOOR
AC	ABOVE COUNTER
ACST	ACOUSTIC
ADJ	ADJUSTABLE
ALUM	ALUMINUM
ANNOD	ANNODIZED
APPROX	APPROXIMATE
ARCH	ARCHITECT/ARCHITECTURAL
ASST	ASSISTANT
ATFP	ANTI TERRORISM FORCE PROTECTION
AUTO	AUTOMATIC
AVG	AVERAGE
B	
BATT	BATT INSULATION
BD	BOARD
BLDG	BUILDING
BLK	BLOCK
BLKG	BLOCKING
BOT/BT	BOTTOM
M	
BRG	BEARING
C	
CJ	CONTROL JOINT
CL	CENTER LINE
CLG	CEILING
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
CONC	CONCRETE
CONST	CONSTRUCTION
COORD	COORDINATE
CORR	CORRIDOR
CPT	CARPET
CT	CERAMIC TILE
CTRTOPTOP	COUNTERTOP
CU.FT.	CUBIC FOOT
CU.YD.	CUBIC YARD
D	
DBL	DOUBLE
DEMO	DEMOLISH
DIA	DIAMETER
DIM	DIMENSION
DN	DOWN
DS	DOWN SPOUT
DW	DISH WASHER
DWGS	DRAWING/S
E	
E.W.C.	ELECTRICAL WATER COOLER
EA	EACH
EF	EXHAUST FAN
EJ	EXPANSION JOINT
EL	ELEVATION
ELEC	ELECTRICAL
ELEV	ELEVATION
EQ	EQUAL
EQUIP	EQUIPMENT
EXIST	EXISTING
EXP	EXPANSION
EXT	EXTERIOR
F	
F.F.	FINISH FLOOR
F/C	FACE OF CURB
FACP	FIRE ALARM CONTROL PANEL
FD	FLOOR DRAIN
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FH	FIRE HYDRANT
FIN	FINISH
FLOUR	FLOURESCENT
FLR	FLOOR
FT	FEET
FTG	FOOTING
FV	FIELD VERIFY
G	
GA	GAUGE
GALV	GALVANIZED
GB	GRAB BAR
GOVT	GOVERNMENT
GWB	GYPSPUM WALL BOARD
GYP	GYPSPUM
H	
H.C.	HANDICAP ACCESSIBLE
HCW	HOLLOW WOOD CORE
HDWE	HARDWARE
HGT	HEIGHT
HM	HOLLOW METAL
HORZ	HORIZONTAL
HVAC	HEATING VENTILATION AND AIR CONDITIONING
I	
ID	INSIDE DIAMETER
IN	INCH
INSUL	INSULATION
INT	INTERIOR
J	
J-BOX	JUNCTION BOX
JAN	JANITOR
JST	JOIST
JT	JOINT
L	
LAB	LABORATORY
LAV	LAVATORY
LBS/LB	POUNDS/POUND
LF	LINEAR FEET
LT	LIGHT
LTG	LIGHTING

ABBREVIATION LEGEND

ABBRV	DESCRIPTION
M	
M.O.	MASONRY OPENING
MATL	MATERIAL
MAX	MAXIMUM
MECH	MECHANICAL
MFR	MANUFACTURER
MIN	MINIMUM
MISC	MISCELLANEOUS
MTL	METAL
N	
N	NORTH
N.I.C.	NOT IN CONTRACT
N.T.S.	NOT TO SCALE
NO	NUMBER
NOM	NOMINAL
O	
OC	ON CENTER
OD	OUTSIDE DIAMETER
OFF	OFFICE
OH	OVERHEAD
OH	OPPOSITE HAND
OPP	OPPOSITE
P	
PERP	PERPENDICULAR
PL	PLATE
PLAM	PLASTIC LAMINATE
PLBG	PLUMBING
PLYWD	PLYWOOD
PNL	PANEL
PREFIN	PREFINISHED
PROJ	PROJECT
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PT	PAINT
PTD	PAPER TOWEL DISPENSER
PVMNT	PAVEMENT
Q	
QC	QUALITY CONTROL
R	
RB	RUBBER BASE
REF	REFERENCE
REFRIG	REFRIGERATOR
REINF	REINFORCE
REQ'D	REQUIRED
RM	ROOM
RO	ROUGH OPENING
RUB	RUBBER
S	
S	SOUTH
SCHED	SCHEDULED
SECT	SECTION
SHT	SHEET
SIM	SIMILAR
SPEC	SPECIFICATION
SS	STAINLESS STEEL
STD	STANDARD
STL	STEEL
STOR	STORAGE
STRU	STRUCTURE
SUSP	SUSPENDED
SYM	SYMMETRICAL
T	
THRSU	THRESHOLD
TO	TOP OF
TOC	TOP OF CONCRETE
TOG	TOP OF GRADE
TOM	TOP OF MASONRY
TOS	TOP OF STEEL
TV	TELEVISION
TYP	TYPICAL
U	
U.L.	UNDERWRITERS LABORATORIES
UG	UNDERGROUND
UNO	UNLESS NOTED OTHERWISE
UR	URINAL
V	
VCT	VINYL COMPOSITE TILE
VENT	VENTILATION
VERT	VERTICAL
VIF	VERIFY IN FIELD
VOL	VOLUME
VTR	VENT THROUGH ROOF
VWC	VINYL WALL COVERING
W	
W	WITH
W/O	WITHOUT
WC	WATER CLOSET
WD	WOOD
WP	WORKING POINT
WT	WEIGHT
X	
XFMR	TRANSFORMER
Y	
YD	YARD

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SWCA Environmental Consultants: Half Moon Bay, California

CIVIL:
Sigma Prime Geosciences, Inc.: Half Moon Bay, California

STRUCTURAL:
Alex Lau Engineering: C 75773, San Francisco, California

CLIENT:
Elle and Ivan Li
1855 Sunshine Valley Road, Moss Beach, California 94038

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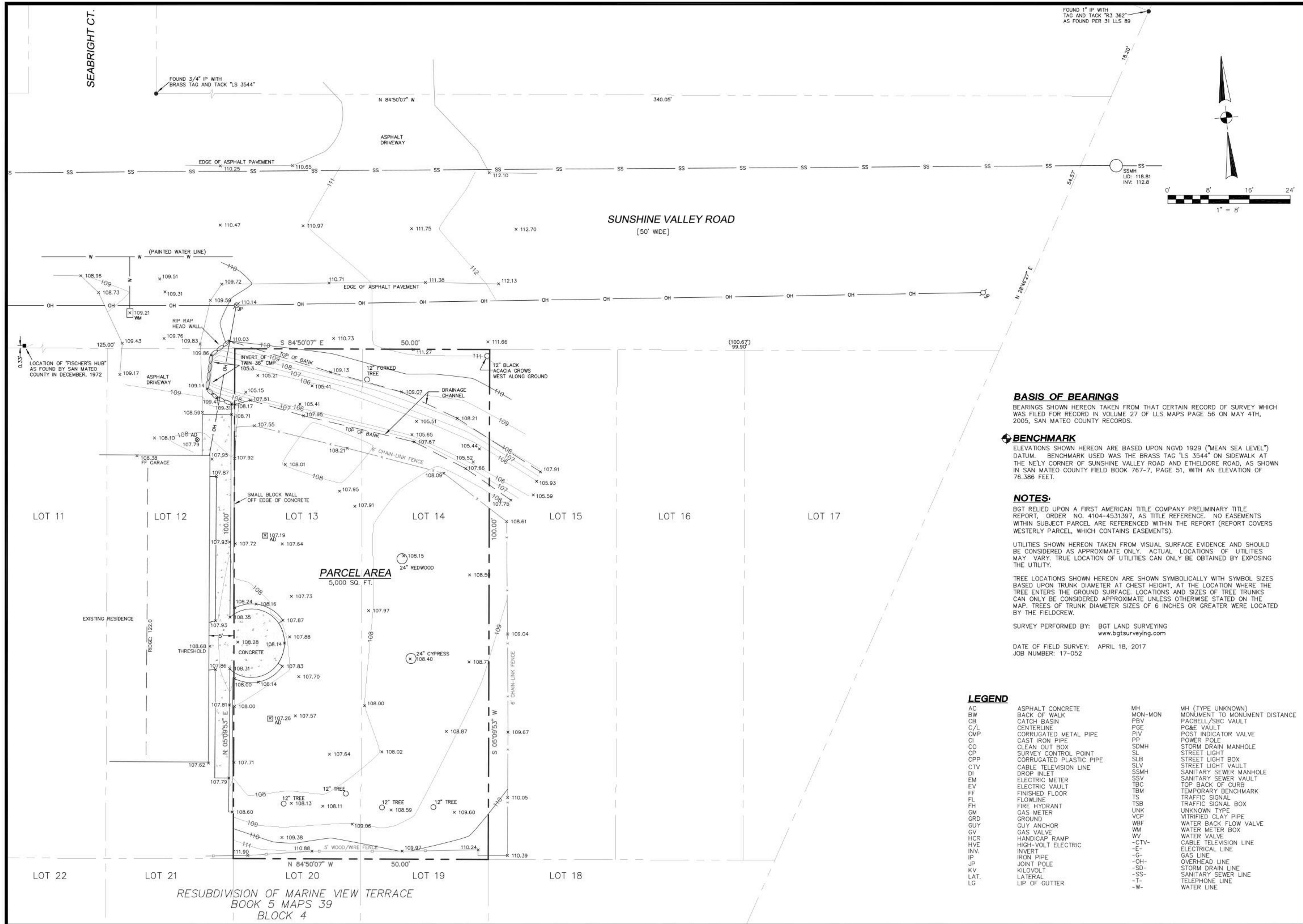
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DRAWING TITLE: **GENERAL NOTES**

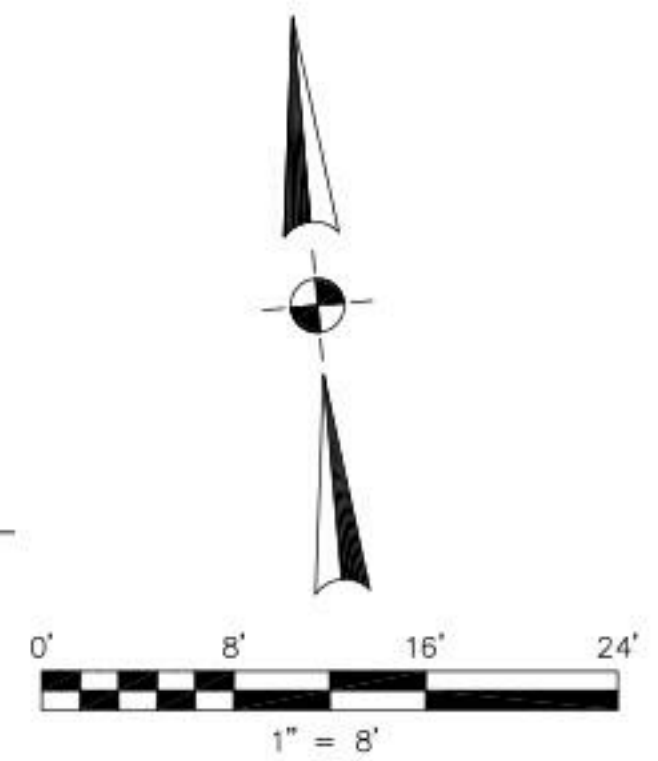
DRAWING NO: **A001**

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FOUND 1" IP WITH TAG AND TACK "R3 362" AS FOUND PER 31 LLS 89

FOUND 3/4" IP WITH BRASS TAG AND TACK "LS 3544"



SUNSHINE VALLEY ROAD
[50' WIDE]

BASIS OF BEARINGS

BEARINGS SHOWN HEREON TAKEN FROM THAT CERTAIN RECORD OF SURVEY WHICH WAS FILED FOR RECORD IN VOLUME 27 OF LLS MAPS PAGE 56 ON MAY 4TH, 2005, SAN MATEO COUNTY RECORDS.

BENCHMARK

ELEVATIONS SHOWN HEREON ARE BASED UPON NGVD 1929 ("MEAN SEA LEVEL") DATUM. BENCHMARK USED WAS THE BRASS TAG "LS 3544" ON SIDEWALK AT THE NELY CORNER OF SUNSHINE VALLEY ROAD AND ETHELDRE ROAD, AS SHOWN IN SAN MATEO COUNTY FIELD BOOK 767-7, PAGE 51, WITH AN ELEVATION OF 76.386 FEET.

NOTES:

BGT RELIED UPON A FIRST AMERICAN TITLE COMPANY PRELIMINARY TITLE REPORT, ORDER NO. 4104-4531397, AS TITLE REFERENCE. NO EASEMENTS WITHIN SUBJECT PARCEL ARE REFERENCED WITHIN THE REPORT (REPORT COVERS WESTERLY PARCEL, WHICH CONTAINS EASEMENTS).

UTILITIES SHOWN HEREON TAKEN FROM VISUAL SURFACE EVIDENCE AND SHOULD BE CONSIDERED AS APPROXIMATE ONLY. ACTUAL LOCATIONS OF UTILITIES MAY VARY. TRUE LOCATION OF UTILITIES CAN ONLY BE OBTAINED BY EXPOSING THE UTILITY.

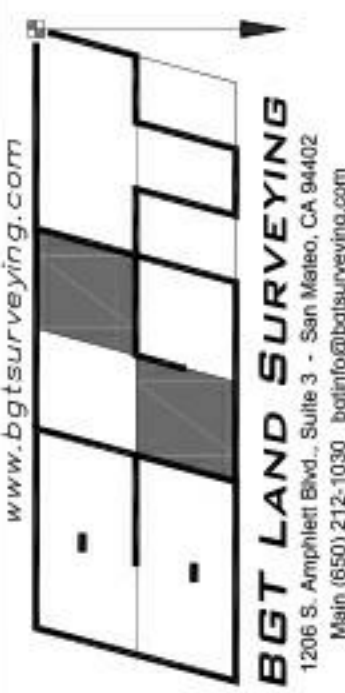
TREE LOCATIONS SHOWN HEREON ARE SHOWN SYMBOLICALLY WITH SYMBOL SIZES BASED UPON TRUNK DIAMETER AT CHEST HEIGHT, AT THE LOCATION WHERE THE TREE ENTERS THE GROUND SURFACE. LOCATIONS AND SIZES OF TREE TRUNKS CAN ONLY BE CONSIDERED APPROXIMATE UNLESS OTHERWISE STATED ON THE MAP. TREES OF TRUNK DIAMETER SIZES OF 6 INCHES OR GREATER WERE LOCATED BY THE FIELDCREW.

SURVEY PERFORMED BY: BGT LAND SURVEYING
www.bgtlandsurveying.com

DATE OF FIELD SURVEY: APRIL 18, 2017
JOB NUMBER: 17-052

LEGEND

- | | | | |
|------|-------------------------|-------------------|-------------------------------|
| AC | ASPHALT CONCRETE | MH | MH (TYPE UNKNOWN) |
| BW | BACK OF WALK | MON-MON | MONUMENT TO MONUMENT DISTANCE |
| CB | CATCH BASIN | PACBELL/SBC VAULT | PACBELL/SBC VAULT |
| C/L | CENTERLINE | PG&E VAULT | PG&E VAULT |
| CMP | CORRUGATED METAL PIPE | PIV | POST INDICATOR VALVE |
| CI | CAST IRON PIPE | PP | POWER POLE |
| CO | CLEAN OUT BOX | SDMH | STORM DRAIN MANHOLE |
| CP | SURVEY CONTROL POINT | SL | STREET LIGHT |
| CPP | CORRUGATED PLASTIC PIPE | SLB | STREET LIGHT BOX |
| CTV | CABLE TELEVISION LINE | SLV | STREET LIGHT VAULT |
| DI | DROP INLET | SSMH | SANITARY SEWER MANHOLE |
| EM | ELECTRIC METER | SSV | SANITARY SEWER VAULT |
| EV | ELECTRIC VAULT | TBC | TOP BACK OF CURB |
| FF | FINISHED FLOOR | TBM | TEMPORARY BENCHMARK |
| FL | FLOWLINE | TS | TRAFFIC SIGNAL |
| FH | FIRE HYDRANT | TSB | TRAFFIC SIGNAL BOX |
| GM | GAS METER | UNK | UNKNOWN TYPE |
| GRD | GROUND | VCP | VITRIFIED CLAY PIPE |
| GV | GUY ANCHOR | WM | WATER BACK FLOW VALVE |
| GV | GAS VALVE | WM | WATER METER BOX |
| HCR | HANDICAP RAMP | WV | WATER VALVE |
| HVE | HIGH-VOLT ELECTRIC | -CTV- | CABLE TELEVISION LINE |
| INV. | INVERT | -E- | ELECTRICAL LINE |
| IP | IRON PIPE | -G- | GAS LINE |
| JP | JOINT POLE | -OH- | OVERHEAD LINE |
| KV | KILOVOLT | -SD- | STORM DRAIN LINE |
| LAT. | LATERAL | -SS- | SANITARY SEWER LINE |
| LG | LIP OF GUTTER | -T- | TELEPHONE LINE |
| | | -W- | WATER LINE |



BOUNDARY AND TOPOGRAPHIC SURVEY
LOTS 13-14, BLOCK 4, "RESUBDIVISION OF MARINE VIEW TERRACE" (BOOK 5 MAPS 39)
VACANT, SUNSHINE VALLEY ROAD
MOSS BEACH, SAN MATEO COUNTY, CALIFORNIA

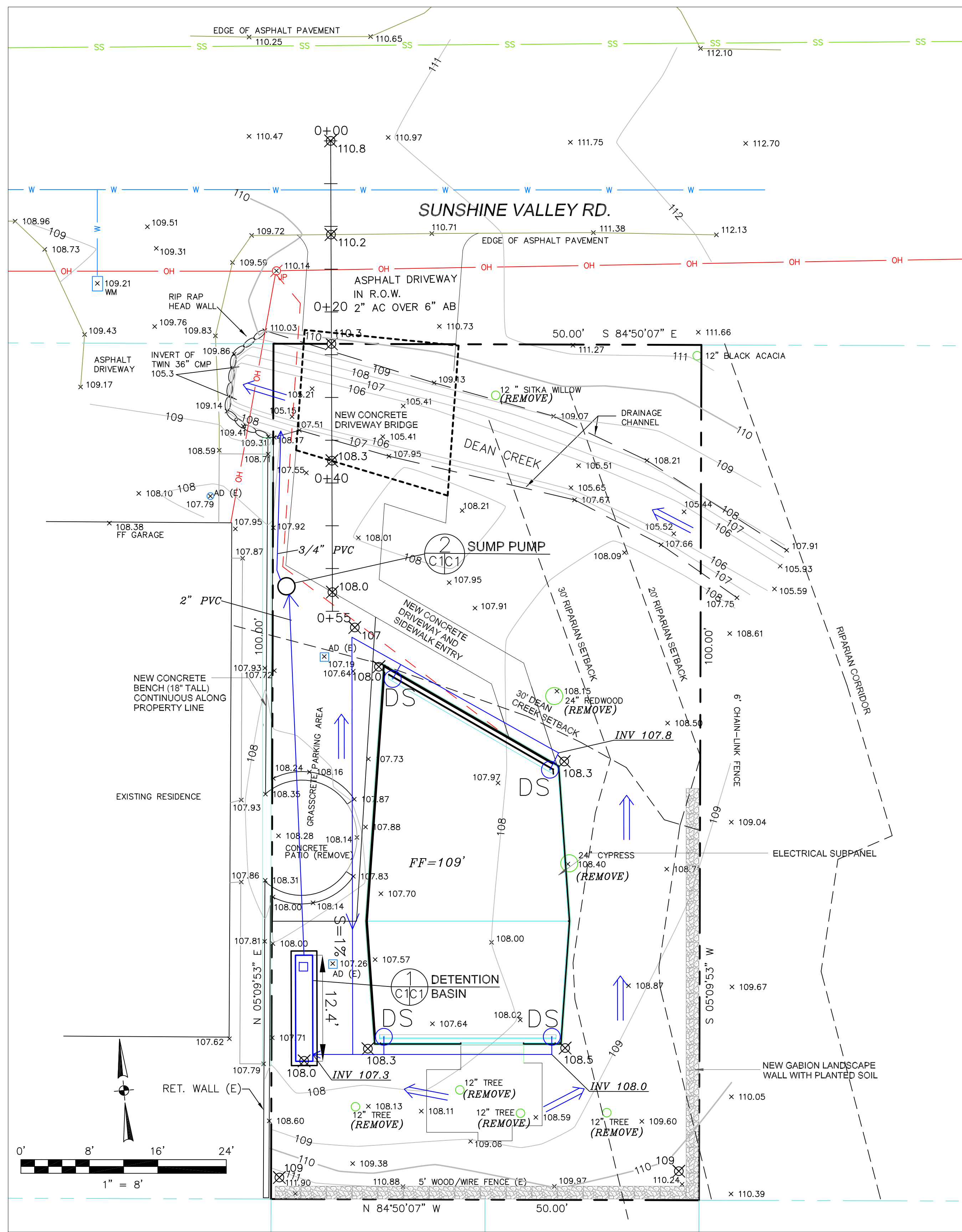
Assessor Parcel Number:
037-156-130

Prepared For:
FuLi Li
1855 Sunshine Valley Road
Moss Beach, CA 94038

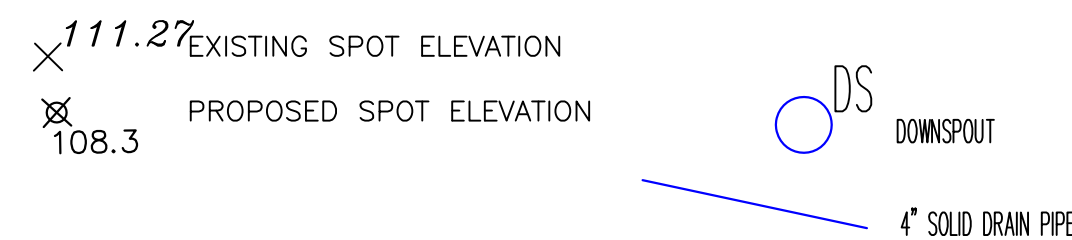
Date: APRIL 2017
Scale: 1" = 8'
Contour Interval: 1'
Drawn by: LHL
Revisions:

SU-1

Job No. 17-052



LEGEND



GENERAL NOTES

- PLANS PREPARED AT THE REQUEST OF: FULI LI, OWNER.
- TOPOGRAPHY BY BGT LAND SURVEYING, SURVEYED 4-18-17.
- THIS IS NOT A BOUNDARY SURVEY.
- ELEVATION DATUM: NGVD29.
- THE GEOTECHNICAL REPORT: **GEOTECHNICAL STUDY, UPDATE GEOTECHNICAL INVESTIGATION, PROPOSED SINGLE FAMILY RESIDENCE, 1855 SUNSHINE VALLEY ROAD, MOSS BEACH CALIFORNIA.** DATED: MAY 5 201, BY WAYNE TING AND ASSOCIATES PROJECT NO. 5264 SHALL BE RETAINED ON THE CONSTRUCTION SITE. THE GEOTECHNICAL ENGINEER OF RECORD IS WAYNE TING AND ASSOCIATES, WITH THE CONTACT NUMBER (510)-623-7768; WAYNE@WAYNETING.NET). THE CONTRACTOR MUST SHALL NOTIFY THE GEOTECHNICAL ENGINEER OF RECORD AT LEAST 48 HOURS BEFORE CONSTRUCTION OF GEOTECHNICAL RELATED WORK. THE GEOTECHNICAL PART OF CONSTRUCTION WORK, INCLUDING BUT NOT LIMITED TO, ALL THE EARTHWORK AND FOUNDATION CONSTRUCTIONS, MUST SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER OF RECORD.
- STORMWATER MANAGEMENT CONSTRUCTION INSPECTIONS SHALL BE SCHEDULED FOR APPLICABLE DRAINAGE INSPECTIONS, WHICH INCLUDE SITE CLEARANCE AND EROSION CONTROL MEASURES INSTALLATION AS WELL AS INSPECTION OF MAJOR DRAINAGE CONTAINMENT, TREATMENT, AND CONVEYANCE DEVICES BEFORE BEING BURIED (INCLUDING REQUIRED MATERIAL LABELS, E.G. PIPES, SUB-GRADE MATERIALS, ETC.). PLEASE FOLLOW THE INSPECTION CARD INSTRUCTIONS AND PHONE NUMBER (650)-306-8405 EXT 181) TO SCHEDULE COUNTY DRAINAGE INSPECTIONS ACCORDINGLY. THERE SHALL BE THREE INSPECTIONS: ONE FOR EROSION CONTROL INSTALLATION, ONE BEFORE DRAINAGE FACILITIES ARE BURIED, AND ONE FOR FINAL WALK AROUND.

DRAINAGE NOTES

- DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS. SLOPE ALL IMPERVIOUS SURFACES A MINIMUM OF 2% AWAY FROM BUILDING. DIRECT SLOPES SUCH THAT STORMWATER WILL NOT BE DIVERTED ONTO ADJACENT PROPERTIES.
- ALL DOWNSPOUT DRAIN LINES SHALL LEAD TO DETENTION BASIN, AS SHOWN.
- ALL ROOF DRAINAGE PIPES SHALL BE 4" DIAMETER SOLID PIPE, SLOPED AT 1% MINIMUM.
- IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO CHECK ON ALL STORMWATER FACILITIES SUCH AS ROOF GUTTERS, DOWNSPOUT LINES, AND THE FLOW-THROUGH PLANTER/SUMP PUMP TO BE SURE THAT THEY ARE CLEAR OF EXCESSIVE DEBRIS AND OPERATING EFFICIENTLY. THE FACILITIES SHALL BE CHECKED EVERY FALL AND PERIODICALLY DURING THE RAINY SEASON.

GRADING NOTES

CUT VOLUME: 40 CY (FOR FOUNDATION, BACK-YARD GABION)
 FILL VOLUME: 10 CY

VOLUMES ABOVE ARE APPROXIMATE.

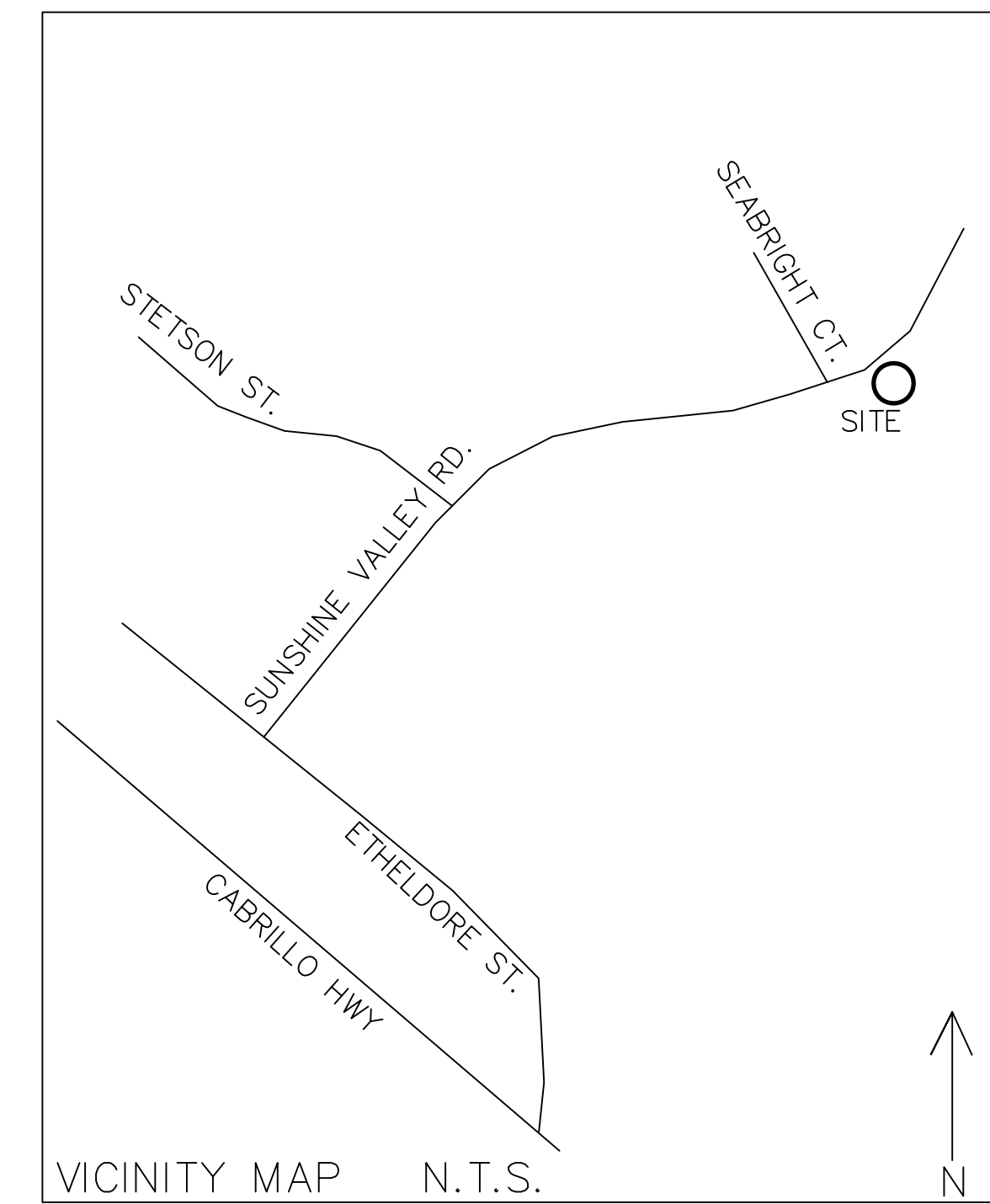
THE SUBGRADE BELOW ALL PAVED AREAS SHALL BE BASEROCK COMPACTED TO 95%.

ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.

ALL TRENCHES UNDER PROPOSED PAVED AREAS OR CONCRETE SHALL BE BACKFILLED TO SUBGRADE ELEVATION WITH COMPACTED APPROVED GRANULAR MATERIALS. IF TRENCHES ARE IN PROPOSED LANDSCAPE AREAS, THEY SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAMPED SOILS.

UTILITY NOTES

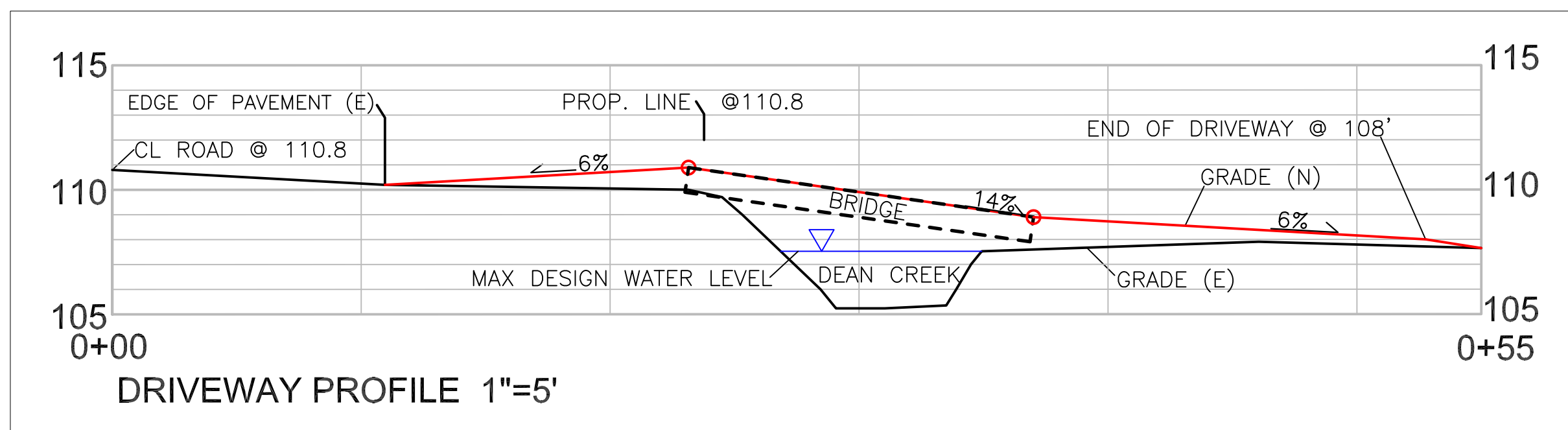
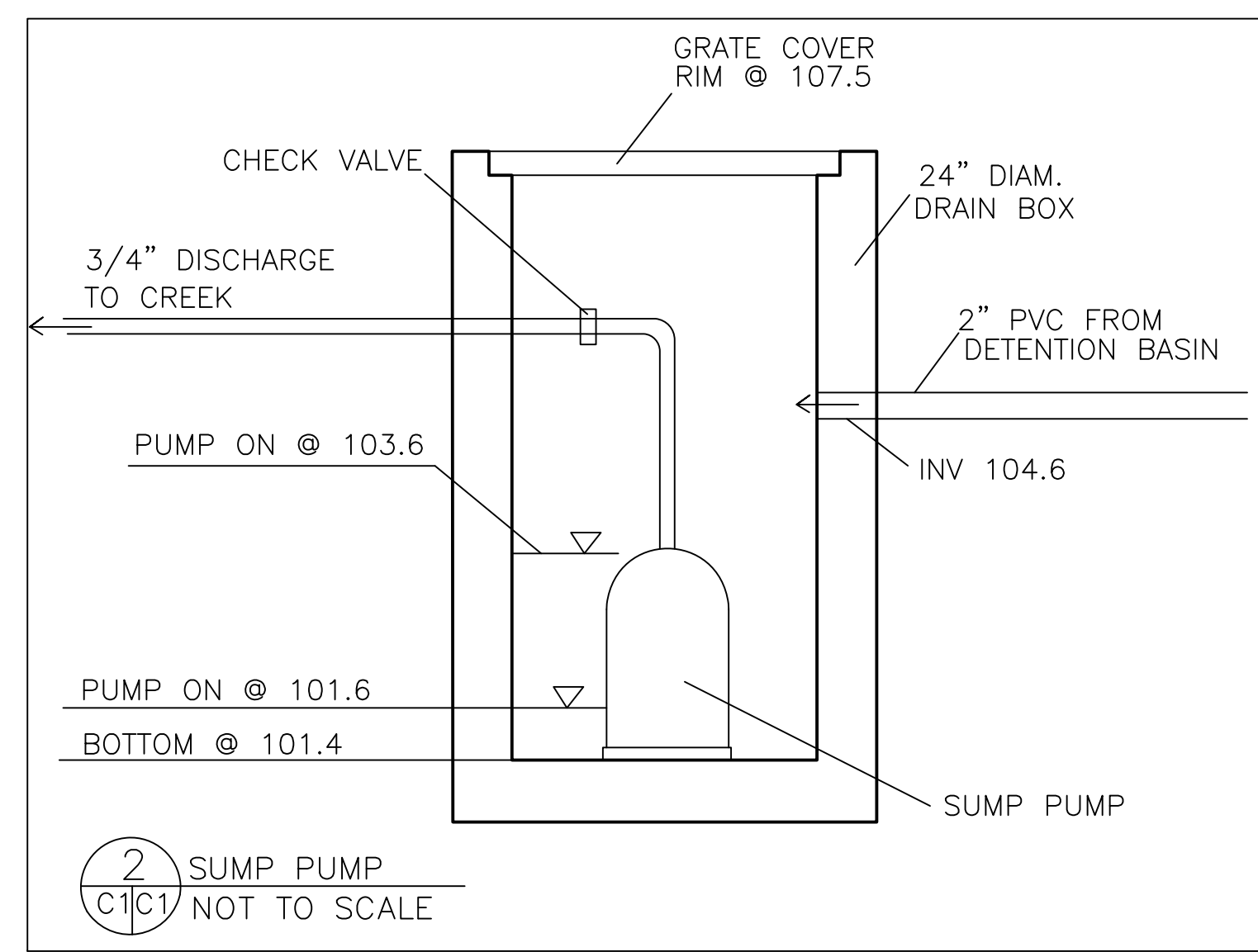
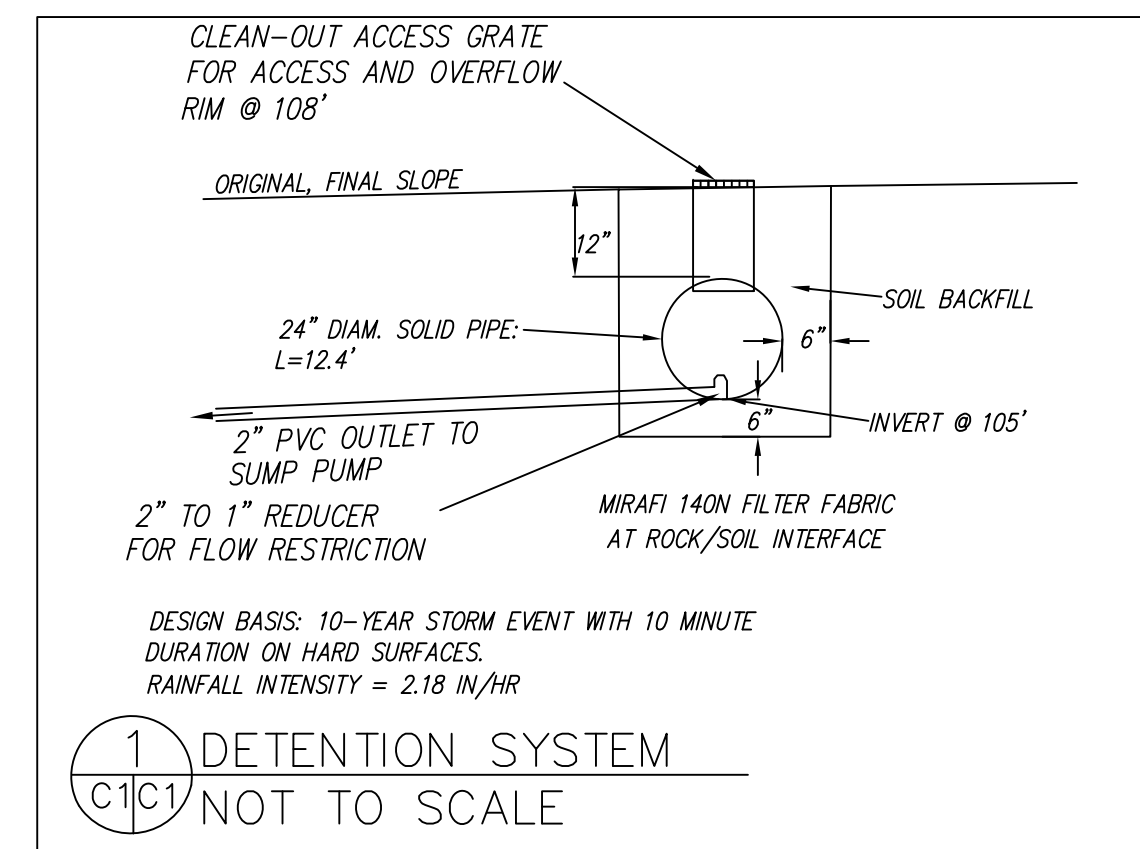
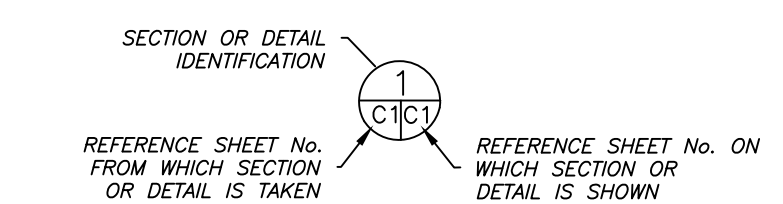
- DETAILED UTILITY PLAN WILL BE SUBMITTED SEPARATELY FOR SUBMITTAL TO AND APPROVAL BY THE MONTARA WATER AND SANITARY DISTRICT.
- ALL UTILITIES TO HOUSE WILL BE UNDERGROUND AND ATTACHED TO BRIDGE TO CROSS DEAN CREEK.
- SEWER LATERAL WILL REQUIRE AN EJECTOR PUMP. LATERAL SHALL BE ENCASED IN A STEEL PIPE WHERE IT IS ATTACHED TO THE BRIDGE.



TRAFFIC CONTROL NOTES

- CONTRACTOR AND WORKERS SHALL PARK ON SHOULDER OF STREET.
- WHEN TRUCKS PARK IN DRIVEWAY FOR DELIVERY OF SUPPLIES AND CONCRETE, EVERY EFFORT SHALL BE MADE TO PROVIDE ROOM FOR VEHICLES TO PASS.
- WORKERS SHALL PROVIDE TRAFFIC CONTROL ON SUNSHINE VALLEY ROAD WHEN TRUCKS ARE BACKING ONTO STREET.

SECTION AND DETAIL CONVENTION



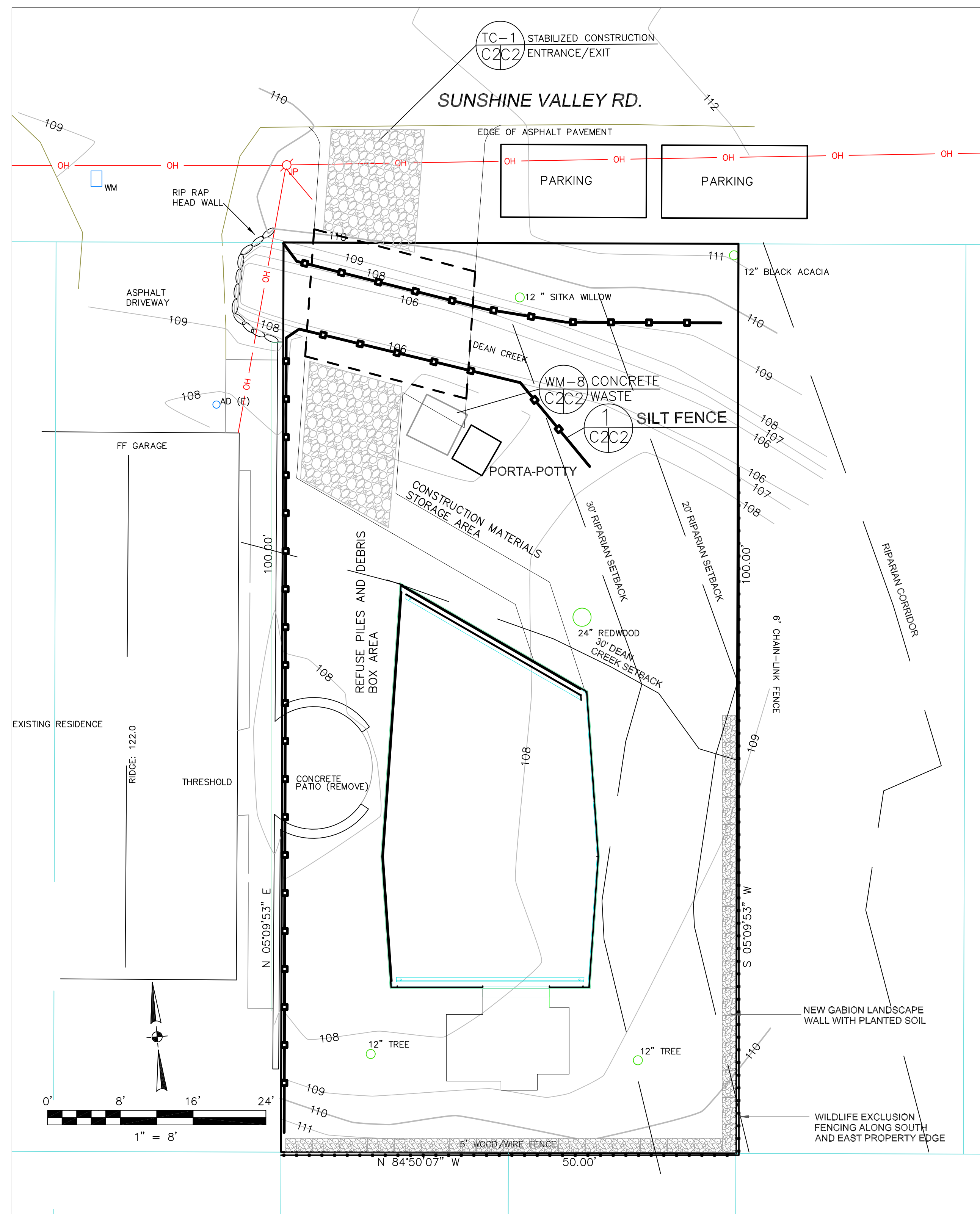
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 DRAWN BY: CMK
 CHECKED BY: AZG
 REV. DATE: 5-14-19
 REV. DATE:
 REV. DATE:

Sigma Prime Geosciences, Inc.
 SIGMA PRIME GEOSCIENCES, INC.
 392 PRINCETON AVENUE
 HALF MOON BAY, CA 94019
 (650) 728-3980
 FAX: 728-3993

GRADING AND DRAINAGE PLAN

LI PROPERTY
 SUNSHINE VALLEY ROAD
 MOSS BEACH
 APN 037-156-130

SHEET
 C-1



EROSION CONTROL NOTES

- 1. GRADING MAY TAKE PLACE DURING WET WEATHER AFTER OCTOBER 1 PROVIDED THE FOLLOWING PROVISIONS ARE FOLLOWED.
- 2. NO GRADING SHALL TAKE PLACE DURING RAINY WEATHER OR FOR A PERIOD OF AT LEAST 24 HOURS FOLLOWING RAIN.
- 3. ALL EXPOSED SOIL SHALL BE TEMPORARILY PROTECTED FROM EROSION WITH JUTE NETTING.
- 4. ALL STOCKPILED SOIL SHALL BE COVERED AT ALL TIMES AND REMOVED FROM SITE AS SOON AS POSSIBLE, IF SCHEDULED FOR OFF-HAUL.
- 5. ALL EXPOSED SURFACES SHALL BE PERMANENTLY PROTECTED FROM EROSION WITH SEEDING AND/OR LANDSCAPING. SEED MIX SHALL BE 75 LB PER ACRE ANNUAL RYGRASS OR APPROVED SUBSTITUTE. SEED SHALL BE COVERED WITH STRAW MULCH AT A RATE OF 2 TONS/ACRE.
- 6. ROCKED CONSTRUCTION ENTRANCE SHALL CONFORM TO THE FOLLOWING:
 - A. THE MATERIAL FOR THE PAD SHALL BE 3 TO 6 INCH STONE.
 - B. PAD SHALL BE NOT LESS THAN 12" THICK.
 - C. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY SHALL BE REMOVED IMMEDIATELY.
 - D. WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA THAT DRAINS TO THE CONCRETE WASHOUT AREA.
- 7. CONCRETE WASHOUT AREA SHALL BE SURROUNDED BY A SINGLE LAYER OF SAND BAGS TO CONTAIN FLUIDS. CHANNEL INTO AREA SHALL BE CLEARED TO ALLOW TIRE DEBRIS (SEE NOTE 6.D. ABOVE)

GENERAL EROSION AND SEDIMENT CONTROL NOTES

- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Erosion control materials to be on-site during off-season.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site
- The tree protection shall be in place before any grading, excavating or grubbing is started.

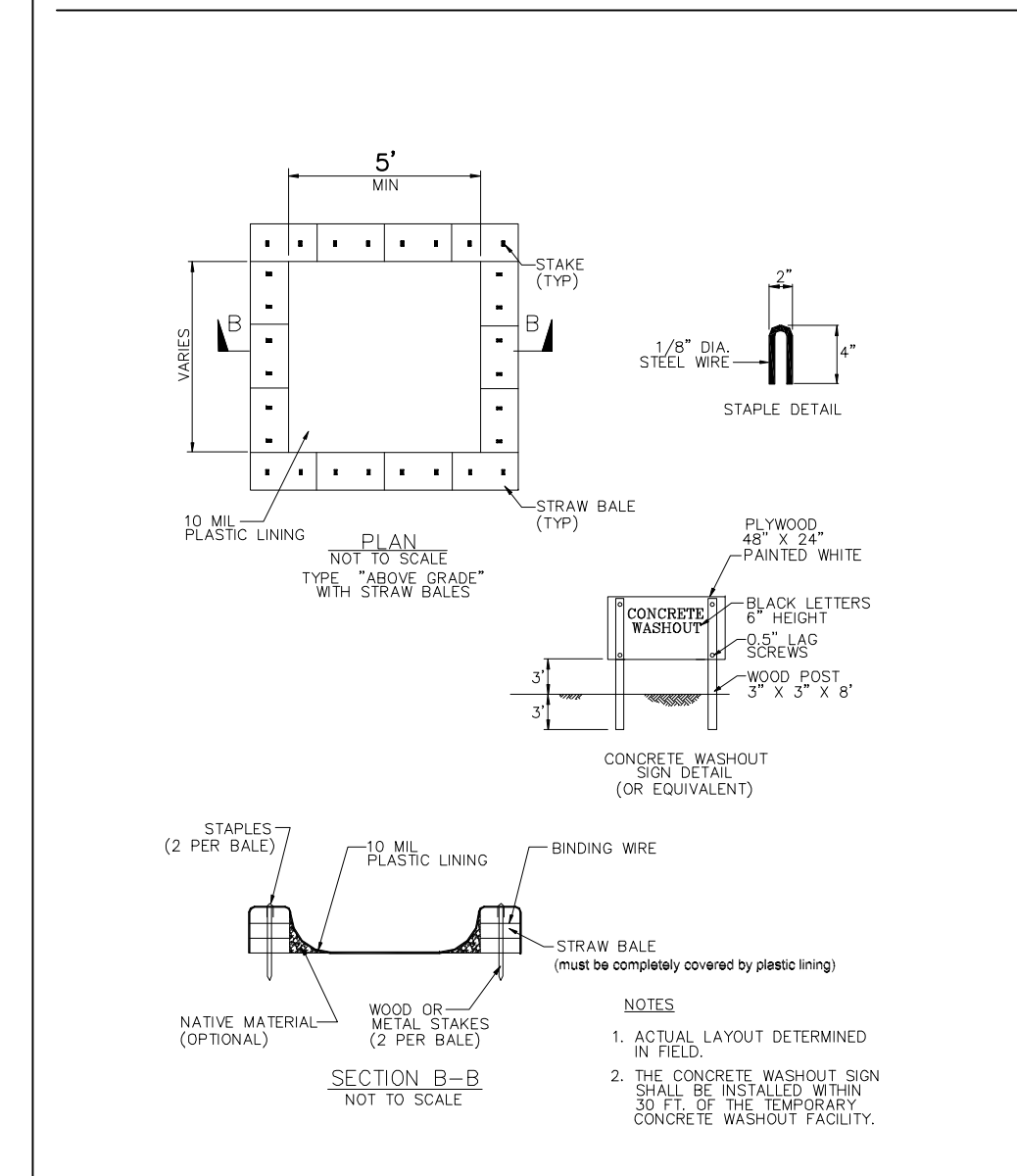
EROSION CONTROL POINT OF CONTACT

THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

NAME: FULI LI
 TITLE/QUALIFICATION: OWNER
 PHONE: 415-751-0522
 PHONE: _____
 E-MAIL: LIFULIELLE@GMAIL.COM

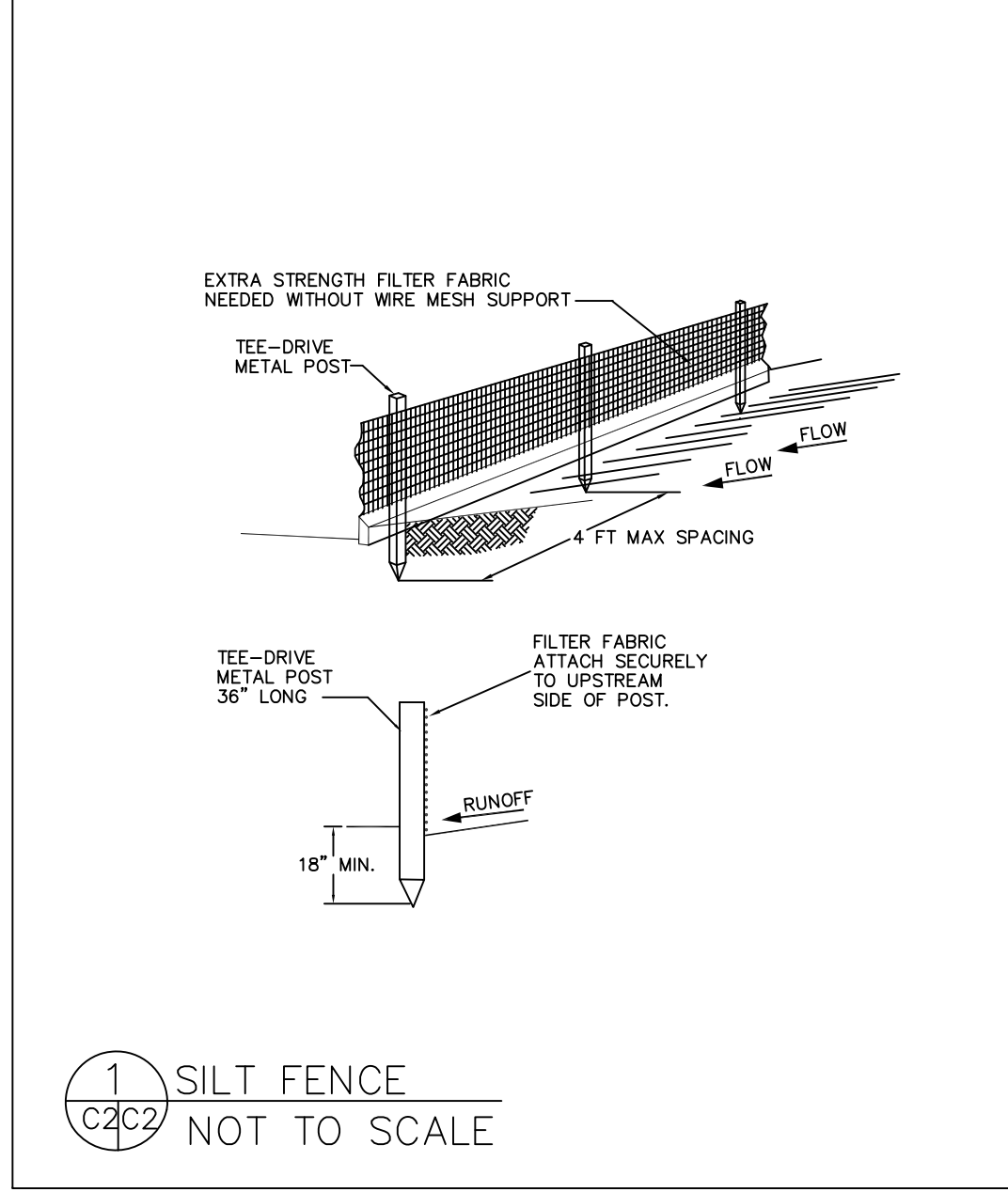


CONCRETE WASTE MANAGEMENT WM-8

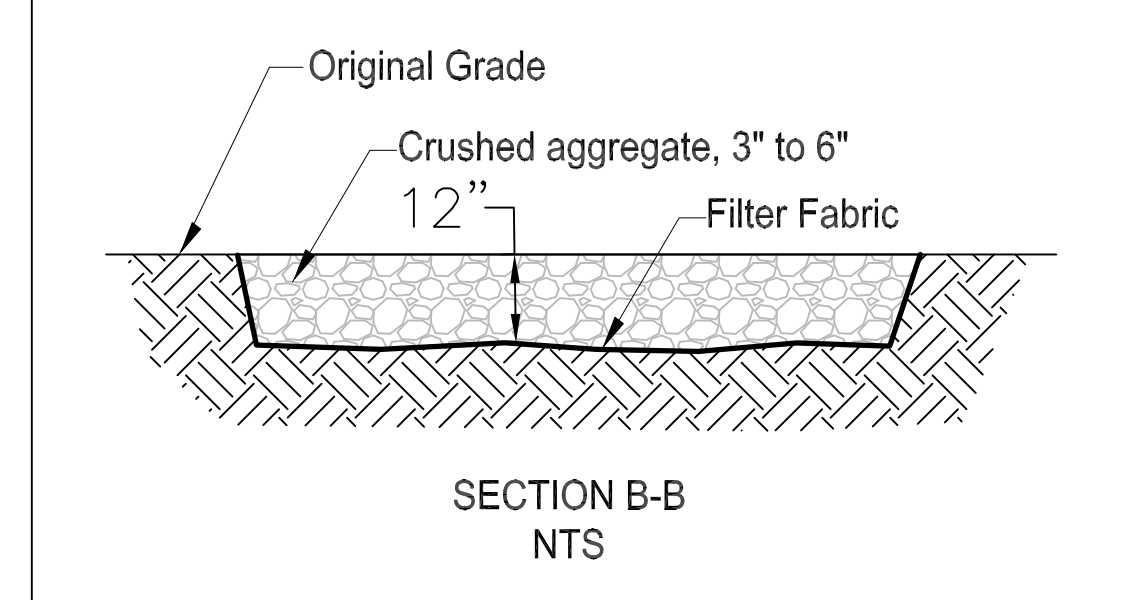


CONSTRUCTION SCHEDULE

- DAY 1: INSTALL EROSION CONTROL
- DAY 2: COMMENCE WORK WITH SITE CLEARING
- DAY 5: INSTALL ROCKED CONSTRUCTION ENTRANCE
- WEEK 2: FINISH ROUGH GRADING
- WEEK 3: BEGIN PIER DRILLING FOR FOUNDATIONS
- WEEK 4: POUR CONCRETE IN PIER HOLES, BEGIN BUILDING FORMS FOR GRADE BEAMS.
- WEEK 6: BEGIN FRAMING
- MONTH 3: FINISH SHELL OF HOUSE
- MONTH 8: FINISH MOST OF HOUSE INTERIOR
- MONTH 9: FINISH PATIOS, WALKWAYS, DRIVEWAY, OTHER EXTERIOR FLAT WORK.
- MONTH 10: FINISH PROJECT



STABILIZED CONSTRUCTION ENTRANCE/EXIT TC-1



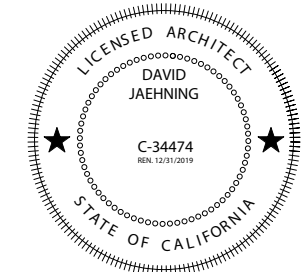
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 DRAWN BY: CMK
 CHECKED BY: AZG
 REV. DATE: _____
 REV. DATE: _____
 REV. DATE: _____

Sigma Prime Geosciences, Inc.
 SIGMA PRIME GEOSCIENCES, INC.
 333 PRINCETON AVENUE
 HALF MOON BAY, CA 94019
 (650) 738-5690
 FAX 728-3893

EROSION AND SEDIMENT CONTROL PLAN
 LI PROPERTY
 SUNSHINE VALLEY ROAD
 MOSS BEACH
 APN 037-156-130

**FOR REVIEW & FILING
NOT FOR CONSTRUCTION**

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ARCHITECT:

David Jaehning Architect

25 Forest Side Avenue, San Francisco, California 94127

CONSULTANT TEAM:

ARBORIST:
Trees 360 Degrees, Straun Edwards: WE5612-A
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CIVIL:
Sigma Prime Geosciences, Inc.: Half Moon Bay, California

STRUCTURAL:
Alex Lau Engineering: C 75773, San Francisco, California

CLIENT:

Elle and Ivan Li

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PROJECT NO: PROJECT NAME:

**1802 Sunshine Valley
Residence**

PROJECT ADDRESS: APN 037156130, Sunshine Valley Road
Moss Beach, California 94038

PROJECT PHASE: **Construction Documents**

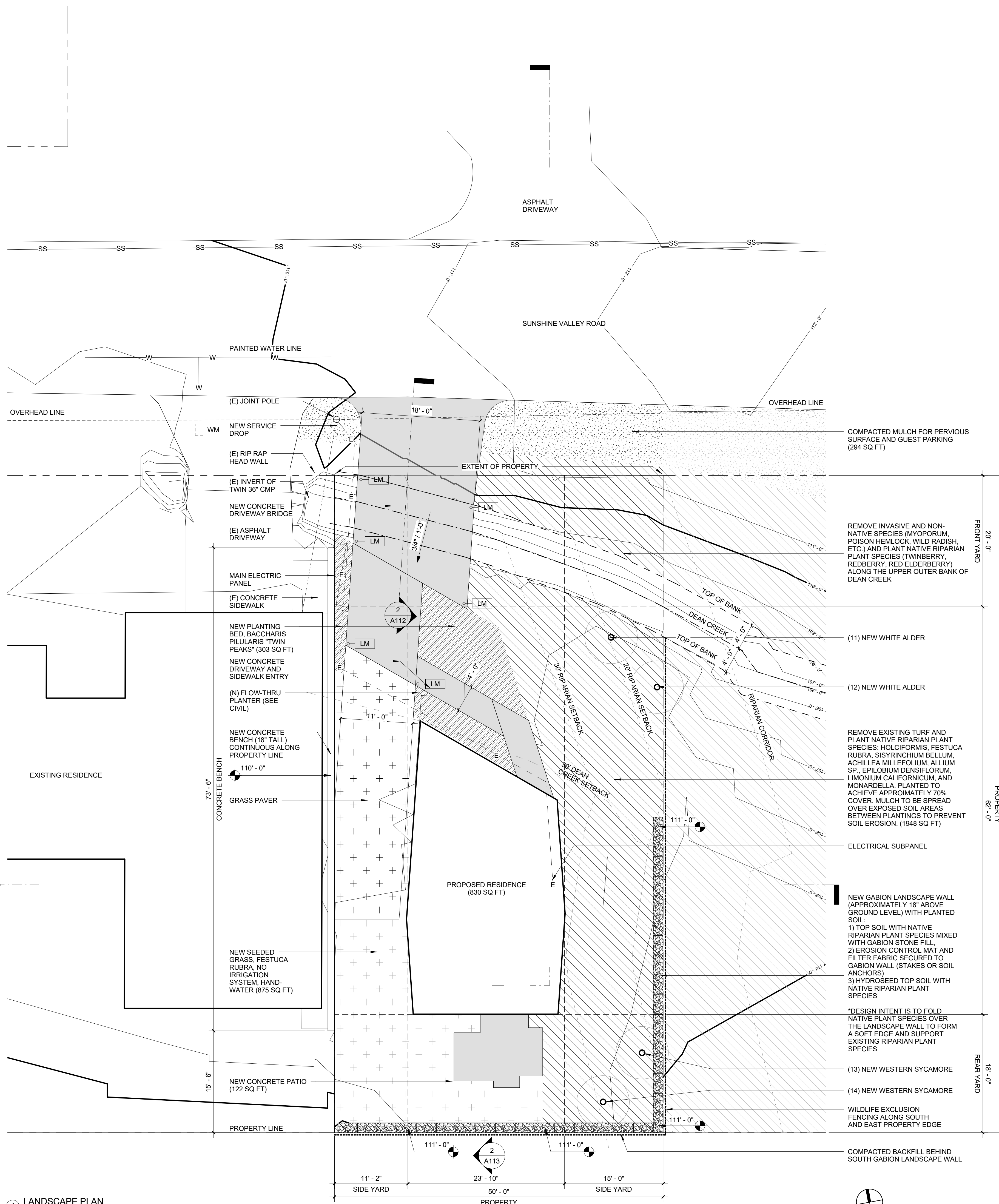
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ISSUE DATE: 5/14/2019 1:24:25 PM

DRAWING TITLE: **LANDSCAPE PLAN**

DRAWING NO: **L001**

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EXTERIOR LIGHTING SCHEDULE:

LM	LIGMAN LIGHT LINEAR PT BOLLARD UL1-10021, 3500K
LL	NEMALUX GS, 3500K

- GENERAL NOTES:**
- 1) A MINIMUM 3-INCH LAYER OF MULCH SHALL BE APPLIED TO ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOT GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.
 - 2) TURF AREA SHALL NOT EXCEED 25% OF THE LANDSCAPE AREA IN RESIDENTIAL AREAS.
 - 3) AT THE TIME OF FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INTSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.
 - 4) UNLESS CONTRADICTED BY A SOILS TEST, COMPOST AT A RATE OF A MINIMUM FOR FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.
 - 5) PROJECT MUST INCORPORATE COMPOST AT A RATE OF AT LEAST 4 CUBIC YARDS PER 1,000 SQ FT TO A DEPTH OF 6 INCHES INTO LANDSCAPE AREA.
 - 6) IN RESPONSE TO WATER EFFICIENT LANDSCAPE ORDINANCE (WEL0): NO IRRIGATION SYSTEM PROVIDED.

LOT COVERAGE:

BUILDING: 830 SF
HARDSCAPE: 786 SF
TOTAL IMPERVIOUS: 1616 SF (32%)

MATERIAL AREAS:

LANDSCAPE AREA (REHABILITATED): 2206 SF
LANDSCAPE AREA (TURF & PLANT): 1178 SF
TOTAL PERVIOUS: 3384 (68%)

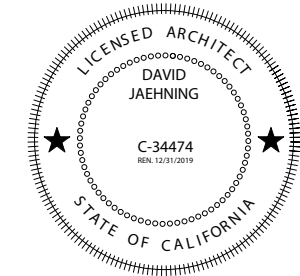
NO.	EXIST/NEW	DBH	GENUS SPECIES	COMMON NAME
01	EXISTING	7"	MYOPORUM LAETUM	NGAIO (SHRUB)
02	EXISTING	12"	SALIX LASIOLEPIS	ARROYO WILLOW
03	EXISTING	26"	SEQUOIA SEMPERVIRENS	COASTAL REDWOOD
04	EXISTING	26"	HESPEROCYPARIS MACROCARPA	MONTEREY CYPRESS
05	EXISTING	6"	MYOPORUM LAETUM	NGAIO (SHRUB)
06	EXISTING	16"	MYOPORUM LAETUM	NGAIO (SHRUB)
07	EXISTING	14"	MYOPORUM LAETUM	NGAIO (SHRUB)
08	EXISTING	12"	MYOPORUM LAETUM	NGAIO (SHRUB)
09	EXISTING	14"	MYOPORUM LAETUM	NGAIO (SHRUB)
10	EXISTING	12"	MYOPORUM LAETUM	NGAIO (SHRUB)
11	NEW	6"	ALNUS RHOMBIFOLIA	WHITE ALDER
12	NEW	6"	ALNUS RHOMBIFOLIA	WHITE ALDER
13	NEW	6"	PLATANUS RACEMOSA	WESTERN SYCAMORE
14	NEW	6"	PLATANUS RACEMOSA	WESTERN SYCAMORE

*SEE ARBORIST REPORT FOR DETAILED INFORMATION

1 LANDSCAPE PLAN
1/8" = 1'-0"

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STRUCTURAL:
Alex Lau Engineering: C 75773, San Francisco, California

CLIENT:

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PROJECT NO: PROJECT NAME:

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PROJECT ADDRESS: APN 037156130, Sunshine Valley Road
Moss Beach, California 94038

PROJECT PHASE: **Construction Documents**

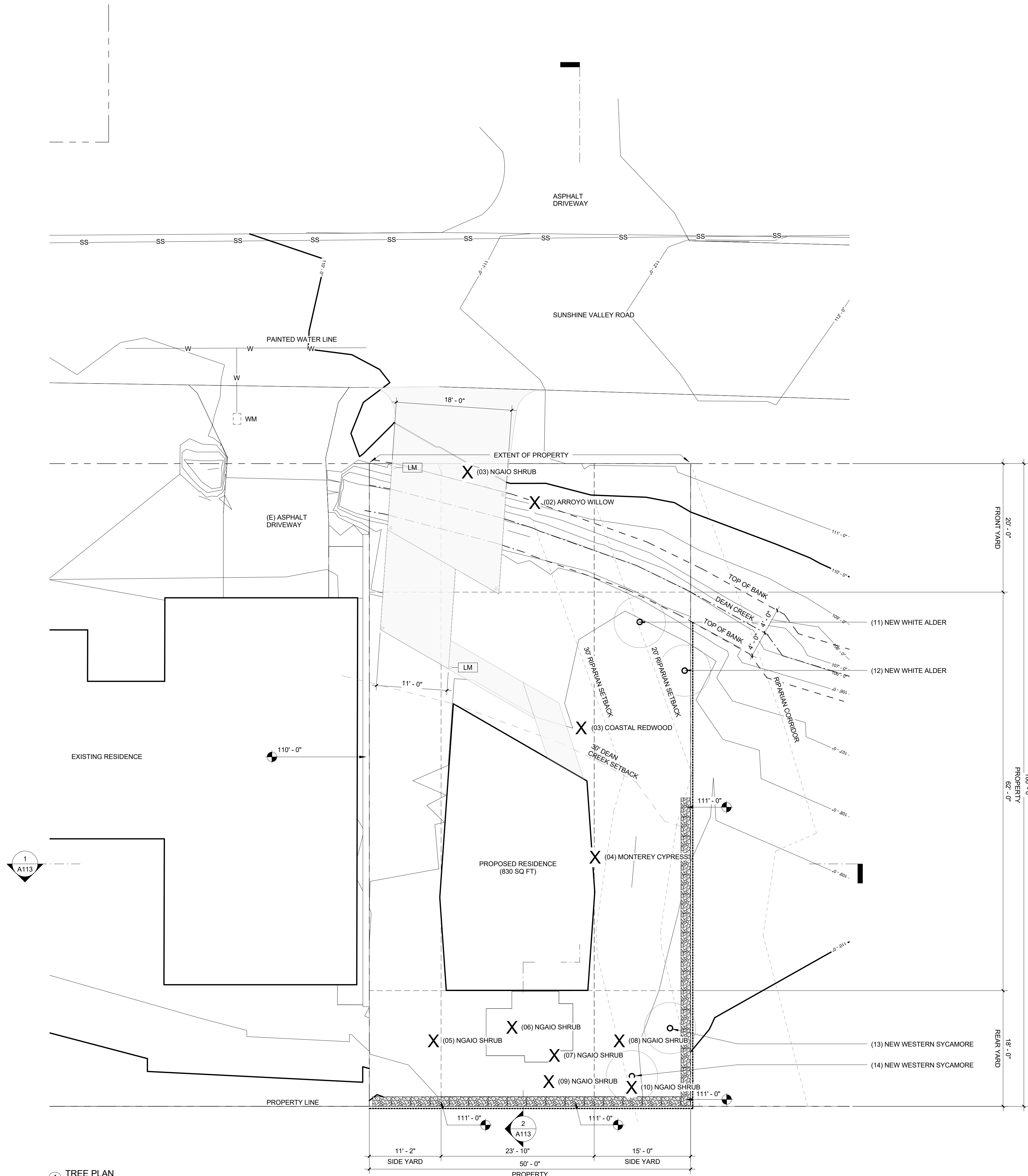
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ISSUE DATE: 5/14/2019 1:24:26 PM

DRAWING TITLE: **TREE LOCATION**

DRAWING NO: **L002**

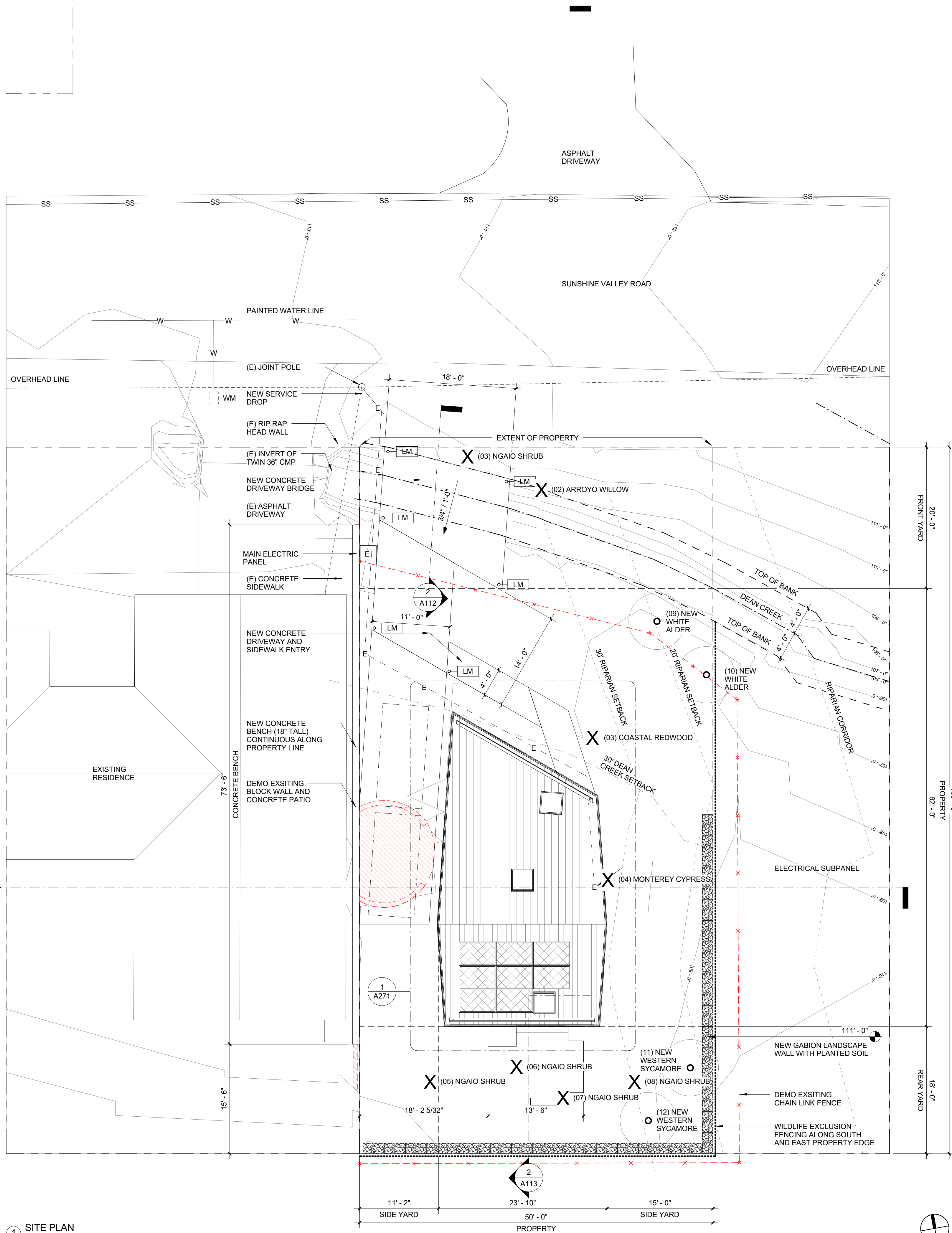
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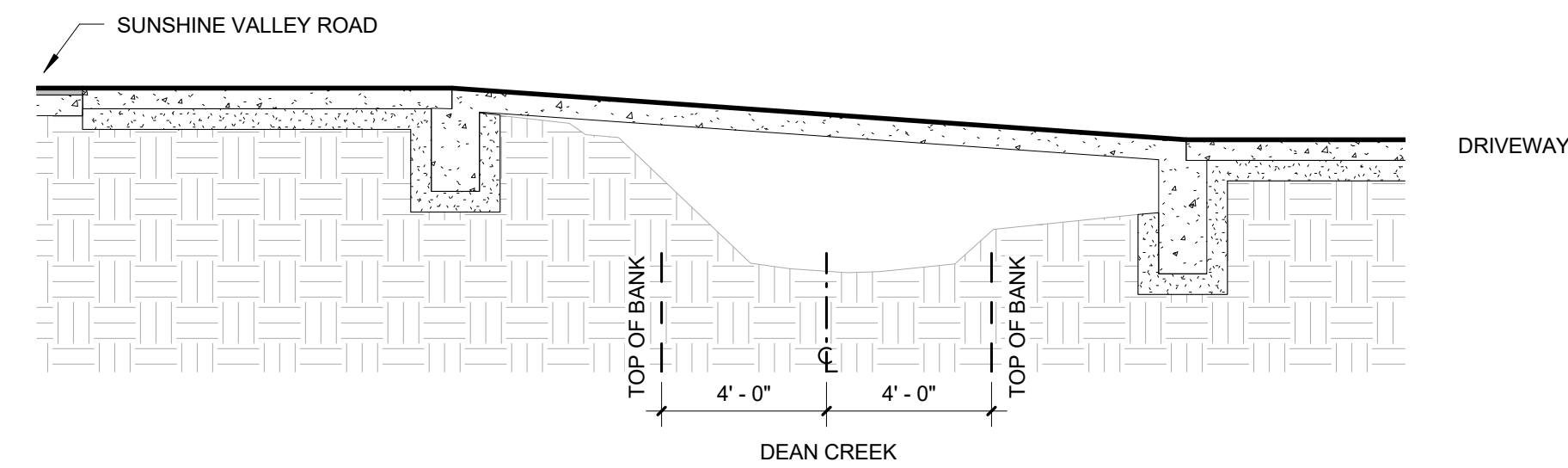
NO.	EXIST/NEW	DBH	GENUS SPECIES	COMMON NAME
01	EXISTING	7"	MYOPORUM LAETUM	NGAIO (SHRUB)
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04	EXISTING	26"	HESPEROCYPARIS MACROCARPA	MONTEREY CYPRESS
05	EXISTING	6"	MYOPORUM LAETUM	NGAIO (SHRUB)
06	EXISTING	16"	MYOPORUM LAETUM	NGAIO (SHRUB)
07	EXISTING	14"	MYOPORUM LAETUM	NGAIO (SHRUB)
08	EXISTING	12"	MYOPORUM LAETUM	NGAIO (SHRUB)
09	EXISTING	14"	MYOPORUM LAETUM	NGAIO (SHRUB)
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12	NEW	6"	ALNUS RHOMBIFOLIA	WHITE ALDER
13	NEW	6"	PLATANUS RACEMOSA	WESTERN SYCAMORE
14	NEW	6"	PLATANUS RACEMOSA	WESTERN SYCAMORE

*SEE ARBORIST REPORT FOR DETAILED INFORMATION

1 TREE PLAN
1/8" = 1'-0"



1 SITE PLAN
1/8" = 1'-0"

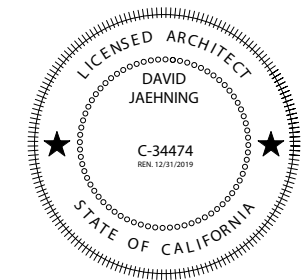


2 SITE SECTION - ENTRY DRIVE LOOKING EAST
1/4" = 1'-0" REF 1 - A112

SEE CIVIL DRAWING C1 FOR DRIVEWAY PROFILE

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Moss Beach, California 94038

PROJECT PHASE: **Construction Documents**

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ISSUE DATE: 5/14/2019 1:24:03 PM

DRAWING TITLE: **ARCHITECTURAL SITE PLAN**

DRAWING NO: **A112**

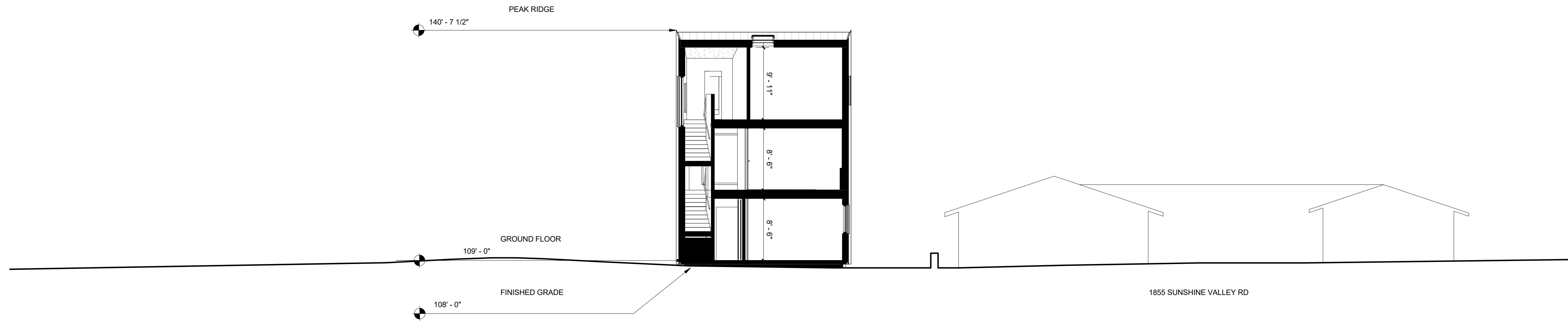
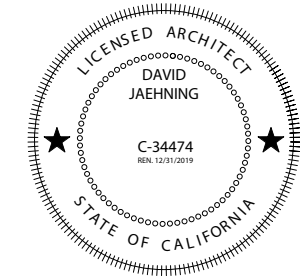
EXTERIOR LIGHTING SCHEDULE:

- LM - LIGMAN LIGHT LINEAR PT BOLLARD UL1-10021, 3500K
- LL - NEMALUX GS, 3500K

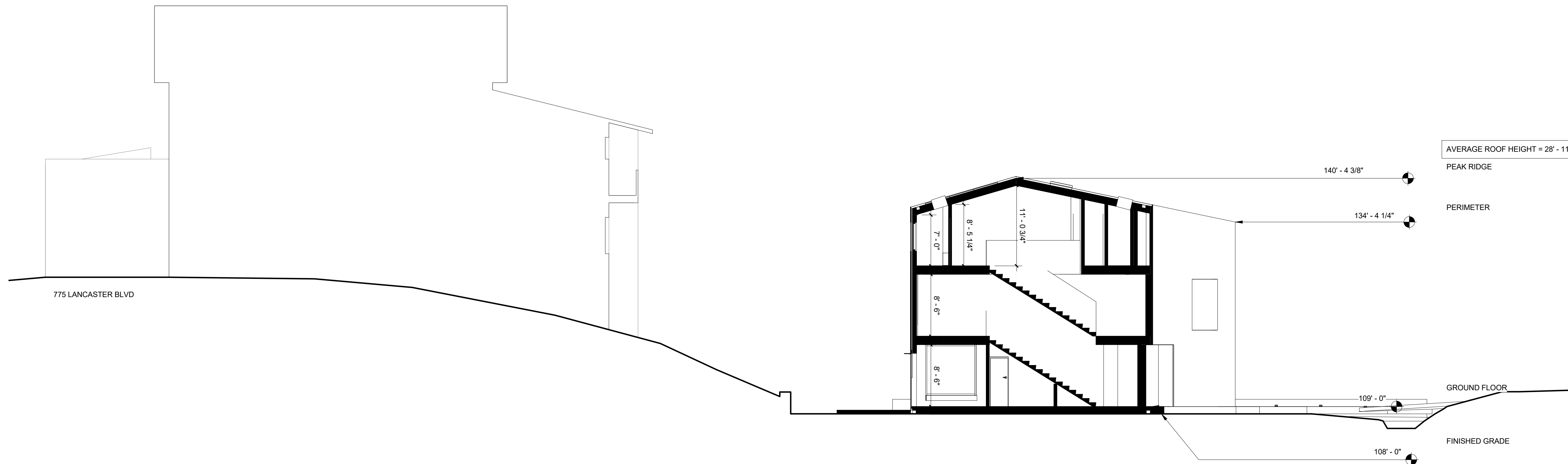
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① SITE SECTION WEST-EAST
1/8" = 1'-0" REF 1 - A112



② SITE SECTION NORTH-SOUTH
1/8" = 1'-0" REF 1 - A112

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PROJECT PHASE: **Construction Documents**

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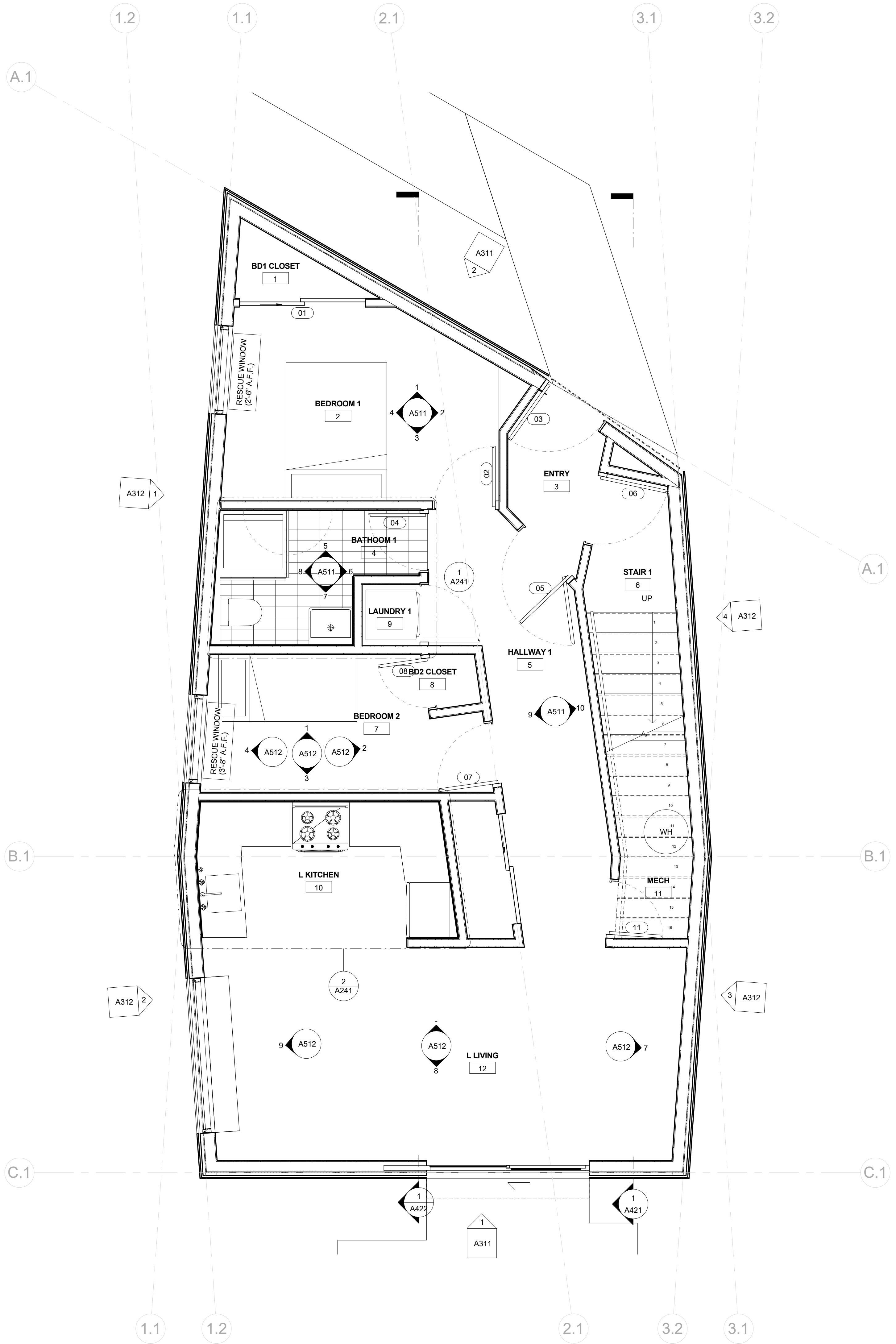
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DOOR SCHEDULE - LEVEL 1											
#	DIMENSION		DOOR		DETAIL			FRAME			
	WIDTH	HEIGHT	MATERIAL	FINISH	HEAD	JAMB	THRESHOLD	TYPE	DEPTH	MATERIAL	FINISH
01											
02	2'-8"	8'-6"	<By Category>					SINGLE BLIND			<By Category>
03	3'-0"	8'-6"	<By Category>					SINGLE BLIND			<By Category>
04	2'-6"	8'-6"	<By Category>					SINGLE BLIND			<By Category>
05	3'-0"	8'-6"	<By Category>					SINGLE BLIND			<By Category>
06	3'-0"	8'-6"	<By Category>					SINGLE BLIND			<By Category>
07	2'-8"	8'-6"	<By Category>					SINGLE BLIND			<By Category>
08	2'-2"	6'-8"	<By Category>					SINGLE BLIND			<By Category>
11	2'-4"	6'-8"	<By Category>					SINGLE BLIND			<By Category>
12											
32	2'-6"	8'-6"	<By Category>					SINGLE BLIND			<By Category>
34											

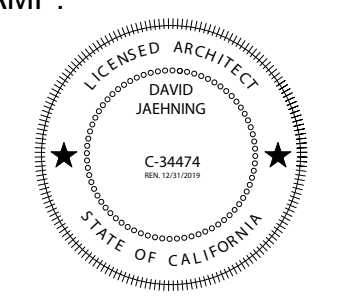
ROOM SCHEDULE - LEVEL 1						
#	NAME	FINISHES			PERIMETER	NET AREA
		FLOOR	BASE	WALL		
LEVEL 1						
1	BD1 CLOSET				17' - 5 1/8"	12 SF
2	BEDROOM 1				41' - 3 3/16"	103 SF
3	ENTRY				20' - 6 1/4"	24 SF
4	BATHROOM 1				30' - 3 3/32"	46 SF
5	HALLWAY 1				50' - 2 15/32"	94 SF
6	STAIR 1				29' - 4 1/16"	42 SF
7	BEDROOM 2				37' - 11 1/32"	71 SF
8	BD2 CLOSET				8' - 8 11/32"	5 SF
9	LAUNDRY 1				10' - 8 1/2"	7 SF
10	L KITCHEN				34' - 5 9/32"	73 SF
11	MECH				24' - 9 7/8"	30 SF
12	L LIVING				61' - 8 7/8"	203 SF
						709 SF

REVISION:



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PROJECT PHASE: **Construction Documents**

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ISSUE DATE: 5/14/2019 1:24:05 PM

DRAWING TITLE: **DIMENSION FLOOR PLAN - LEVEL 1**

DRAWING NO: **A211**

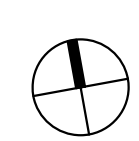
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ESCAPE OR RESUCE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET ALLOWED AT GRADE. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES. THE NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20 INCHES. FINISHED SILL HEIGHTS SHALL BE NOT MORE THAN 44 INCHES ABOVE THE FINISHED FLOOR.

SMOKE DETECTION: HARD-WIRED, INTERCONNECTED, AND BATTERY BACKUP PER CBC, STATE FIRE MARSHALL REGULATIONS, AND COASTSIDE FIRE DISTRICT ORDINANCE 2016-01. PLACED ONE PER BEDROOM AND ONE IN HALLWAY PER FLOOR

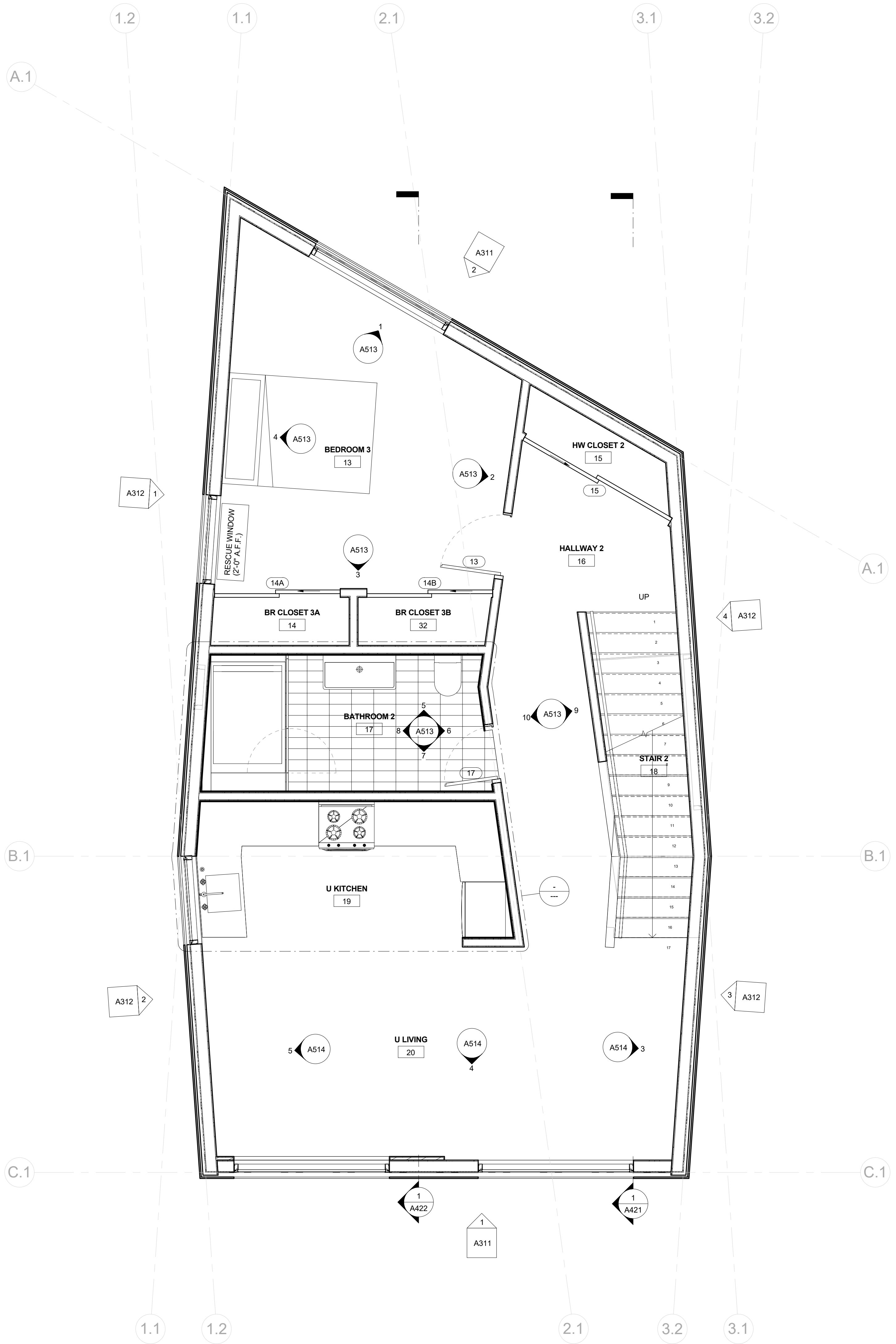
FIRE SUPPRESSION: BUILDING WILL BE PROTECTED BY AN AUTOMATIC FIRE SPRINKLER SYSTEM

1 FLOOR PLAN - LEVEL 1
3/8" = 1'-0"



DOOR SCHEDULE - LEVEL 2											
#	DIMENSION		DOOR		DETAIL			FRAME			
	WIDTH	HEIGHT	MATERIAL	FINISH	HEAD	JAMB	THRESHOLD	TYPE	DEPTH	MATERIAL	FINISH
LEVEL 2											
13	2' - 8"	8' - 6"	<By Category>					SINGLE BLIND		<By Category>	
14											
14 A											
14 B											
15											
17	2' - 4"	8' - 6"	<By Category>					SINGLE BLIND		<By Category>	

ROOM SCHEDULE - LEVEL 2							
#	NAME	FINISHES			PERIMETER	NET AREA	
		FLOOR	BASE	WALL			CEILING
LEVEL 2							
13	BEDROOM 3				53' - 4 11/16"	168 SF	
14	BR CLOSET 3A				16' - 8 3/16"	13 SF	
15	HW CLOSET 2				19' - 2 13/32"	15 SF	
16	HALLWAY 2				57' - 10 1/16"	107 SF	
17	BATHROOM 2				37' - 5 5/8"	77 SF	
18	STAIR 2				36' - 11 9/16"	53 SF	
19	U KITCHEN				40' - 2 1/4"	90 SF	
20	U LIVING				62' - 10 15/16"	203 SF	
32	BR CLOSET 3B				16' - 0 29/32"	13 SF	
						738 SF	



1 FLOOR PLAN - LEVEL 2
3/8" = 1'-0"

ESCAPE OR RESUCE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET ALLOWED AT GRADE. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES. THE NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20 INCHES. FINISHED SILL HEIGHTS SHALL BE NOT MORE THAN 44 INCHES ABOVE THE FINISHED FLOOR.

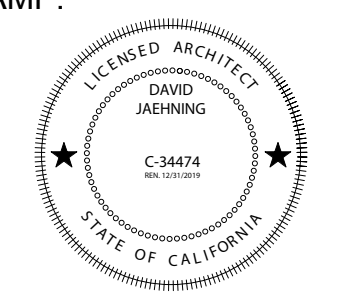
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FIRE SUPPRESSION: BUILDING WILL BE PROTECTED BY AN AUTOMATIC FIRE SPRINKLER SYSTEM

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PROJECT PHASE: **Construction Documents**

DRAWN: Author CHECKED: Checker

ISSUE DATE: 5/14/2019 1:24:06 PM

DRAWING TITLE: **DIMENSION FLOOR PLAN - LEVEL 2**

DRAWING NO: **A212**

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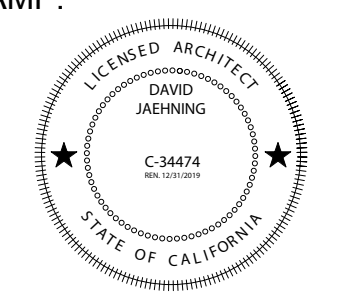
DOOR SCHEDULE - LEVEL 3											
#	DIMENSION		DOOR		DETAIL			FRAME			
	WIDTH	HEIGHT	MATERIAL	FINISH	HEAD	JAMB	THRESHOLD	TYPE	DEPTH	MATERIAL	FINISH
21											
21 A											
21 B											
22	2' - 8"	7' - 0"	<By Category>					SINGLE BLIND		<By Category>	
23	2' - 6"	7' - 0"	<By Category>					SINGLE BLIND		<By Category>	
24	2' - 6"	7' - 0"	<By Category>					SINGLE BLIND		<By Category>	
25	2' - 8"	7' - 0"	<By Category>					SINGLE BLIND		<By Category>	
26											
29											
30	2' - 8"	7' - 0"	<By Category>					SINGLE BLIND		<By Category>	
31											

ROOM SCHEDULE - LEVEL 3						
#	NAME	FINISHES			PERIMETER	NET AREA
		FLOOR	BASE	WALL		
21	BD CLOSET 4				28' - 7 1/2"	26 SF
22	BEDROOM 4				46' - 9 5/32"	136 SF
23	BATHROOM 3				27' - 2 1/32"	43 SF
24	LAUNDRY 2				13' - 7 19/32"	11 SF
25	BEDROOM 5				44' - 7 11/16"	121 SF
26	BD5 CLOSET				17' - 7 27/32"	14 SF
27	HALLWAY 3				55' - 3 3/16"	100 SF
28	STAIR 3				33' - 4 13/16"	46 SF
29	BD6 CLOSET				17' - 8 1/32"	14 SF
30	BEDROOM 6				46' - 7 11/16"	118 SF
31	BATHROOM 4				26' - 4 11/32"	38 SF
						667 SF

REVISION:

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STAMP:



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Sigma Prime Geosciences, Inc.: Half Moon Bay, California

STRUCTURAL:
Alex Lau Engineering: C 75773, San Francisco, California

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PROJECT NO: PROJECT NAME:

1802 Sunshine Valley Residence

PROJECT ADDRESS: APN 037156130, Sunshine Valley Road
Moss Beach, California 94038

PROJECT PHASE: **Construction Documents**

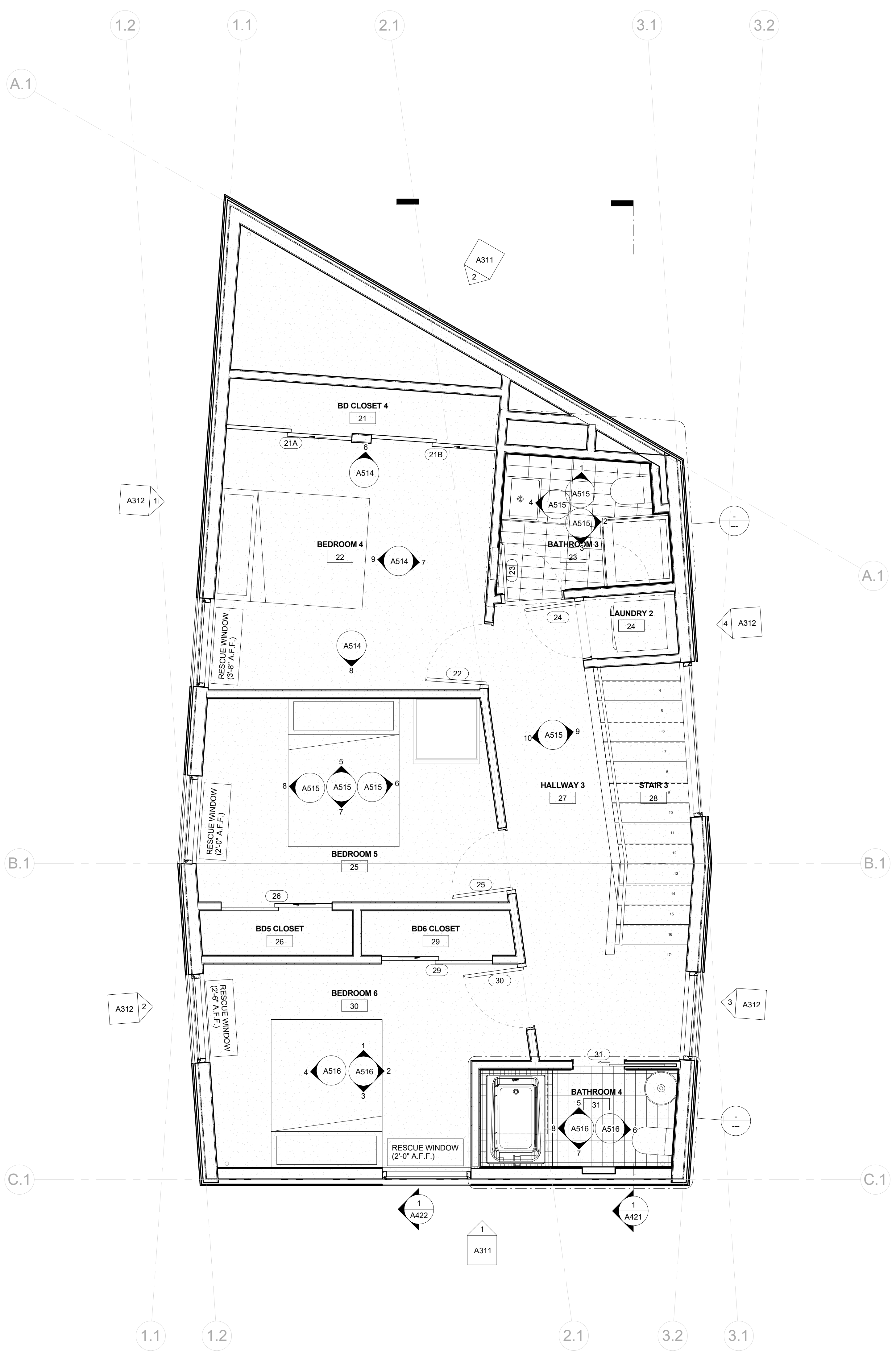
DRAWN: Author CHECKED: Checker

ISSUE DATE: 5/14/2019 1:24:09 PM

DRAWING TITLE: **DIMENSION FLOOR PLAN - LEVEL 3**

DRAWING NO: **A213**

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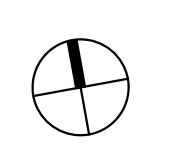


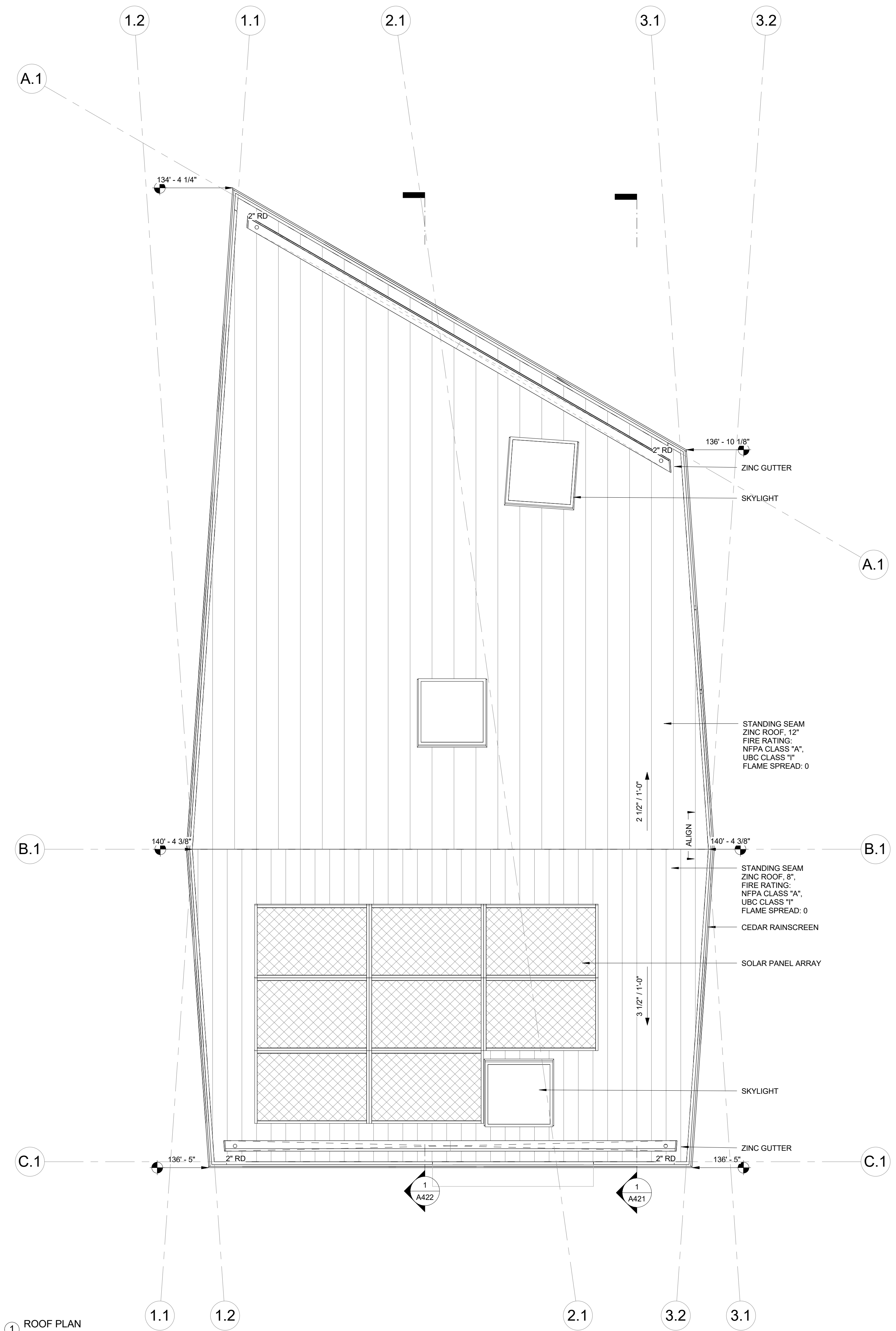
1 FLOOR PLAN - LEVEL 3
3/8" = 1'-0"

ESCAPE OR RESUCE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET ALLOWED AT GRADE. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES. THE NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20 INCHES. FINISHED SILL HEIGHTS SHALL BE NOT MORE THAN 44 INCHES ABOVE THE FINISHED FLOOR.

SMOKE DETECTION: HARD-WIRED, INTERCONNECTED, AND BATTERY BACKUP PER CBC, STATE FIRE MARSHALL REGULATIONS, AND COASTSIDE FIRE DISTRICT ORDINANCE 2016-01. PLACED ONE PER BEDROOM AND ONE IN HALLWAY PER FLOOR

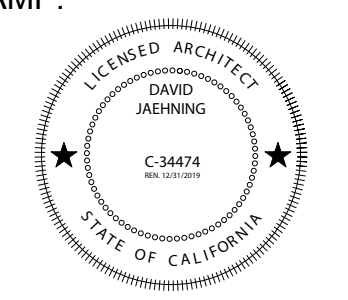
FIRE SUPPRESSION: BUILDING WILL BE PROTECTED BY AN AUTOMATIC FIRE SPRINKLER SYSTEM





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PROJECT PHASE: **Construction Documents**

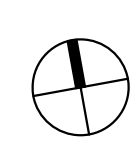
DRAWN: Author CHECKED: Checker

ISSUE DATE: 5/14/2019 1:24:10 PM

DRAWING TITLE: **ROOF PLAN**

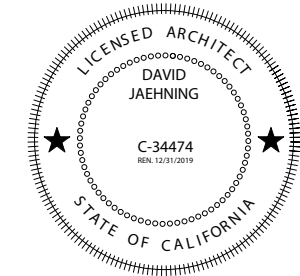
DRAWING NO: **A271**

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PROJECT PHASE: **Construction Documents**

DRAWN: Author CHECKED: Checker

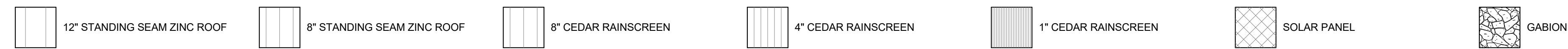
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DRAWING TITLE: **ELEVATIONS**

DRAWING NO: **A311**

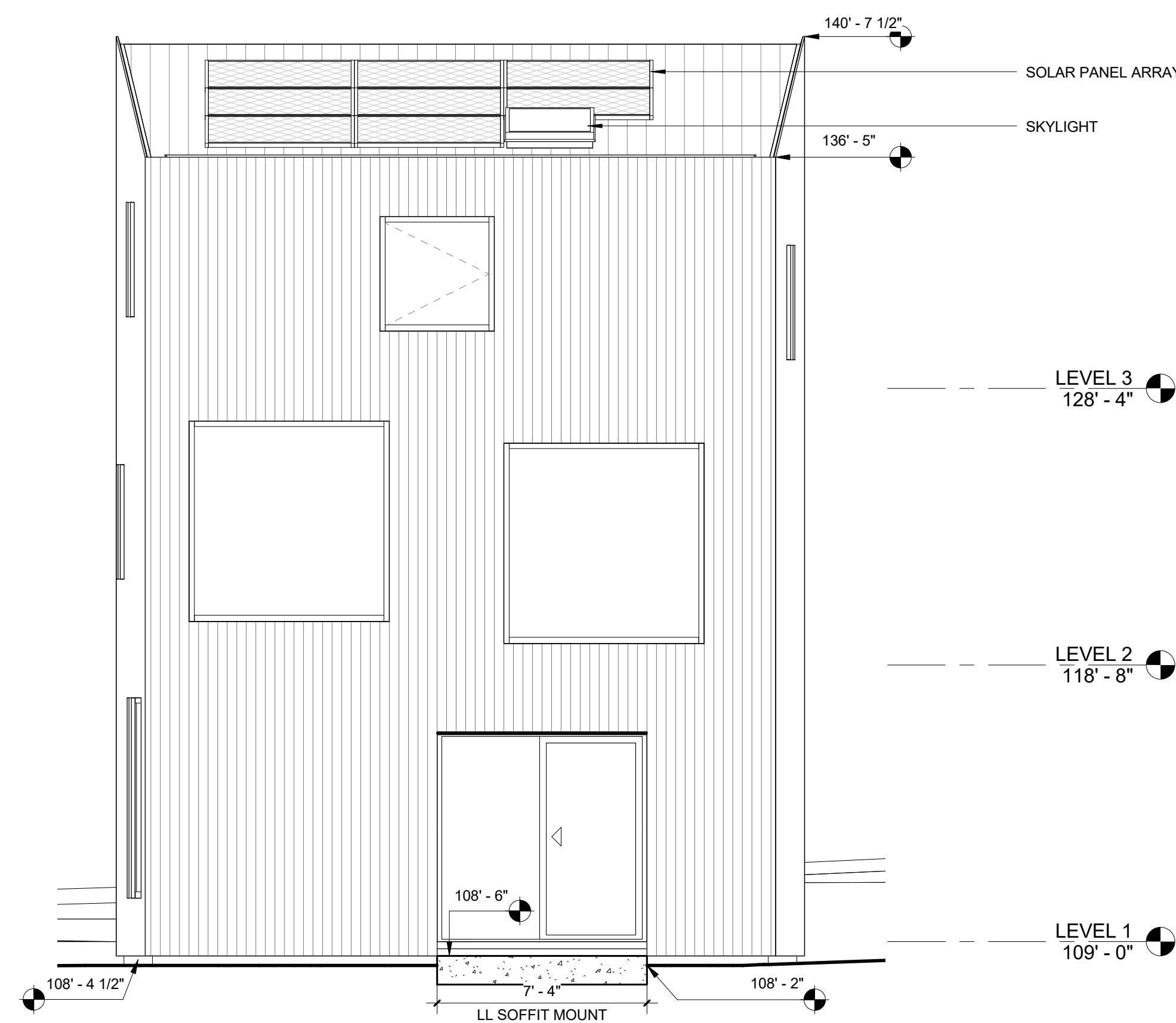
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EXTERIOR MATERIAL SYMBOLS

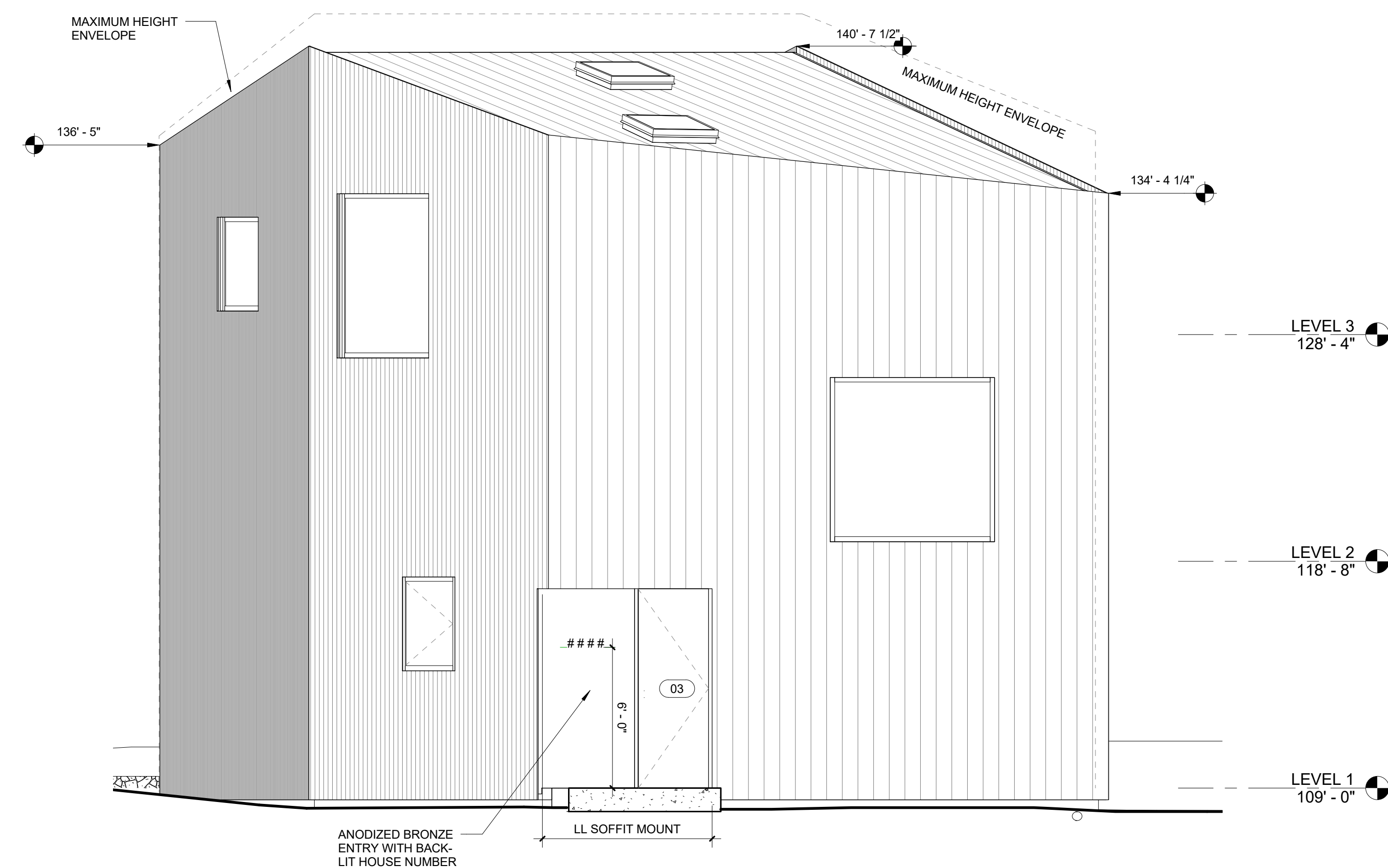


EXTERIOR LIGHTING SCHEDULE:

LM - LIGMAN LIGHT LINEAR PT BOLLARD UL1-10021, 3500K
LL - NEMALUX GS, 3500K



① ELEVATION - SOUTH
1/4" = 1'-0"

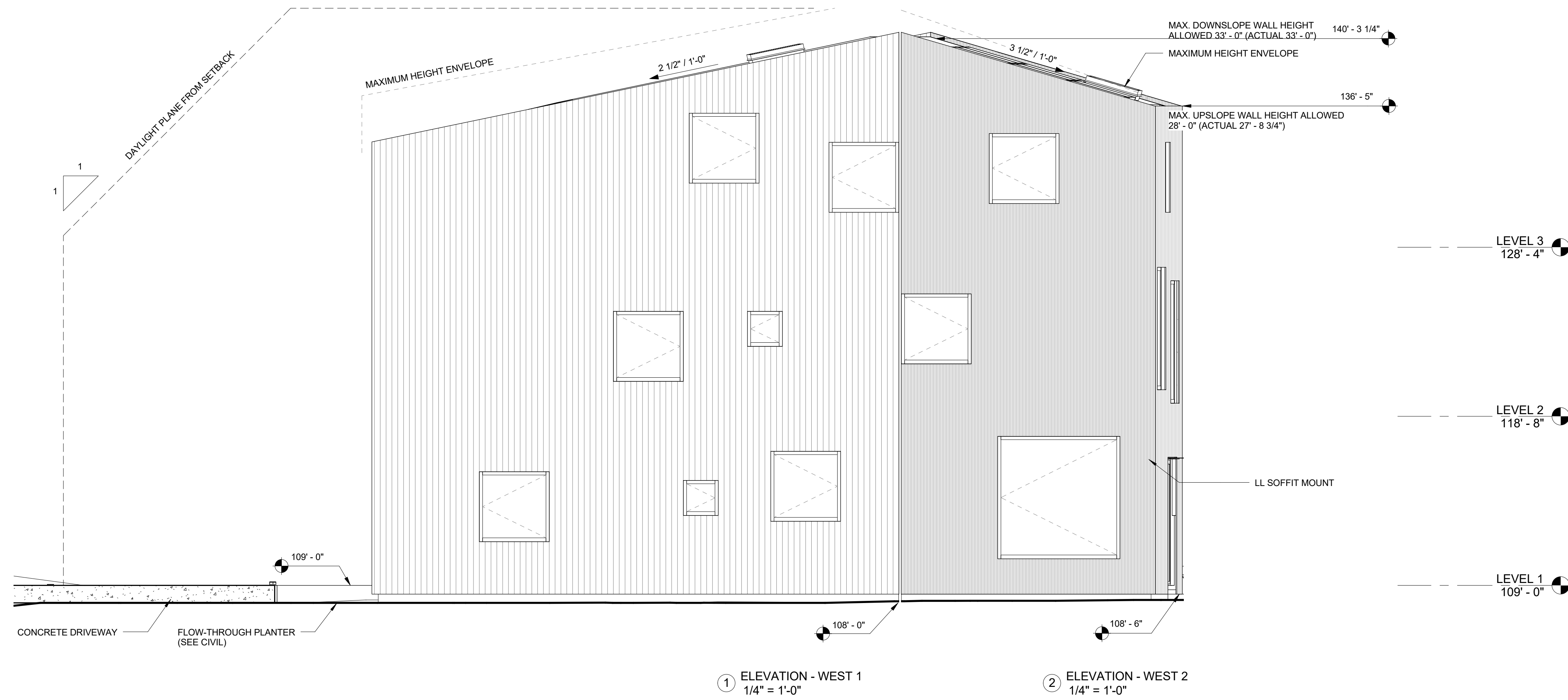


② ELEVATION - NORTH
1/4" = 1'-0"

REVISION:

EXTERIOR LIGHTING SCHEDULE:

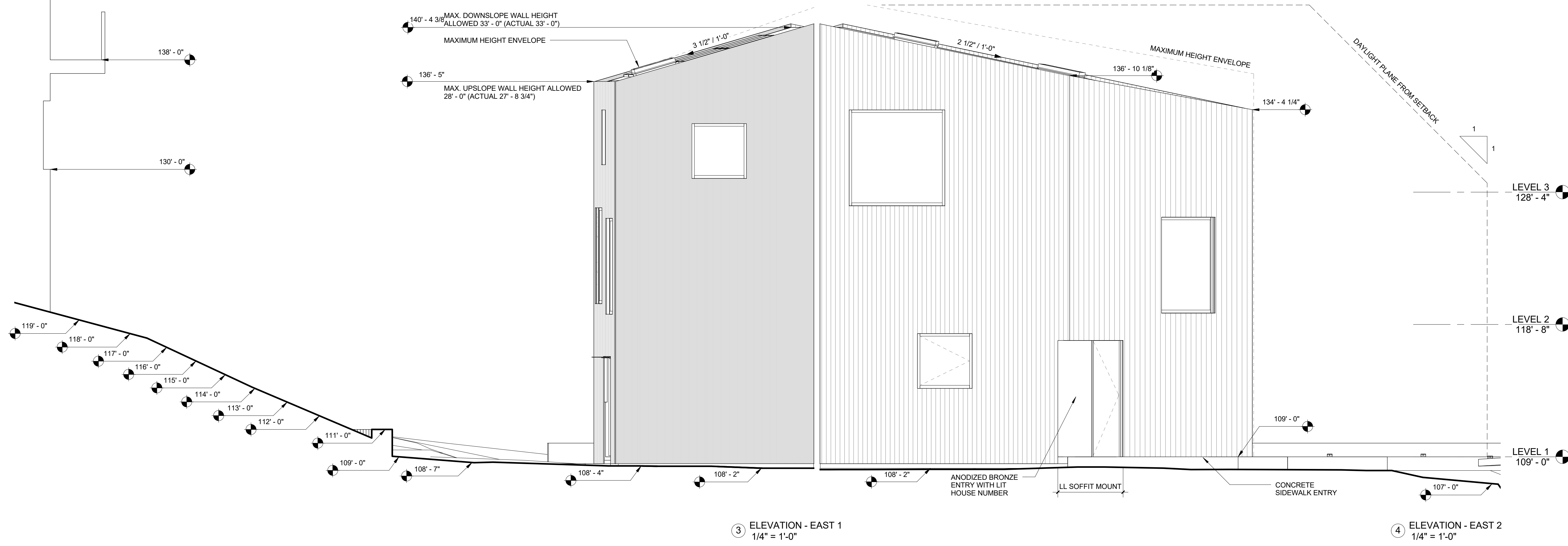
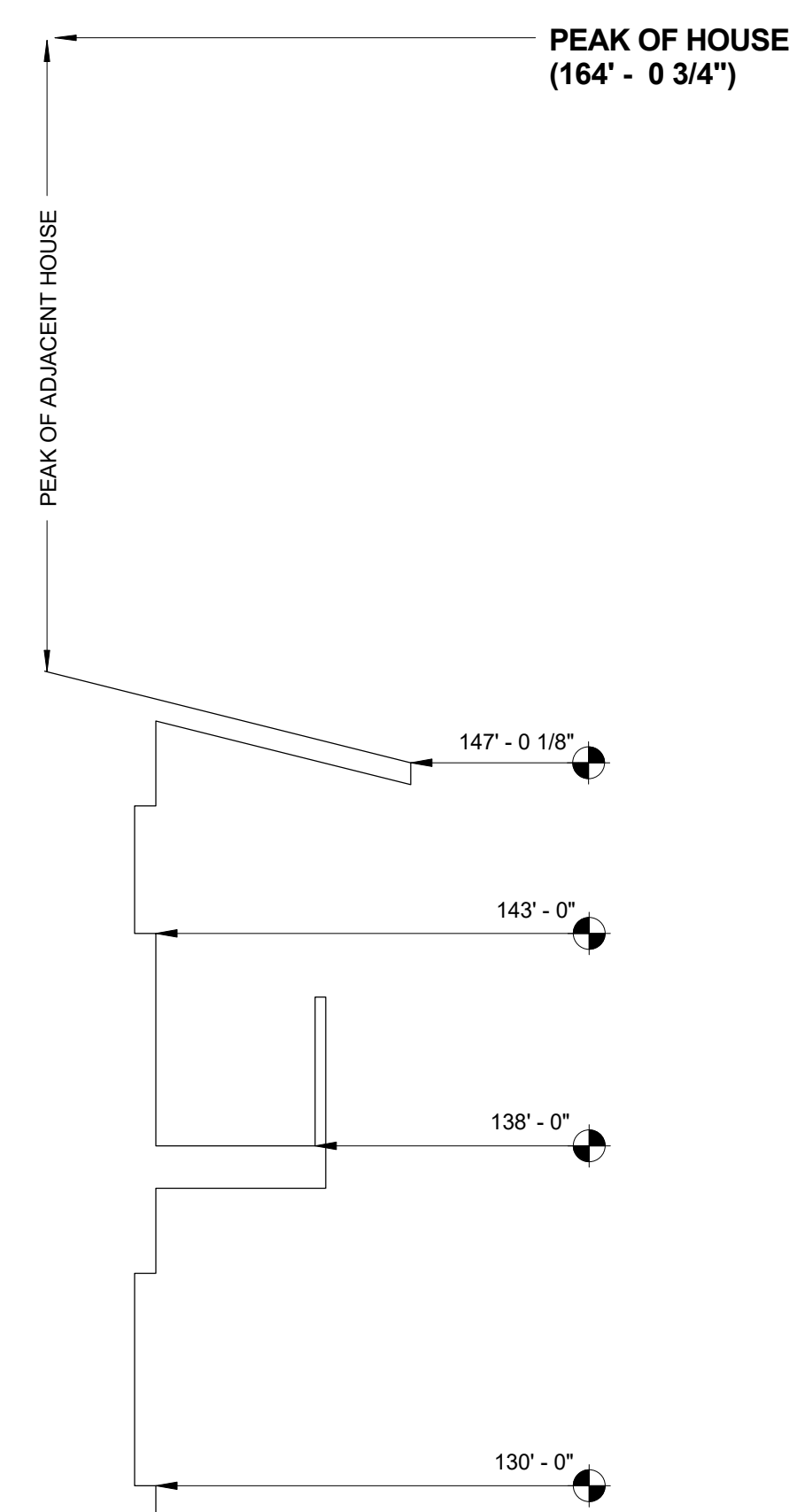
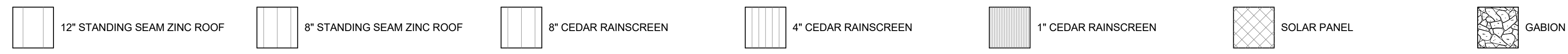
LM - LIGMAN LIGHT LINEAR PT BOLLARD UL1-10021, 3500K
 LL - NEMALUX GS, 3500K



① ELEVATION - WEST 1
1/4" = 1'-0"

② ELEVATION - WEST 2
1/4" = 1'-0"

EXTERIOR MATERIAL SYMBOLS

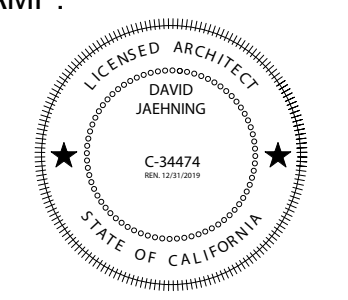


③ ELEVATION - EAST 1
1/4" = 1'-0"

④ ELEVATION - EAST 2
1/4" = 1'-0"

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PROJECT PHASE: **Construction Documents**

DRAWN: Author CHECKED: Checker

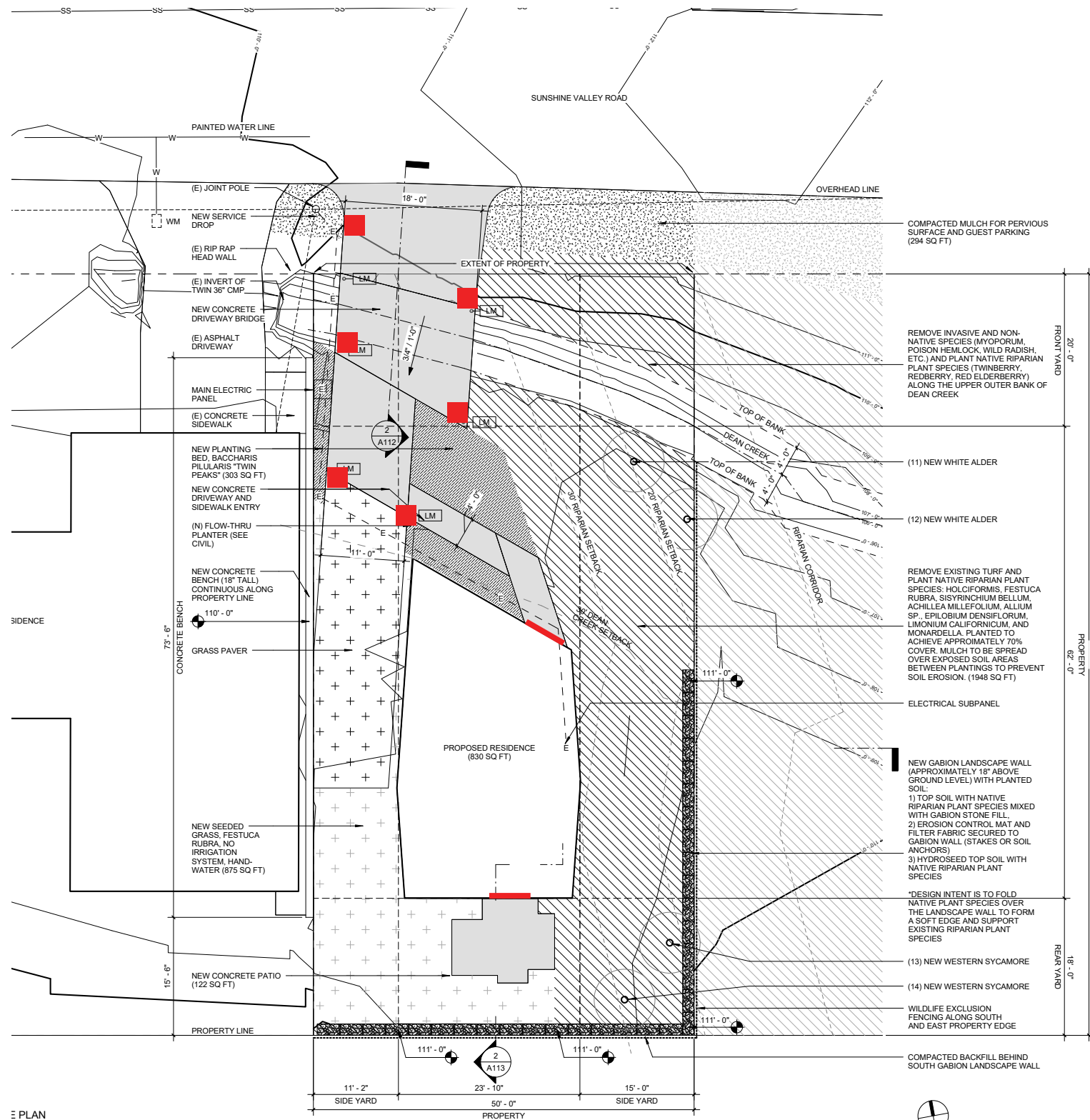
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DRAWING TITLE: **ELEVATIONS**

DRAWING NO: **A312**

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Exterior lighting



- Nemalux Linear LED
- Ligman Bollard



GS

AN EXTREMELY DURABLE,
WATER-TIGHT,
INDUSTRIAL LUMINAIRE

Applications

- Vehicle/equipment cabins
- Indoor building lighting
- Emergency lighting
- Solar/remote lighting
- Tunnel lighting
- Outdoor, harsh/rough usage environments

Features

- Extremely robust
- Thermally managed for longevity
- Easy field angle adjustment
- -40 to +65°C (AC) | -40 to +60°C (DC) operating range
- Sealed to IP66/67 Marine Outside type (Salt Water)

Output

- 559 to 2289 lumens
- 5000K standard
(Additional colours & temperatures available)

Certifications

- Certified to UL 844, UL 1598, UL1 598A UL 2108, UL 8750
- CSA 22.2 No. 137, CSA 22.2 No. 250.0, CSA 22.2 No. 250.13
- Class I, Division 2, Groups ABCD
- Class II Division 2, Groups FG
- Class III
- Class I, Zone 2, Group IIC
- Zone 22

Warranty

- Five (5) year limited warranty



MADE IN CANADA



LISTED
E477827
E477829
E480811

Extremely durable and water-tight, the GS Series of fixtures are able to withstand the most demanding environments. The GS was designed as a hazardous location, light weight linear strip luminaire with a projected lifespan of 100,000 hours. Multiple lengths, optics and mounts make the GS a long term solution to area lighting in mining applications. The GS is available in a general purpose or Class 1 Div. 2 for hazardous locations. With AC and DC options, the GS can easily be wired into existing facilities or used in remote solar lighting applications.

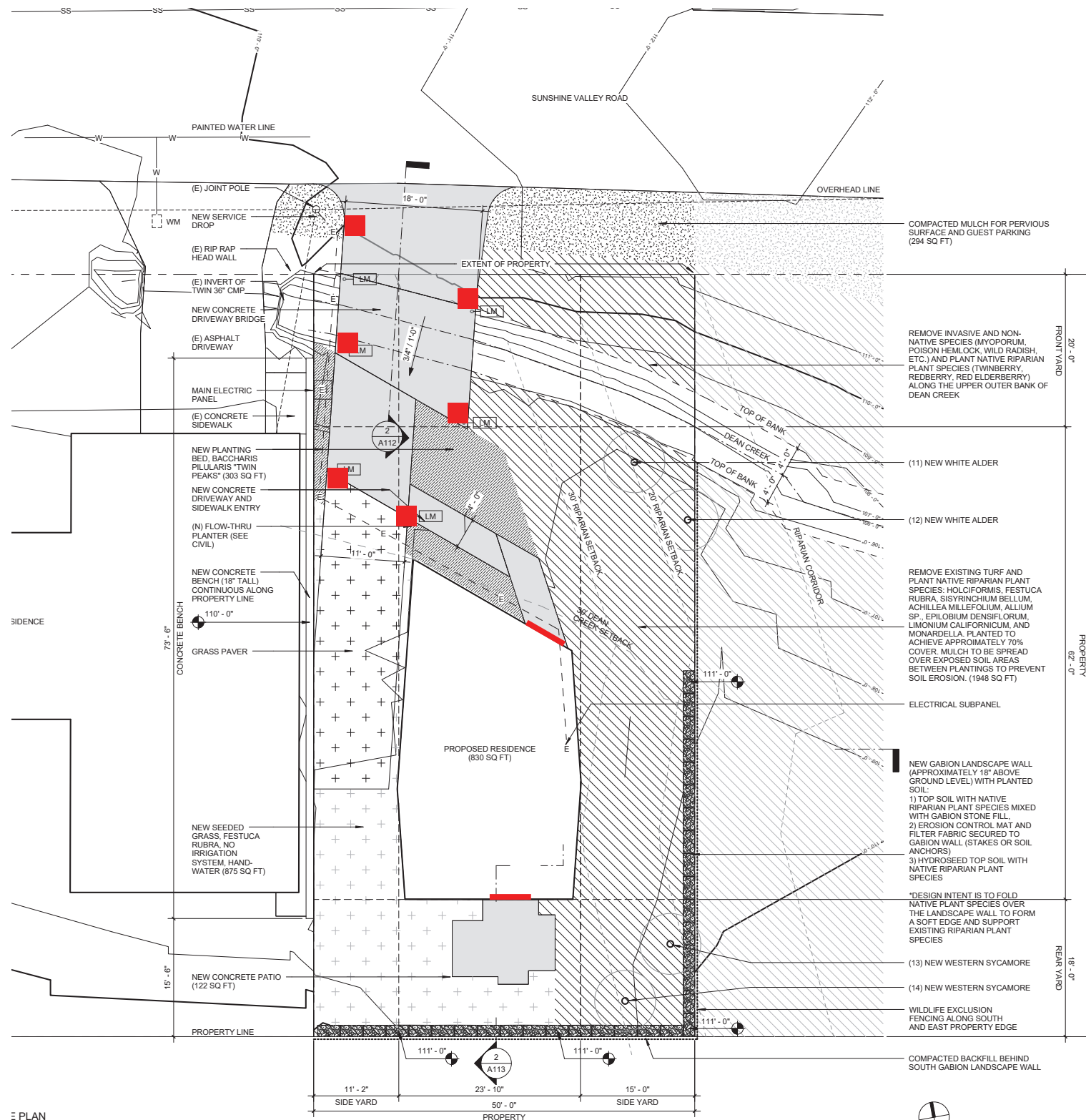
Using industry leading manufacturing practices, our engineers and industrial designers created a fixture that transfers heat away from the LEDs to the enclosure via the metal core PCB. This optimizes the operating temperature, maximizes efficiency, and increases the longevity of the components.

The GS comes with a field adjustable end bracket or may be flush mounted to surfaces or ceilings using carriage bolts. With wide or narrow beam profiles, multiple lengths and colour options, the GS provides a long term solution for linear strip lighting applications.

Nemalux
INDUSTRIAL

1018 72nd Avenue NE
Calgary, AB, Canada
T2E 8V9
P: 403.242.7475
F: 403.243.6190
info@nemalux.com
www.nemalux.com

Exterior lighting



PLAN

- Nemalux Linear LED
- Ligman Bollard

ULI-10021

Light Linear PT 1 Single Head Bollard



Construction

Aluminum

Less than 0.1% copper content - Marine Grade 6060 extruded & LM6 Aluminum High Pressure die casting provides excellent mechanical strength, clean detailed product lines and excellent heat dissipation.

Pre paint

8 step degrease and phosphate process that includes deoxidizing and etching as well as a zinc and nickel phosphate process before product painting.

Memory Retentive -Silicon Gasket

Provided with special injection molded "fit for purpose" long life high temperature memory retentive silicon gaskets. Maintains the gaskets exact profile and seal over years of use and compression.

Thermal management

LM6 Aluminum is used for its excellent mechanical strength and thermal dissipation properties in low and high ambient temperatures. The superior thermal heat sink design by Ligman used in conjunction with the driver, controls thermals below critical temperature range to ensure maximum luminous flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.

Surge Suppression

Standard 10kv surge suppressor provided with all fixtures.

BUG Rating

B1 - U0 - G1

Finishing

All Ligman products go through an extensive finishing process that includes fettling to improve paint adherence.

Paint

UV Stabilized 4.9Mil thick powder coat paint and baked at 200 Deg C. This process ensures that Ligman products can withstand harsh environments. Rated for use in natatoriums.

Hardware

Provided Hardware is Marine grade 316 Stainless steel.

Anti Seize Screw Holes

Tapped holes are infused with a special anti seize compound designed to prevent seizure of threaded connections, due to electrolysis from heat, corrosive atmospheres and moisture.

Crystal Clear Low Iron Glass Lens

Provided with tempered, impact resistant crystal clear low iron glass ensuring no green glass tinge.

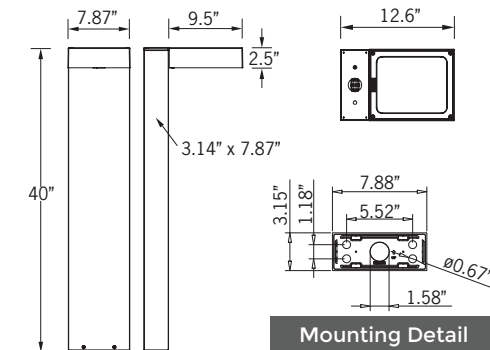
Optics & LED

Precise optic design provides exceptional light control and precise distribution of light. LED CRI > 80

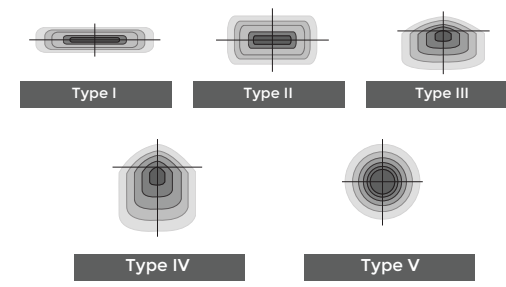
Lumen - Maintenance Life

L80 /B10 at 50,000 hours (This means that at least 90% of the LED still achieve 80% of their original flux)

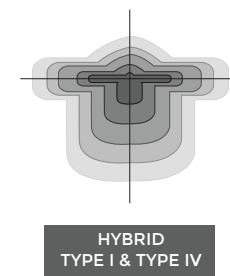
29w LED 2628 - 2656 Lumens
IP65 • Suitable For Wet Locations
IK07 • Impact Resistant (Vandal Resistant)
Weight 24.6 lbs



Ligman's micro Variable Optical System provides the ability to interchange, mix & rotate optics to provide specific light distributions for optimized spacing and uniformity.



The variable optic system allows for the designer to create hybrid distributions for precise lighting requirements.



Area distribution bollard-integrated projectors. Stylish but technically precise area lighting solutions as part of a large flexible family.

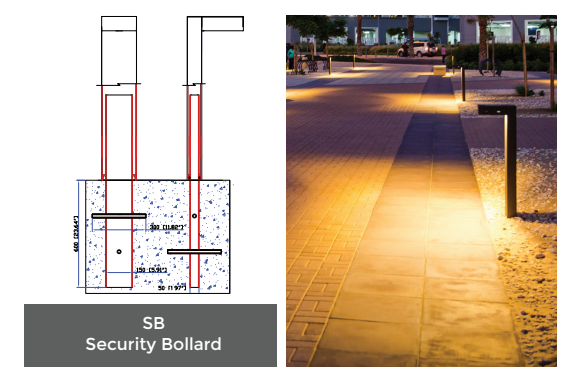
Light Linear PT Bollard is an elegant minimalist bollard that is suitable for both modern and classic architecture. Ideal for creating visual guidance with exceptional visual comfort. The dual sealed optical chamber with integrated heat sinks houses a range of field interchangeable optically controlled LED's, providing Type II, III, IV & V distribution, as well as variations of this for precise light distribution requirements. An example of this, is using a combination of Type II and Type IV distribution optics inside the same fixture. This product range is available in 29w and 55w options, as single & double head styles.

Customer specific wattages can be provided, contact the factory for more information. This luminaire complies to Dark Sky requirements. Bollards can be provided with GFCl boxes positioned to specific heights specified by the customer. Internal house side shields are available as an option.

Optional: Security Bollard:

The Light Linear Bollard is available as a traffic rated security bollard. This security bollard provides restraint of vehicular traffic in unauthorized areas. Impact calculations shows this bollard will stop a 5,500lb/2.75 tons vehicle, travelling at 30mph. For additional strength, the galvanized pole can be filled with concrete up to the waterproof driver housing to provide a solid concrete barrier.

Additional Options (Consult Factory For Pricing)



RGBW or Static Color Laser Cut Lettering, Logos & Designs (LLVT Bollard shown for visual reference)

Ligman can provide custom logos and signage in the Light Linear VT Bollard. The images above show this feature in the Light Linear VT Bollard

Ligman Lighting USA reserves the right to change specifications without prior notice, please contact factory for latest information. Due to the continual improvements in LED technology data and components may change without notice.